



AGENDA

DESIGN REVIEW BOARD

Regular Meeting Agenda

Thursday, May 15, 2025, 4:00 p.m.

Council Chambers

825 Imperial Beach Boulevard

Imperial Beach, CA 91932

Public Comments: Members of the public can participate in-person at the Design Review Board meeting to provide public comments. Members of the public can also submit written comments prior to the meeting via e-mail at: comments@imperialbeachca.gov.

Copies of the written comments received **by noon** on the day of the meeting, that are within the subject matter jurisdiction of the City of Imperial Beach, will be provided to the Board and be made available to the public at the meeting. They will be part of the official record of the meeting, but they will not be read aloud at the meeting.

Please note in your email subject line the item on the agenda you wish to comment on.

In compliance with the Americans with Disabilities Act, the City of Imperial Beach requests that individuals who require reasonable accommodation to fully participate in this meeting contact the City Clerk's office at (619) 628-2347 or TTY 711 as soon as possible during regular business hours and not later than at least twelve (12) hours in advance of the meeting to discuss your accessibility needs.

Any disclosable public records provided to a majority of the Board regarding any open session item on this agenda will be available for public inspection at the following designated locations: Office of the City Clerk, located at 825 Imperial Beach Blvd., Imperial Beach, CA 91932 and on the City's website at: <https://www.imperialbeachca.gov/129/Agendas-Minutes>.

1. **CALL TO ORDER**

2. **ROLL CALL**

3. **PUBLIC COMMENT**

Each person wishing to address the Design Review Board regarding items not on the posted agenda may do so at this time. In accordance with State law, the Design Review Board may not take action on an item not scheduled on the agenda. If appropriate, the item will be referred to City staff or placed on a future agenda.

4. **BUSINESS ITEMS**

- 4.a **APPROVAL OF THE REGULAR MEETING MINUTES OF SEPTEMBER 19, 2024.** 3

Recommendation:

Staff recommends approval of the Regular Meeting Minutes of September 19, 2024.

- 4.b **EL TAPATIO (APPLICANT); USE-23-0045/DESIGN REVIEW CASE (DRC-23-0008) PROPOSING A TWO-STORY ADDITION FOR A COMMERCIAL BUILDING AT 667 SILVER STRAND BLVD. (APN 625-024-12-00) IN THE C/MU-2 (SEACOAST COMMERCIAL & MIXED USE) ZONE. MF 1561.** 8

Recommendation:

That the Design Review Board consider the project to construct a 1,500 square foot ground floor addition and a new 1,810 square foot second story office space addition to an existing single story catering kitchen and coffee shop at 667 Silver Strand Boulevard (APN 625-024-12-00) and recommend approval of the project's design to the City Council.

5. **INFORMATIONAL ITEMS/REPORTS**

This item is intended for Staff to provide brief informational reports to the Board/Committee. Board/Committee members may also give brief reports related to items within the jurisdiction of the Board/Committee. Board/Committee members may ask brief questions of Staff, but cannot engage in dialogue or discussion with Staff or other members of the Board/Committee pursuant to the Brown Act. If appropriate, the item will be referred to a future agenda.

6. **ADJOURNMENT**



STAFF REPORT

DESIGN REVIEW BOARD

May 15, 2025

ITEM TITLE: APPROVAL OF THE REGULAR MEETING MINUTES OF SEPTEMBER 19, 2024.

ORIGINATING DEPARTMENT:

CITY CLERK

RECOMMENDATION:

Staff recommends approval of the Regular Meeting Minutes of September 19, 2024.

ATTACHMENTS:

1. September 19, 2024 Special Meeting Minutes – DRAFT

**CITY OF IMPERIAL BEACH
DESIGN REVIEW BOARD
REGULAR MEETING MINUTES
September 19, 2024, 4:00 p.m.
Council Chambers
825 Imperial Beach Boulevard
Imperial Beach, CA 91932**

Members Present: Vice Chair Beltran, Member Grace, Member Voronchihin
Members Absent: Chair Bradley, Member Rogers
Staff Present: Assistant Planner Pua, Associate Planner Ayala, City Clerk Kelly

1. CALL TO ORDER

Vice Chair Beltran called the meeting to order at 4:03 p.m.

2. ROLL CALL

City Clerk Kelly took roll.

3. PUBLIC COMMENT

None.

4. BUSINESS ITEMS

4.a APPROVAL OF THE AUGUST 15, 2024 DESIGN REVIEW BOARD REGULAR MEETING MINUTES.

Motion by Member Grace

Seconded by Member Voronchihin

To approve the August 15, 2024 Design Review Board Regular Meeting Minutes.

AYES (3): Vice Chair Beltran, Member Grace, and Member Voronchihin

ABSENT (2): Chair Bradley, and Member Rogers

Motion Carried (3 to 0)

City staff explained to the DRB that the applicant for Item No. 4.b. was running late to the meeting. Discussion ensued about taking Item No. 4.c before Item No. 4.b in hopes that the applicant for 4.b would arrive soon.

Motion by Member Grace

Seconded by Vice Chair Beltran

To take Item No. 4.c before Item No. 4.b.

AYES (3): Vice Chair Beltran, Member Grace, and Member Voronchihin

ABSENT (2): Chair Bradley, and Member Rogers

Motion Carried (3 to 0)

4.c TIM P. JONES (APPLICANT); CONSTRUCTION OF ONE NEW THREE-STORY FOUR-PLEX RESIDENTIAL TOWNHOME BUILDING, EACH UNIT IS PROVIDED WITH A TWO-CAR GARAGE AT 745 13TH STREET (APN 627-011-05-00) USE-22-0119 MF 1493

Associate Planner Pua gave a PowerPoint presentation on the item

No public comments.

Rodrigo Leal, owner, and Tim Jones, applicant/architect, were available for questions.

Member Grace thanked the applicant for taking every one of the DRB's comments into consideration. She said the project looks much nicer with the taller trees in the front yard and on the side of the property. She also liked the different materials and roofline.

Member Voronchihin expressed appreciation for the applicant making revisions and following the DRB's previous recommendations, even though it increased their budget. He said the project looks great, with nice floor plans and elevations. He made the following minor recommendations: Use a roof color with a higher Solar Reflectance Index (SRI) for solar reflectivity; and on the south side of the property where there are palm trees, he suggested planting shade trees with a bigger canopy to offer better screening from the neighbors.

Regarding the trees, Rodrigo Leal explained that they were concerned with the trees growing too wide and encroaching on to the neighboring property since the project is right up against the property line. He further stated that they looked at newer projects in Imperial Beach and incorporated similar landscaping elements.

Member Voronchihin also recommended that on the North elevation, to borrow some design elements from the south façade, like the metal guardrail, and incorporating that onto the third-floor balcony. He believed this would help tie the whole elevation together and unify the overall design. Regarding the material board, he questioned the use of colors and textures.

Rodrigo Leal responded the goal with the color scheme is to emphasize a beach/wave crashing theme. He also said that the stucco and siding are currently

two separate colors, but they are open to making them the same color if the DRB prefers, as it wouldn't significantly impact the cost.

Member Voronchin recommended keeping the stucco and siding colors the same, rather than having them be slightly different shades. He further explained that when placed side-by-side, that the different textures of stucco and siding will already create some visual distinction, even if the colors are unified.

Member Beltran concurred with Member Voronchihi's recommendation on installing wrought iron to finish off the design. He also agreed with Member Voronchihi's suggestion about exterior colors.

Associate Planner Pua summarized the DRB's recommendations as follows:

- Consider a higher SRI roof color
- Consider incorporating elements from the south facade to the third-floor balcony, such as a metal guardrail
- Consider keeping the siding and stucco the same color
- Install bollards on the south property line for increased safety to the south property

Motion by Member Grace

Seconded by Member Voronchihi

To approve the project's design to the City Council with the recommendations as summarized by staff.

AYES (3): Vice Chair Beltran, Member Grace, and Member Voronchihi

ABSENT (2): Chair Bradley, and Member Rogers

Motion Carried (3 to 0)

Vice Chair Beltran called a recess at 4:30 p.m. and called the meeting back to order at 4:35 p.m. with Chair Bradley and Member Rogers absent.

Motion by Member Voronchihi

Seconded by Member Grace

To postpone Item No. 4.b. to a future meeting since the applicant was not in attendance.

AYES (3): Vice Chair Beltran, Member Grace, and Member Voronchihi

ABSENT (2): Chair Bradley, and Member Rogers

Motion Carried (3 to 0)

- 4.b STEVE ABBO (APPLICANT); CONSTRUCTION OF ONE NEW WALL SIGN, ONE NEW MONUMENT SIGN, NEW LIGHTING, AND THE INSTALLATION OF NEW LANDSCAPING IN EXISTING LANDSCAPED AREAS AT AN EXISTING GAS STATION AT 681 HIGHWAY 75 (APN 626-250-12-00) USE-24-0036 MF 1631**

Item postponed to a future meeting.

5. INFORMATIONAL ITEMS/REPORTS

None.

6. ADJOURNMENT

Vice Chair Beltran adjourned the meeting at 4:36 p.m.

Jacqueline Kelly, MMC
City Clerk

Miquel Beltran
Vice Chair



STAFF REPORT

DESIGN REVIEW BOARD

May 15, 2025

ITEM TITLE: EL TAPATIO (APPLICANT); USE-23-0045/DESIGN REVIEW CASE (DRC-23-0008) PROPOSING A TWO-STORY ADDITION FOR A COMMERCIAL BUILDING AT 667 SILVER STRAND BLVD. (APN 625-024-12-00) IN THE C/MU-2 (SEACOAST COMMERCIAL & MIXED USE) ZONE. MF 1561.

ORIGINATING DEPARTMENT:

COMMUNITY DEVELOPMENT

EXECUTIVE SUMMARY:

The owner of a property located at 667 Silver Strand Blvd, which is located in the C/MU-2 (Seacoast Commercial & Mixed-Use) Zone, has initiated the process to expand an existing one-story catering kitchen and coffee shop into a two-story commercial mixed-use development. The development includes a 1,500 square-foot ground-floor addition to accommodate the existing catering operations, office space, and an enclosed parking area. Above, a new 1,810 square-foot second story will be constructed, featuring additional office space, restrooms, a kitchen, and a deck. The proposed expansion is designed to enhance the functionality and capacity of the current business, support future growth, and provide a modern, efficient workspace while maintaining compatibility with the surrounding commercial area.

RECOMMENDATION:

That the Design Review Board consider the project to construct a 1,500 square foot ground floor addition and a new 1,810 square foot second story office space addition to an existing single story catering kitchen and coffee shop at 667 Silver Strand Boulevard (APN 625-024-12-00) and recommend approval of the project's design to the City Council.

RATIONALE:

The project should contribute favorably to both Silver Strand Boulevard and the adjacent Palm Avenue mixed-use corridor and would comply with the purpose of the C/MU-2 Zone, which is to provide areas for mixed-use development and for businesses to meet the local demand for commercial goods and services required primarily by the tourist population, as well as local residents who use the beach area. It is intended that the dominant type of commercial activity in the C/MU-2 zone will be visitor-serving retail such as specialty stores, surf shops, restaurants, and hotels and motels. Retail/restaurant and office mixed-use are permitted in the C/MU-2 zone (Section 19.27.020).

OPTIONS:

In addition to reviewing this report and adopting staff's recommendations, the Design Review Board can:

- Recommend approval of the project with additional conditions provided by the Design Review Board; or
- Recommend that the project not be approved; or
- Recommend revisions based on comments from the Design Review Board.

BACKGROUND/ANALYSIS:

This is an application (MF 1561) originally submitted on July 18, 2023 for a Design Review Case (DRC-23-0008), Site Plan Review (insert number), Coastal Development Permit (insert number), and Conditional Use Permit (insert number) proposing a new two-story addition to an existing one-story catering kitchen and coffee shop at 667 Silver Strand Boulevard in the C/MU-2 (Seacoast Commercial & Mixed Use) zone. The project is subject to design review by the Design Review Board because the project is located along one of the eight design corridors in the City, Silver Strand Boulevard (IBMC 19.83.020(1)(c)).

Building Orientation & Design: The project proposes the expansion of an existing one-story catering kitchen and coffee shop into a two-story commercial mixed-use development. A first-floor addition of 1,500 square feet will contain the already existing catering with office and an enclosed parking space, while the 1,1810 square-foot second-story addition will contain offices, restrooms, a kitchen, and a new deck.

The bulk of the buildings on the property are oriented primarily east-west, with the main pedestrian entrance/access from Third St. on the east and secondary pedestrian access or frontage along Silver Strand Blvd. on the west. The new additions to the building strive to create architectural interest on all sides thus aligning with the intent of Guideline 5.5 of the City's Commercial Design Guidelines.

Building Materials and Palette: The building features a modern, coastal contemporary design, emphasizing clean lines, flat roofs, and a mix of textures. It integrates natural materials (like wood-look cladding) with geometric elements that create a sharp, minimalist aesthetic.

Bright murals at the upper volumes introduce a vibrant artistic element, contributing to visual identity and local character.

Trash Enclosure: The existing trash enclosure measuring approximately 20 ft. x 30 ft. is proposed to remain in the same location and will not change in design. The enclosure walls are six (6) ft. high, finished with white painted stucco, and it is accessed by two sets of wooden swing gates painted dark brown. A gabled solid roof, open at each end, with an earth-tone blend of asphalt shingles covers the enclosure.



Parking: Parking for the project is concentrated at the rear of the property and accessible from Third St. On-street parking is also available along Silver Strand Boulevard, Third Street, and Palm Avenue.

According to Section 19.48.035 of the IBMC (Required Spaces for C/MU-2), one space per thousand gross floor area of commercial use is required (1 space/1,000 SF GFA). Thus, three (3) required parking spaces are rendered. However, a 25-percent reduction for vertical mixed-use is allowed for these uses with approval of a conditional use permit. The applicant is requesting a parking reduction by one (1) parking space and a Conditional Use Permit will be heard by the City Council.

As shown on the Site Plan (Sheet A0.1), the proposed parking for the project is located along the rear of the property along Third St. Two standard-sized stalls with a minimum of 9 ft. by 18 ft. dimensions, along with one accessible parking space, have been provided.

Additionally, a landscape finger with a dimension of 5 ft. by 21 ft. lines the southernmost parking stall. This meets the requirements of Section 19.50.030 (Commercial Landscaping) where a “minimum three-foot by fifteen-foot, or forty-five square foot, landscaped area within the parking area (not including perimeter area landscaping) for every three parking spaces or the equivalent”.

Building Frontage And Floor To Ceiling Height: Section 19.27.070 (Building Height) states “All commercial spaces on the ground floor shall have a minimum fifteen-foot floor-to-ceiling height; and single-story commercial buildings shall have a minimum building height of twenty feet.” The applicant has accomplished this requirement as shown on the Building Sections (Sheet A4.1).

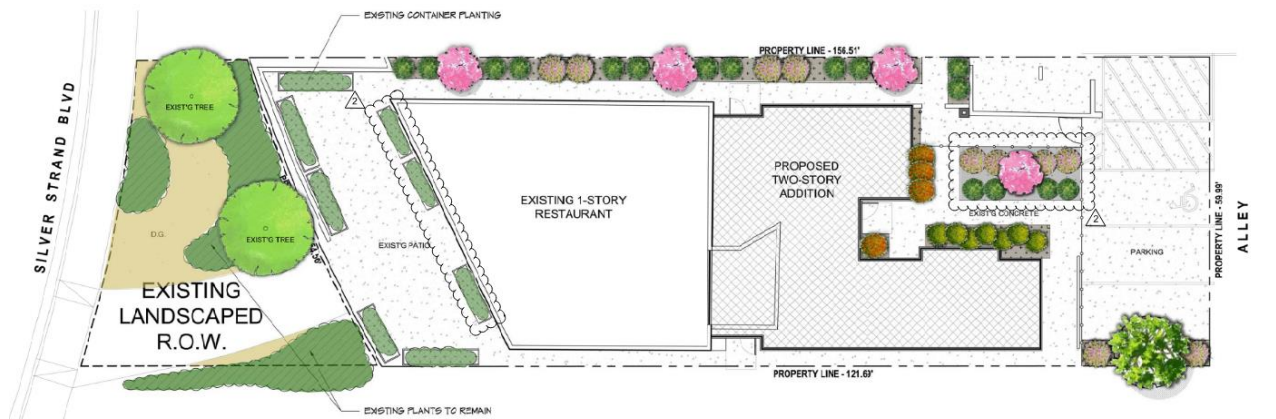
The City’s Commercial Design Guidelines also ensure that the ground floor uses and street level design promote active use. With the coffee shop component of the project still continuing to serve this area, it provides an active use that has amenities such as a covered patio dining area and large window areas for viewing from the indoors. In this manner, Guidelines 5.1-5.4 are met.

Lighting: Various outdoor lighting options for the building, landscaping, and parking area are being proposed. As exhibited on the Night View Renderings (Attachment 1), minimal lighting spillage onto adjacent properties will result from the use of wall sconce lighting fixtures and low-level landscape lighting. Since the lighting for the parking area will only involve bollard/pedestrian lighting, the project will meet the requirements outlined in Section 19.48.170 (Lighting) which limits any light to fall on the same premises where the light source is located.



4 SOUTHEAST VIEW - 3RD ST
N.T.S.

Landscaping: Total lot size is 7,340 square feet with a building footprint of 3,268 square feet and total on-site yard area of 4,072 square feet. Within the public right-of way, a total of 656 square feet of existing landscaping will remain as is, with a combination of trees, plants, and decomposed granite paths. A total of 1,105 square feet will be landscaped (15%) and will meet the minimum provision of “not less than fifteen percent” of the total site shall be landscaped. This will include a variety of plants, shrubs, and trees such as “African boxwoods” and “Mexican birds of paradise” plants among “willow” and “strawberry trees.”



Fencing: New perimeter fencing and a garage access gate is being proposed. A new 6-foot high wooden fence is to be placed along the north boundary of the property and a rolling gate installed between the parking area and garage similar to the design of the existing wooden fencing currently at this location.



GENERAL PLAN/ZONING CONSISTENCY:

The subject site is located in the C/MU-2 (Seacoast Commercial & Mixed-Use) zone and is subject to approval by the Design Review Board because the project is located along one of the eight design corridors in the City, Silver Strand Boulevard (IBMC 19.83.020(1)(c)). The purpose of this

chapter is to improve the general standards of orderly development in the City through design review of individual buildings, structures, signs and their environs. The chapter is also intended to ensure the appearance of open spaces, buildings and structures visible from public streets has a material and substantial relationship to property values and the taxable value of property. The proposed project would provide commercial uses and retail/restaurant services, meeting the intent of the land use designation.

Zoning:

STANDARDS	PROVIDED/PROPOSED
Yard requirements for the C/MU-2 zone are as follows: For lots not fronting on Seacoast Drive there are no front, side, or rear yard setbacks in the C/MU-2 zone.	The project fronts Silver Strand Boulevard. The front yard measured from the building to the property line measures 20' to 22', allowing for creation of this area as a outdoor dinig area.
The open space and landscaping requirements as stated in Chapter 19.50 of this code shall be met.	15% of the site must be landscaped, and 15% of the site proposes planted landscaping.
For property with a side or rear yard abutting a residential zone, the second floor shall be set back a minimum of five feet from the abutting residential property line and the third floor shall be set back a minimum of ten feet from the abutting residential property line. (Section 19.26.041)	The property does not abut a residential zone.
Minimum lot size of 3,000 square-feet (Section 19.26.050).	The lot size is 7,340 square feet. The creation of a new lot is not proposed as part of the project.
Minimum street frontage of 30 feet (Section 19.26.060).	The Silver Strand Boulevard frontage is approximately 50 feet, and the 3rd Street frontage is approximately 50 feet. The creation of a new lot is not proposed as part of the project.
Maximum building height of four stories or 40 feet (Section 19.26.070).	The overall height of the building is 29'-5", including the structure's parapets.
All commercial spaces on the ground floor shall have a minimum fifteen-foot floor-to-ceiling height; and single-story commercial buildings shall have a minimum building height of twenty feet. (Section 19.27.070).	The applicant proposes a 15-foot floor-to-ceiling height throughout the public areas of the new portions of the building, while the existing portions will maintain the same height.

No buildings shall be located less than five feet from any other building on the same lot. (Section 19.26.080)	No other buildings are proposed on the same lot.
Required parking spaces for commercial uses in the C/MU-2 Zone: one space for each 1,000 gross square feet of commercial space.	According to Section 19.48.035 of the IBMC (Required Spaces for C/MU-2), one space per thousand gross floor area of commercial use is required (1 space/1,000 SF GFA). Thus, three (3) required parking spaces are rendered. However, a 25-percent reduction for vertical mixed-use is allowed for these uses with approval of a conditional use permit. The applicant is requesting a parking reduction by 1 parking space and a Conditional Use Permit will be heard by the Planning Commission.

Surrounding Land Use and Zoning:

Surrounding Properties	Surrounding Zoning	Surrounding Land Use
North	C/MU-2 (Seacoast Commercial & Mixed-Use)	Commercial
South	C/MU-2 (Seacoast Commercial & Mixed-Use)	Commercial
East	R-1-6000 (Single-Family Residential)	Residential
West	R-1-6000 (Single-Family Residential)	Residential

Design Guidelines

1.0 Relationship of Buildings to Site and Surrounding Area	The location of the subject site is within an existing commercial zone (C/MU-2) with structures similar in height and surrounding uses. Along Silver Strand Boulevard, the existing coffee shop will remain in place and continue to act as the front façade of the business.
2.0 Circulation and Parking	Parking for this use will be at the rear of the building along 3 rd Street with landscaping planters alongside the these stalls.
3.0 Commercial and Mixed-Use Development	The two-story expansion achieves architectural interest by using various materials/finishes along with the integration of a mural at the side of the building.
4.0 Building Facades Should Be Well Articulated	The proposed architectural design provides building articulation in the form of a staggered second-story that incorporates a variety of elements such as boxed-in windows and vertical wooden cladding.

5.0 Ground Floor Uses and Street Level Design	The project accomplishes this by providing mixed-use, ground floor retail/catering with second-story office use. Large window areas for the new portions along the rear of the building are also being proposed in keeping with the 60% non-reflective glass guideline.
6.0 Landscape Improvements and Open Space	A significant amount of required landscaping is being met within the existing landscaping at the right-of-way in addition to the new landscape planters, trees, and bushes.

ENVIRONMENTAL IMPACT:

This project may be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15303 as a Class 3(e). The project proposes a new two-story addition to an existing one-story catering kitchen and coffee shop, in a fully urbanized area with no impact to fish and wildlife.

COASTAL JURISDICTION:

This project is located in the coastal zone as defined by the California Coastal Act of 1976. The City Council public hearing will serve as the required coastal permit hearing and the City Council will consider the findings under the California Coastal Act. Pursuant to the City of Imperial Beach Zoning Ordinance Section 19.87.050, review of the proposal will consider whether the proposed development satisfies the required findings prior to the approval and issuance of a Coastal Development Permit. The project is located in the Appeal Jurisdiction of the California Coastal Commission as indicated on the Local Coastal Program Post Certification and Appeal Jurisdiction Map and, as such, would be appealable to the California Coastal Commission under Section 30603(a) of the California Public Resources Code.

FISCAL IMPACT:

The applicant has paid \$7,500.00 under Project Account Numbers SPR-23-0008, DRC-23-0008, CP-23-0001 to fund the processing of this application.

ATTACHMENTS:

ATT 1 – Plans

ATT 2 – Design Review Compliance Checklist

REVISIONS

DATE	DESCRIPTION
07/07/23	PC1 SUBMITTAL
02/18/25	PC2 SUBMITTAL
04/29/25	PC3 SUBMITTAL

Bid Issue Date:	TBD
Date:	04/29/25
Scale:	AS NOTED
Project No.	-
Sheet Title:	

TITLE SHEET

Sheet No.:

T0.0

EL TAPATIO CATERING ADDITION

667 SILVER STRAND BLVD., IMPERIAL BEACH, CA 91932

PROJECT DATA	SCOPE OF WORK	INDEX OF DRAWINGS
<p>PROJECT ADDRESS: 667 SILVER STRAND BLVD. IMPERIAL BEACH, CA 91932</p> <p>APN#: 625-024-12-00</p> <p>LEGAL DESCRIPTION: LOT 18, MAP 1902</p> <p>ZONING: CMU-2 ZONE</p> <p>EXISTING BUILDING:</p> <p>STORIES: 1 STORY</p> <p>TYPE OF CONSTRUCTION: V-B</p> <p>SPRINKLERED: NO</p> <p>OCCUPANCY: B</p> <p>EXISTING USE: CATERING KITCHEN AND COFFEE SHOP</p> <p>EXISTING GROSS FLOOR AREA: 1,610 SF EXISTING BUILDING AREA: 1,720 SF EXISTING COVERED PATIO: 485 SF</p> <p>EXISTING HEIGHT: 12 FT</p> <p>ALLOWABLE BUILDING HEIGHT: 30 FT (CMU-2 ZONE)</p> <p>PROPOSED PROJECT</p> <p>STORIES: 2 STORY</p> <p>TYPE OF CONSTRUCTION: V-B -- NO CHANGE</p> <p>OCCUPANCY: B -- NO CHANGE</p> <p>PROPOSED USE: (E) CATERING KITCHEN, (E) COFFEE SHOP & PROPOSED OFFICES TO SERVE EXISTING AND NEW CATERING KITCHEN</p> <p>SPRINKLERED: NO -- NO CHANGE</p> <p>PROPOSED ADDITION: 1ST LEVEL AREA = 1,550 SF 2ND LEVEL AREA = 1,797 SF 2ND LEVEL DECK = 290 SF EXT. STAIRWAY/DECK = 163 SF</p> <p>PROPOSED GROSS FLOOR AREA: (WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS) GROUND LEVEL = 1,465 SF 2ND LEVEL = 1,660 SF</p> <p>PROPOSED TOTAL BUILDING AREA: (INCLUDES EXTERIOR WALLS) GROUND LEVEL = 3,270 SF 2ND LEVEL = 1,810 SF TOTAL HABITABLE AREA = 5,067 SF</p> <p>TOTAL DECKS & EXT. STAIRWAY = 453 SF</p> <p>PROPOSED BUILDING HEIGHT: 29' - 5" BUILDING HEIGHT LIMIT: 30' - 0"</p>	<p>PROPOSED 2-STORY ADDITION TO EXISTING 1-STORY CATERING KITCHEN AND COFFEE SHOP:</p> <ul style="list-style-type: none">ENLARGE EXISTING CATERING KITCHEN ON GROUND FLOOR - 1,550 S.F.NEW OFFICES ON NEW SECOND FLOOR TO SERVE CATERING KITCHEN - 1,797 S.F.NEW EXTERIOR STAIRWAY AND DECK - 163 S.F.	<p>GENERAL T0.0 TITLE SHEET T1.1 GENERAL NOTES</p> <p>ARCHITECTURAL A0.0 TOPOGRAPHIC SURVEY (FOR REFERENCE ONLY) A0.1 SITE PLAN A1.0 EXISTING FLOOR PLAN A1.1 PROPOSED FLOOR PLANS A1.2 PROPOSED ROOF PLAN A4.0 PROPOSED EXTERIOR ELEVATIONS A4.1 BUILDING SECTIONS A4.2 RENDERINGS - DAY VIEWS A4.3 RENDERINGS - NIGHT VIEWS A4.4 EXTERIOR MATERIAL BOARD</p> <p>LANDSCAPE L-1 PROPOSED LANDSCAPE PLAN L-2 PROPOSED IRRIGATION PLAN L-3 LANDSCAPE DETAILS L-4 PROPOSED LIGHTING PLAN</p>
CURRENT GOVERNING CODES	PROJECT DIRECTORY	SITE MAP
<p>ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE LOCAL FIRE MARSHALL, THE CITY OF IMPERIAL BEACH BUILDING OFFICIALS AND UTILITY COMPANIES FURNISHING SERVICES. NOTHING IN THE PLANS OR SPECIFICATIONS SHALL BE CONSTRUCTED AS PERMITTING WORK THAT IS NOT IN CONFORMANCE WITH APPLICABLE CODES OR REGULATIONS. CODES GOVERNING THIS WORK INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:</p> <ul style="list-style-type: none">THE 2022 CALIFORNIA BUILDING (CBC) IS BASED ON THE 2021 IBC, BUT INCLUDES NUMEROUS STATE OF CALIFORNIA AMENDMENTSTHE 2022 CALIFORNIA ELECTRICAL CODE (CEC) IS BASED ON THE 2020 NEC, WITH STATE OF CALIFORNIA AMENDMENTS.THE 2022 CALIFORNIA MECHANICAL CODE (CMC) IS BASED ON THE 2021 UMC, WITH STATE OF CALIFORNIA AMENDMENTS.THE 2022 CALIFORNIA PLUMBING CODE (CPC) IS BASED ON THE 2021 UPC, WITH STATE OF CALIFORNIA AMENDMENTS.THE 2022 CALIFORNIA ENERGY CODETHE 2022 CALIFORNIA GREEN BUILDING CODE.THE 2022 CALIFORNIA FIRE CODE.THE 2022 CALIFORNIA AMENDMENTS AMERICANS WITH DISABILITIES ACT (CALIFORNIA BUILDING CODE - CHAPTER 11B) <p>THESE PLANS AND ALL NEW WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA - TITLE 24 CCR AS AMENDED AND ADOPTED BY THE CITY OF IMPERIAL BEACH.</p> <p>REQUIREMENTS OF CODES AND REGULATIONS SHALL BE CONSIDERED AS MINIMUM. WHERE CONTRACT DOCUMENTS EXCEED W/O VIOLATING CODE AND REGULATION REQUIREMENTS, CONTRACT DOCUMENTS SHALL TAKE PRECEDENCE. WHERE CODES CONFLICT, THE MORE STRINGENT SHALL APPLY.</p>	<p>BUILDING OWNER & TENANT: EL TAPATIO 667 SILVER STRAND BLVD. IMPERIAL BEACH, CA 92932 OFFICE: (619) 423-2440 CONTACT: CAROLINA RAMIREZ</p> <p>DESIGNER: ARCH5 DESIGN STUDIO 2825 DEWEY ROAD BLDG 202, UNIT 207 SAN DIEGO, CA 92106 TEL: (619) 546-9670 CONTACT: RACHELLE DOMINGO-ROGERS</p> <p>LANDSCAPE DESIGNER: LANDSCAPE LOGIC 4455 MORENA BLVD. #110 SAN DIEGO, CA 92109 TEL: (619) 446-6482 CONTACT: TONY VITALE</p> <p>GENERAL CONTRACTOR: TBD</p>	<p>SITE: 667 SILVER STRAND BLVD.</p> <p>PACIFIC OCEAN, SEACAST DR., 3RD ST., IMPERIAL BEACH BLVD., 9TH ST., 13TH ST., SATURN BLVD., 75 - PALM AVE., PALM AVE., ELM AVE.</p> <p>VICINITY MAP NOT TO SCALE</p>

ABBREVIATIONS

A.B.	ANCHOR BOLT	F.H.	FIRE HYDRANT	PLYWD.	PLYWOOD
A.C.	ASPHALT CONCRETE	FIN.	FINISH	P.T.	PRESSURE TREATED
A/C	AIR CONDITIONING	FIXT.	FIXTURE	R	RISER
ACOUS.	ACOUSTICAL	FLR.	FLOOR	RAD.	RADIUS
A.A.	AREA DRAIN	FLSH.	FLASHING	R.A.G.	RETURN AIR GRILLE
ADJ.	ADJACENT	F.L.	FLOW LINE	R.D.	ROOF DRAIN
A.F.F.	ABOVE FINISH FLOOR	FLUOR.	FLUORESCENT	R.D.W.D.	REDWOOD
ALUM.	ALUMINUM	F.O.C.	FACE OF COLUMN	REF.	REFERENCE
ANOD.	ANODIZED	F.O.M.	FACE OF MASONRY	REFL.	REFRIGERATOR
A.P.	ACCESS PANEL	F.O.S.	FACE OF STUD	REG.	REGISTER
AUTO.	AUTOMATIC	FT	FEET OR FOOT	REINF.	REINFORCED
ARCH.	ARCHITECTURAL	F.S.	FLOOR SINK	REQ'D	REQUIRED
		FTG.	FOOTING	RESL	RESILIENT
BD.	BOARD	FLR(R).	FLOORING	RM.	ROOM
BIT.	BITUMINOUS	GA.	GALVE	R.O.	ROUGH OPENING
BLDG.	BUILDING	GALV.	GALVANIZED	R.O.W.	RIGHT-OF-WAY
BLK(Q).	BLOCKING	G.I.	GALVANIZED IRON	R.S.	RESAWN
B.N.	BOUNDARY NAIL	GYP.	GYPSPUM	S.A.G.	SUPPLY AIR GRILLE
B.O.	BOTTOM OF	H.B.	HOSE BIBB	S.A.R.	SUPPLY AIR REGISTER
BOT(T).	BOTTOM	H.C.	HOLLOW CORE	S.C.	SOLID CORE
B.S.	BOTH SIDES	HDBD.	HARD BOARD	SCHED.	SCHEDULE
BTW.	BETWEEN	HDR.	HEADER	SA	STORM DRAIN
		HDW.	HARDWARE	SECT.	SECTION
CAB.	CABINET	HDWD.	HARDWOOD	S.F.	SQUARE FEET
C.B.	CATCH BASIN	H.M.	HOLLOW METAL	SHI.	SHEET
CEM.	CEMENT	HORZ.	HORIZONTAL	SHTO.	SHEATHING
C.F.	CUBIC FEET	I.D.	INSIDE DIAMETER	SIM.	SIMILAR
CFASH.	COUNTER FLASHING	I.E.	INVERT ELEVATION	S.M.	SHEET METAL
C.I.	CAST IRON	INSUL.	INSULATION	S.O.V.	SHUT-OFF VALVE
C.J.	CONTROL JOINT	INT.	INTERIOR	SP.	SPACE(S)
CLG.	CESLING	JST.	JOIST	SPECS.	SPECIFICATIONS
CLOS.	CLOSET	JT.	JOINT	SQ.	SQUARE
CLR.	CLEAR	KIT	KITCHEN	S.S.	STAINLESS STEEL
C.O.	CLEAN OUT	LAV.	LAVATORY	STL.	STEEL
C.O.C.	CENTERLINE OF COLUMN	LB.	LAG BOLT	STOR.	STORAGE
COL.	COLUMN	LT.	LIGHT	STRUCT.	STRUCTURAL
CONC.	CONCRETE			SUSP.	SUSPENDED
COND.	CONDITION	(M)	MODIFIED	T.C.F.D.	TEMPORARY CERTIFICATE OF OCCUPANCY
CONT.	CONTINUOUS	MAS	MASONRY	T.	TREAD
CONTR.	CONTRACTOR	MATL.	MATERIAL	T.O.C.	TOP OF CURB
CONST.	CONSTRUCTION	MAX.	MAXIMUM	TEL(E)	TELEPHONE
CORR.	CORRIDOR	M.B.	MACHINE BOLT	T.O.F.	TOP OF FOOTING
C.S.	COUNTERSINK	MECH.	MECHANICAL	T&G	TONGUE AND GROOVE
C.T.	CERAMIC TILE	MEMB.	MEMBRANE	THK.	THICK
C.Y.	CUBIC YARD	MET.	METAL	T.N.	TOE NAIL
		MFR.	MANUFACTURER	T.O.	TOP OF
DEPT.	DEPARTMENT	M.H.	MANHOLE	T.O.P.	TOP OF PARAPET
DET.	DETAIL	MIN.	MINIMUM	T.O.S.	TOP OF SHEATHING
D.F.	DOUGLAS FIR OR DRAWING FOUNTAIN	MISC.	MISCELLANEOUS	T.O.W.	TOP OF WALL
DIA.	DIAMETER	M.O.	MASONRY OPENING	T.O.TR.	TOP OF TRELLIS
DIM.	DIMENSION	M.R.	MOISTURE RESISTANT	TYP.	TYPICAL
DISP.	DISPENSER	MULL.	MULLION	U.O.N.	UNLESS OTHERWISE NOTED
DN.	DOWN			UR.	URNAL
D.S.	DOWNSPOUT	(N)	NEW	VERT.	VERTICAL
DWG.	DRAWING	N.A.P.	NOT A PART	VEST.	VESTIBULE
EA.	EACH	N.I.C.	NOT IN CONTRACT	VCT.	VINYL COMPOSITION TILE
E.A.G.	EXHAUST AIR GRILLE	NO.	NUMBER	V.T.R.	VENT THRU ROOF
E.J.	EXPANSION JOINT	NOM.	NOMINAL	V.I.F.	VERIFY IN FIELD
ELEV.	ELEVATION	N.T.S.	NOT TO SCALE	W/	WITH
ELEC.	ELECTRICAL			WAIN.	WAINSCOT
EMER.	EMERGENCY			W.C.	WATER CLOSET
E.N.	EDGE NAIL			WD.	WOOD
E.P.	ELECTRICAL PANEL			WDW.	WINDOW
EQ.	EQUAL			W.H.	WATER HEATER
EQUIP.	EQUIPMENT			WM.	WATER METER
E.S.	EACH SIDE			W.P.	WATERPROOF
E.W.C.	ELECTRIC WATER COOLER			W.P.J.	WEAKENED PLANE JOINT
(E)	EXISTING			W.R.	WATER RESISTANT
EXT.	EXTERIOR			W.W.M.	WELDED WIRE MESH
				<	ANGLE
F.A.	FIRE ALARM			@	AT
F.D.	FLOOR DRAIN			Ø	DIAMETER OR ROUND
F.D.C.	FIRE DEPT. CONNECTION			℄	CENTERLINE
F.E.	FIRE EXTINGUISHER				
F.F.	FACTORY FINISH OR FINISH FACE				
F.F.E.	FINISH FLOOR ELEVATION				

GRAPHIC SYMBOLS

	STRUCTURAL GRID LINE: COLUMN LINE OR OUTSIDE FACE OF BUILDING		SECTION: SECTION IDENTIFICATION SHEET WHERE SECTION DRAWN
	DOOR NUMBER IDENTIFICATION		ELEVATION: ELEVATION IDENTIFICATION SHEET WHERE ELEVATION DRAWN
	WINDOW IDENTIFICATION		DETAIL: DETAIL IDENTIFICATION SHEET WHERE DETAIL DRAWN
	KEYNOTE		
	MATERIAL/FINISH TYPE DESIGNATION (SHOWN ON EXTERIOR ELEVATIONS)		
	REFERENCE POINT: CONTROL POINT, DATUM POINT, WORK POINT, POINT OF CONNECTION		FINISHED FACE DIMENSION
	REVISION: CLOUD AROUND CHANGE WITH DELTA		CENTERLINE DIMENSION
			FACE OF STUD, MASONRY, CONCRETE, ETC.
			ROOF PITCH (SHOWN ON EXTERIOR ELEVATIONS)

DESIGNER'S STATEMENT

1. **OVERLAPPING & CONFLICTING REQUIREMENTS:**
WHERE COMPLIANCE WITH TWO OR MORE INDUSTRY STANDARDS OR SETS OF REQUIREMENTS IS SPECIFIED, AND OVERLAPPING OF THOSE DIFFERENT STANDARDS OR REQUIREMENTS ESTABLISHES CONFLICTING LEVELS OF QUALITY, THE MOST STRINGENT STANDARD SHALL BE ENFORCED, UNLESS SPECIFICALLY NOTED OTHERWISE. CONSULT WITH THE DESIGNER/ENGINEER BEFORE PROCEEDING.
2. **MINIMUM QUALITY / QUANTITY:**
INTENDED AS MINIMUM FOR THE WORK TO BE PERFORMED OR PROVIDED. EXCEPT WHERE NOTED OTHERWISE, ACTUAL WORK MY EITHER COMPLY EXACTLY WITH THAT MINIMUM, OR MAY EXCEED THAT MINIMUM WITHIN REASONABLE LIMITS.
3. **NOTE TO CONTRACTOR:**
WHERE CONTRACT DOCUMENTS (DRAWINGS AND SPECIFICATIONS) ARE INCOMPLETE, AMBIGUOUS OR CONTAIN CONFLICTING INSTRUCTIONS, DO NOT PROCEED UNTIL RECEIVING CLARIFICATION FROM THE DESIGNER IN WRITING. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL BUILDING SYSTEMS, NEW AND EXISTING, ARE IN GOOD WORKING ORDER WHEN TURNED OVER TO THE OWNER.

GENERAL:

1. THE SPECIFICATIONS, INCLUDED HEREWITH, ARE AN INTEGRAL PART OF THESE CONTRACT DOCUMENTS AND ALL CONDITIONS MENTIONED IN EITHER SHALL BE EXECUTED AS THOUGH SPECIFICALLY MENTIONED IN BOTH.
2. CONTRACTORS/SUBCONTRACTORS SHALL FIELD VERIFY ALL LOCATIONS, DIMENSIONS, AND CONDITIONS OF WALLS, DOORS, PLUMBING, MECHANICAL ELECTRICAL ITEMS, ETC. (WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS) PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO ADVISE THE ARCHITECT OF ANY ADVERSE CONDITIONS OR DISCREPANCIES.

GENERAL CONSTRUCTION NOTES:

1. ALL CONSTRUCTION AND PROCEDURES SHALL CONFORM TO ALL APPLICABLE CODES AS OUTLINED ON TITLE SHEET.
2. DO NOT SCALE DRAWINGS. IF DIMENSIONAL DISCREPANCIES OCCUR BETWEEN PLANS AND EXISTING CONDITIONS, CONTACT ARCHITECT IMMEDIATELY TO RESOLVE CONFLICT PRIOR TO CONTINUATION OF WORK.
3. ALL EXTERIOR DOORS AND WINDOWS SHALL BE FULLY WEATHER STRIPPED; MANUFACTURED UNITS SHALL MEET ANSI AND TITLE 24 STANDARDS FOR AIR INFILTRATION.
4. ALL JOINTS AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE CAULKED AND SEALED.
5. NOT USED.
6. PROVIDE R-13 INSULATION AT ALL INTERIOR PLUMBING WALLS AND BATHROOM WALLS FOR SOUND INSULATION.
7. COORDINATE WITH ARCHITECT TO PROVIDE BLOCKING IN WALLS WHERE ACCESSORY ITEMS ARE INSTALLED TYPICAL: GRAB BARS, TOILET PAPER DISPENSERS, ETC.
8. REFER TO WALL TYPES AND CROSS-HATCHED AREAS ON FLOOR PLANS FOR LOCATIONS OF ONE-HOUR FIRE RATED PARTITIONS IF APPLICABLE
9. ALL DIMENSIONS SHOWN ARE TO FINISHED FACE OF WALL
10. EXISTING WALLS WERE CONSTRUCTED WITH OTHER PERMITS AND/OR CONTRACTS. FIELD VERIFY CONSTRUCTION AND WIDTH PRIOR TO FABRICATION OF DOOR FRAMES OR COMPONENTS WHICH REQUIRE THE WIDTH OF THE WALL TO BE SET
11. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT WHEN THOSE CONDITIONS DIFFER FROM THE CONSTRUCTION DOCUMENTS.
12. ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL BE PROTECTED WITH A U.L. LISTED FIRE STOP SYSTEM.
13. ALL PENETRATIONS @ WALLS THAT HAVE SOUND INSULATION SHALL BE SEALED WITH NON-HARDENING ACOUSTICAL SEALANT.
14. ELECTRICAL PANELS SHALL NOT BE LOCATED WITHIN FIRE-RATED CORRIDORS
15. ALL ELEC./DATA OUTLET PENETRATIONS ON COMMON WALLS SHALL BE STAGGERED AND SEPARATED BY A VERTICAL STUD. ALL OPENINGS SHALL BE WRAPPED WITH SOUND INSULATION AND SEALED TIGHT W/ ACOUSTICAL SEALANT.
16. FOR REQUIRED CLEARANCES ON ALL ACCESSIBLE DOORS SEE SHEET T1.3
17. FURNITURE AND MODULAR SYSTEMS FURNITURE ARE SHOWN FOR REFERENCE ONLY AND ARE NOT PART OF PROJECT SCOPE.
18. ALL DOOR FRAMES TO BE STAIN GRADE WOOD TRIM, U.O.N.

ROOF NOTES:

1. GENERAL CONTRACTOR TO COORDINATE ALL PLUMBING AND MECHANICAL VENT LOCATIONS AT ROOF. VENTS TO BE SCREENED FROM VIEW WHEREVER POSSIBLE (SEE ROOF PLAN). COMBINE PLUMBING VENTS IN ATTIC WHERE POSSIBLE.
2. ALL ROOF PENETRATIONS, FLASHINGS, VENTS, ETC. TO BE PAINTED TO MATCH WEATHERED ROOF COLOR.

COMBUSTIBLE INTERIOR FINISHES:

2022 CBC PER SECTION 803.1: INTERIOR WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES.

CLASS A: FLAME SPREAD 0-25; SMOKE DEVELOPED 0-450
CLASS B: FLAME SPREAD 26-75; SMOKE DEVELOPED 0-450
CLASS C: FLAME SPREAD 76-200; SMOKE DEVELOPED 0-450

ALL INTERIOR COMBUSTIBLE DECORATIVE FINISHES INCLUDING PALLET WOOD INTERIOR WALL CLADDING TO BE FLAME RESISTANT OR SHALL BE TREATED AND MAINTAINED FLAME RESISTANT IN ACCORDANCE WITH CFC STANDARDS. INTERIOR TEXTILE WALL COVERINGS TO BE IN ACCORDANCE WITH CBC SECTION 803.5.1: TEXTILES TO HAVE CLASS 'A' FLAME SPREAD INDEX IN ACCORDANCE WITH ASTM E 84 ALL 2X WOOD BLOCKING TO BE FIRE RETARDANT TREATED WOOD ALL PLYWOOD / WOOD BACKING TO BE FIRE RETARDANT TREATED WOOD.

FLOOR FINISHES THAT ARE COMPRISED OF FIBERS SHALL COMPLY WITH SECTIONS 804.2 THROUGH 804.4.1 (SECTION 804.1)

BUILDING DIVISION - CONDITIONS OF APPROVAL:

OBTAIN ALL REQUIRED BUILDING PERMITS (BUILDING, PLUMBING, ELECTRICAL, GRADING, ETC.) FOR THIS PROJECT. ALL CONSTRUCTION SHALL COMPLY WITH THE ADOPTED 2022 CALIFORNIA BUILDING STANDARDS CODES: RESIDENTIAL, BUILDING, ELECTRICAL, MECHANICAL, PLUMBING, ENERGY, FIRE, GREEN BUILDING, HISTORIC BUILDING, EXISTING BUILDING, AS AMENDED BY CITY ORDINANCE 2022-1219 AND OTHER APPLICABLE MUNICIPAL CODES IN EFFECT AT THE TIME OF PLAN SUBMITTAL FOR BUILDING PERMITS.

PER SECTION 110.3.10.1 OF THE CALIFORNIA BUILDING CODE AS AMENDED BY CHAPTER 15.06 OF THE IMPERIAL BEACH MUNICIPAL CODE, PRIOR TO THE FIRST FOUNDATION EXCAVATION, THE FOUNDATION SHALL BE CONSTRUCTED TO BE AT LEAST ONE (1) FOOT OF THE REQUIRED SETBACKS OR BUILDING HEIGHT LIMITATIONS ESTABLISHED BY TITLE 19, ZONING OF THE IMPERIAL BEACH MUNICIPAL CODE, A WRITTEN STATEMENT OR CERTIFICATE PREPARED AND SIGNED BY A REGISTERED CIVIL ENGINEER LICENSED TO PRACTICE LAND SURVEYING OR A LICENSED LAND SURVEYOR SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT. THE FOUNDATION SHALL BE CONSTRUCTED TO THE GROUND GRADE ELEVATIONS AND LOCATION OF THE BUILDING ARE IN SUBSTANTIAL CONFORMANCE WITH THE PLANS APPROVED BY THE CITY OF IMPERIAL BEACH.

ALL PROJECTS GREATER THAN OR EQUAL TO TWENTY-FIVE THOUSAND (\$25,000), OR WHICH INVOLVE THE CONSTRUCTION AND/OR DEMOLITION OF TWO-HUNDRED-FIFTY (250) SQUARE FEET OR MORE OF FLOOR SPACE SHALL COMPLY WITH IMPERIAL BEACH MUNICIPAL CODE CHAPTER 8.38. A COMPLETED WASTE MANAGEMENT PLAN SHALL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION.

PLANS DEVIATING FROM CONVENTIONAL WOOD FRAME CONSTRUCTION SHALL HAVE THE STRUCTURAL PORTIONS SIGNED AND SEALED BY THE CALIFORNIA STATE LICENSED ENGINEER OR ARCHITECT RESPONSIBLE FOR THEIR PREPARATION, ALONG WITH STRUCTURAL CALCULATIONS. (CALIFORNIA BUSINESS AND PROFESSIONS CODE).

NO WORK FOR WHICH A BUILDING PERMIT IS REQUIRED SHALL BE PERFORMED WITHIN THE HOURS OF 7:00 P.M. - 7:00 A.M. MONDAY - FRIDAY, NOR TO PRIOR TO 8:00 A.M. OR AFTER 5:00 P.M. ON SATURDAYS NOR ANYTIME ON SUNDAYS. A SIGN SHALL BE POSTED AT A CONSPICUOUS LOCATION NEAR THE MAIN ENTRY TO THE SITE, PROMINENTLY DISPLAYING THESE HOUR RESTRICTIONS.

RESTROOMS ON THE SECOND FLOOR MUST MEET THE REQUIREMENTS OF CHAPTER 11B OF THE CBC.

BUILDINGS LESS THAN 10 FEET FROM THE PROPERTY LINE MUST MEET THE FIRE RESISTIVE REQUIREMENTS OF THE CBC.

THE FOOD PREPARATION AREA ON THE FIRST FLOOR WOULD NEED PROTECTION FROM THE PLUMBING WASTE ON THE SECOND FLOOR.

PUBLIC WORKS DEPARTMENT - CONDITIONS OF APPROVAL:

NO BUILDING ROOF OR LANDSCAPE WATER DRAINS MAY BE PIPED TO THE STREET OR ONTO IMPERVIOUS SURFACES THAT LEAD TO THE STREET. A DESIGN THAT HAS THESE WATER DISCHARGES DIRECTLY INTO THE STORM DRAIN CONVEYANCE SYSTEM (ONTO AN IMPERVIOUS SURFACE THAT FLOWS TO THE STREET) IS IN VIOLATION OF THE MUNICIPAL STORM WATER PERMIT - ORDER R9-2013-0001.

THE OWNER OF PRIVATE PROPERTY ADJOINING THE PUBLIC RIGHT-OF-WAY SHALL BE RESPONSIBLE TO PLANT, INSTALL, AND MAINTAIN LANDSCAPING IN THE AREA BETWEEN THE CURB AND THE PRIVATE PROPERTY LINE FOR THE ENTIRE FRONTAGE OF THE PROPERTY. SUCH MAINTENANCE SHALL INCLUDE WATERING, MOWING, EDGING, CLEARING OF WEEDS, BUT EXCLUDES ROUTINE MAINTENANCE OF CITY-OWNED TREES. THE INSTALLATION OF A LANDSCAPE-WATERING SYSTEM TO SERVICE THE AREA BETWEEN THE CURB AND PRIVATE PROPERTY LINE IS REQUIRED PER MUNICIPAL CODE 19.50.040.F.

ALONG THE PUBLIC RIGHT-OF-WAY, THE APPLICANT SHALL ELIMINATE ANY EXISTING TRIPPING HAZARD CAUSED BY THE CONDITION OF THE EXISTING PUBLIC SIDEWALK ALONG THE PROPERTY FRONTAGE. THE REMEDIAL WORK REQUIRED HEREIN SHALL BE PERFORMED TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR.

ANY DISPOSAL/TRANSPORTATION OF SOLID/CONSTRUCTION WASTE IN ROLL OFF CONTAINERS MUST BE CONTRACTED THROUGH EDCO DISPOSAL CORPORATION UNLESS THE HAULING CAPABILITY EXISTS INTEGRAL TO THE PRIME CONTRACTOR PERFORMING THE WORK.

PROPERTY OWNER MUST INSTITUTE "BEST MANAGEMENT PRACTICES" TO PREVENT CONTAMINATION OF STORM DRAINS, GROUND WATER AND RECEIVING WATERS DURING BOTH CONSTRUCTION AND POST CONSTRUCTION. THE PROPERTY OWNER OR APPLICANT BMP PRACTICES SHALL INCLUDE BUT ARE NOT LIMITED TO:

- A) CONTAIN ALL CONSTRUCTION WATER USED IN CONJUNCTION WITH THE CONSTRUCTION. CONTAINED CONSTRUCTION WATER IS TO BE PROPERLY DISPOSED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY STATUTES, REGULATIONS, AND ORDINANCES.
- B) ALL RECYCLABLE CONSTRUCTION WASTE MUST BE PROPERLY RECYCLED AND NOT DISPOSED IN THE LANDFILL.
- C) WATER USED ON SITE MUST NOT BE PREVENTED FROM ENTERING THE STORM DRAIN CONVEYANCE SYSTEM (I.E. STREETS, GUTTERS, ALLEY, STORM DRAIN DITCHES, STORM DRAIN PIPES).
- D) ALL WASTE WATER RESULTING FROM CLEANING CONSTRUCTION TOOLS AND EQUIPMENT MUST BE CONTAINED ON SITE AND PROPERLY DISPOSED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY STATUTES, REGULATIONS, AND ORDINANCES.
- E) EROSION CONTROL - ALL SEDIMENT ON THE CONSTRUCTION SITE MUST BE CONTAINED ON THE CONSTRUCTION SITE AND NOT PERMITTED TO ENTER THE STORM DRAIN CONVEYANCE SYSTEM. THE APPLICANT IS TO COVER DISTURBED AND EXPOSED SOIL AREAS OF THE PROJECT WITH PLASTIC-LIKE MATERIAL (OR EQUIVALENT PRODUCT) TO PREVENT SEDIMENT REMOVAL INTO THE STORM DRAIN SYSTEM. SEE CASQA'S (CALIFORNIA STORMWATER QUALITY ASSOCIATION) CONSTRUCTION BEST MANAGEMENT PRACTICES HANDBOOK FOR OTHER ALTERNATIVE EROSION AND SEDIMENT CONTROL BMPs.

TWO DAY PRIOR TO ANY EXCAVATION, "DIG-ALERT" (800) 227-2600 SHALL BE NOTIFIED TO LOCATE ALL KNOWN UNDERGROUND UTILITIES.

FIRE DEPARTMENT REQUIREMENTS:

1. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC CH. 33.
2. ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
3. DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION.
4. AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10B:C SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR. 2019 CFC 906.
5. PROVIDE AN APPROVED MANUAL/AUTOMATIC FIRE ALARM SYSTEM. PLANS FOR THE FIRE ALARM SYSTEM SHALL BE SUBMITTED TO THE FIRE DEPARTMENT JURISDICTION FIRE PREVENTION BUREAU PRIOR TO INSTALLATION. 2019 CFC SECTION 901.
6. A FIRE EXTINGUISHER LISTED AND LABELED FOR CLASS K FIRES SHALL BE INSTALLED WITHIN 30 FEET OF COMMERCIAL FOOD HEAT-PROCESSING EQUIPMENT.
7. ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS AND WATER-FLOW SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE ELECTRICALLY MONITORED WHERE THE NUMBER OF SPRINKLERS IS MORE THAN 6.
8. FIRE-EXTINGUISHING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH CBC 904 AND COMPLY WITH CFC STANDARDS.
9. ALL FIRE ALARM SYSTEMS SHALL BE IN ACCORDANCE WITH 2019 CFC SEC 907.
10. ANY ROOM HAVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS WHERE FIXED SEATS ARE NOT INSTALLED, AND WHICH IS USED FOR ASSEMBLY, CLASSROOM, DINING, DRINKING, OR SIMILAR PURPOSES, SHALL HAVE THE MAXIMUM CAPACITY OF THE ROOM POSTED ON AN APPROVED SIGN IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT FROM THE ROOM. SHOW SIGN DESIGN AND LOCATION ON THE PLANS.
11. ANYTIME A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED AT A INTENSITY OF NOT LESS THAN 1 FOOTCANDLE AT THE FLOOR LEVEL.
12. EGRESS ILLUMINATION REQUIRES A SOURCE OF EMERGENCY POWER ANYTIME TWO OR MORE EXITS ARE REQUIRED. FOR AN A-2 OCCUPANCY: WHEN OCC. LOAD IS 50 OR MORE PERSONS.
13. PROVIDE AN APPROVED FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13. PLANS FOR THE INSTALLATION OR MODIFICATION OF THE SPRINKLER SYSTEM SHALL BE SUBMITTED FOR APPROVAL TO CFSM PRIOR TO INSTALLATION. 2019 CFC SECTION 903.
14. INTERIOR FINISHES AND COMBUSTIBLE DECORATIVE MATERIALS SHALL COMPLY WITH 2019 CFC SECTION 901.
15. COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SHALL BE SUBMITTED TO THE FIRE DEPARTMENT JURISDICTION SERVICES FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION (2019 CFC 907.1.1.).
16. LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH 2019 CFC 906 AND CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 19.
17. DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EAH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 3315.1.
18. COMPLETE PLANS AND SPECIFICATION FOR ALL FIRE EXTINGUISHER SYSTEMS, INCLUDING AUTOMATIC SPRINKLER AND STANDPIPE SYSTEMS INCLUDING AUTOMATIC SPRINKLER AND STANDPIPE SYSTEMS AND OTHER SPECIAL FIRE EXTINGUISHING SYSTEMS AND RELATED APPURTENANCES SHALL BE SUBMITTED TO THE FIRE DEPARTMENT JURISDICTION FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. 2019 CFC SECTIONS, 105.4.1, 107.2.1 AND 901.2
19. IN BUILDINGS THAT REQUIRE STANDPIPES, STANDPIPES SHALL BE PROVIDED DURING CONSTRUCTION WHEN THE HEIGHT REACHES 40 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS. A FIRE DEPARTMENT CONNECTION SHALL BE NO MORE THAN 100 FEET FROM AVAILABLE FIRE DEPARTMENT VEHICLE ACCESS ROADWAYS
20. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. WELDING, CUTTING, AND OTHER HOT WORK SHALL IN CONFORMANCE WITH 2019 CFC CHAPTER 35.
21. KEY BOXES SHALL BE PROVIDED FOR ALL HIGH-RISE BUILDINGS, POOL ENCLOSURES, GATES IN THE PATH OF FIREFIGHTER TRAVEL TO STRUCTURES, SECURED PARKING LEVELS, DOORS GIVING ACCESS TO ALARM PANELS AND/OR ANNUNCIATORS, AND ANY OTHER STRUCTURES OR AREAS WHERE ACCESS TO AN AREA IS RESTRICTED.
22. ALL CODE REFERENCES ARE TO BE IN COMPLIANCE WITH THE HEALTH AND SAFETY CODE (HSC) SECTION 13145. CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 19 AND TITLE 24 2022 EDITION.
23. FIRE DEPARTMENT INSPECTIONS AREA REQUIRED. SCHEDULE ALL INSPECTIONS 2 DAYS AHEAD.
24. A DETAILED LETTER CLEARLY IDENTIFYING ALL INTENDED USE(S) AND OPERATION(S) OF STRUCTURE(S) SHALL BE PROVIDED TO THE FIRE DEPARTMENT ALONG WITH THE SUBMITTALS.
25. IF ADDITIONS OF WALLS AND/OR OTHER TENANT IMPROVEMENTS OBSTRUCT OR EFFECT COVERAGE OR PERFORMANCE OF THE FIRE SPRINKLER SYSTEM AND/OR IF ANY MODIFICATION OF THE FIRE SPRINKLER SYSTEM IS NECESSARY, FIRE SPRINKLER TENANT IMPROVEMENT PLANS SHALL BE SUBMITTED TO CALIFORNIA STATE FIRE MARSHAL FOR APPROVAL PRIOR TO INSTALLATION.
26. EXIT DOOR SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING MORE THAN PERSONS.
28. PROVIDE FIRE DEPARTMENT ACCESS TO THE FACILITY. "KNOX" KEY DEVICES ARE AVAILABLE FOR USE IN THE CITY. EXISTING BUILDING HAS APPROVED KNOX BOX LOCATION PER SHI BUILDING PLANS.

SUSPENDED CEILING NOTES:

1. SUSPENDED CEILINGS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ASTM C635 , ASTM C636, ASTM E580, AND CISCA FOR SEISMIC ZONES 3-4 REQUIREMENTS WITH MODIFICATIONS AS OUTLINED IN ASCE 7-10, SECTION 13.5.6.2.2 FOR INSTALLATION IN SEISMIC DESIGN CATEGORY "D" THROUGH "F" TO SATISFY THE REQUIREMENTS OF CBC 2019
2. PARTITIONS THAT ARE TIED TO THE CEILING AND ALL PARTITIONS GREATER THAN SIX FEET IN HEIGHT SHALL BE Laterally BRACED TO THE STRUCTURE. SUCH BRACING SHALL BE INDEPENDENT OF ANY CEILING SPREAD BRACING. (ASCE 7-10, 13.5.8)
3. ALL MAIN AND CROSS RUNNERS ARE TO BE HEAVY DUTY (HD) (ASTM E580)
4. THESE REQUIREMENTS COVER SUSPENDED CEILING SYSTEMS, INCLUDING GRID , PANEL OR TILE, LIGHT FIXTURES AND AIR TERMINALS, WEIGHING NO MORE THAN 4 lbs PER SQUARE FOOT (ASCE 7-10, 13.5.6)
5. WIRES SHALL NOT ATTACH OR BEND AROUND INTERFERING MATERIAL OR EQUIPMENT. (CISCA ZONE 3-4)
6. ALL WIRE TIES ARE TO BE THREE TIGHT TURNS AROUND ITSELF WITHIN THREE INCHES (ASTM C 636 ITEM 2.3.4)
7. CHANGES IN CEILING PLAN WILL REQUIRE POSITIVE BRACING (ASTM E580)

LATERAL FORCE BRACING:

8. CEILINGS CONSTRUCTED OF LATH AND PLASTER OR GYPSUM BOARD, SCREW OR NAIL ATTACHED TO SUSPENDED MEMBERS THAT SUPPORT A CEILING ON ONE LEVEL, EXTENDING FROM WALL TO WALL, SHALL BE EXEMPT FROM THE LATERAL FORCE BRACING REQUIREMENTS. (CISCA ZONES 3-4)
9. A CEILING AREA OF 144 SQUARE FEET OR LESS SURROUNDED ON ALL SIDES BY WALLS THAT CONNECT DIRECTLY TO THE STRUCTURE ABOVE SHALL BE EXEMPT FROM THE LATERAL DESIGN REQUIREMENTS PER CISCA "GUIDELINES FOR SEISMIC RESTRAINT FOR DIRECT HUNG SUSPENDED CEILING ASSEMBLIES MAY 2004 EDITION."
10. FOR CEILING AREA EXCEEDING 1000 SQUARE FEET, HORIZONTAL RESTRAINTS OF THE CEILING (LATERAL FORCE BRACING) TO THE STRUCTURAL SYSTEM SHALL BE PROVIDED. THE TRIBUTARY AREA OF THE HORIZONTAL RESTRAINT SHALL BE APPROXIMATELY EQUAL. (ASTM E580)
11. FOR CEILINGS 1000 SQUARE FEET OR LESS IN AREA, NO HORIZONTAL RESTRAINT IS REQUIRED, PROVIDED THE CEILING IS SURROUNDED BY WALLS OR SUPPORTS AND ATTACHED TO STRUCTURE. (ASTM E580)
12. THE HORIZONTAL RESTRAINT POINTS FOR LATERAL FORCE BRACING SHALL BE PLACED 12 FEET ON CENTER (MAXIMUM) IN BOTH DIRECTIONS WITH THE FIRST POINT WITHIN 6 FEET OF EACH WALL. (CISCA ZONES 3-4)
13. SPAY WIRES ARE TO BE FOUR No. 12 GAGE WIRES ATTACHED TO THE MAIN RUNNER WITHIN 2 INCHES OF THE CROSS RUNNERS. WIRES ARE SPAYED 90° FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45° FROM THE PLANE OF THE CEILING. (CISCA ZONES 3-4)
14. RIGID BRACING MAY BE USED IN LIEU OF SPAYED WIRES. (ASTM E580)
15. VERTICAL STRUTS, FASTENED TO THE MAIN RUNNERS, MUST BE POSITIVELY ATTACHED TO THE CEILING SUSPENSION SYSTEMS AND THE STRUCTURAL MEMBER SUPPORTING THE ROOF OR FLOOR ABOVE. (CISCA ZONE 3-4)
16. THE VERTICAL STRUT, FASTENED TO THE MAIN RUNNER, MAY BE AN "EMT" CONDUIT, METAL STUDS OR A PROPRIETARY COMPRESSION POST.
17. THE VERTICAL STRUT, FASTENED TO THE MAIN RUNNER, MAY BE AN "EMT" CONDUIT, METAL STUDS OR A PROPRIETARY COMPRESSION POST.

PERIMETER CLOSURE ANGLES:






3. WHEN PERIMETER CLOSURE ANGLES ARE USED, THE CLOSURE ANGLES ARE REQUIRED TO HAVE A HORIZONTAL MINIMUM PLANGE WIDTH OF 2 INCHES.
19. ALTERNATE PERIMETER CLOSURE METHODS SHALL HAVE AN "ICC APPROVAL NUMBER" FOR ITS PARTICULAR APPLICATION.
20. WHEN ALTERNATE METHODS ARE USED IN LIEU OF CLOSURE ANGLES, THEY SHALL BE APPROVED PRIOR TO INSTALLATION.
21. THE ENDS OF THE CEILING GRID SHALL BE ATTACHED TO PERIMETER CLOSURE ANGLES IN EACH ORTHOGONAL HORIZONTAL DIRECTION USING POP RIVETS (OPTIONAL) OR OTHER APPROVED METHODS.
22. THE OTHER ENDS OF THE CEILING GRID, IN EACH HORIZONTAL DIRECTION, SHALL REMAIN UNATTACHED AND REST ON CLOSURE ANGLES THAT PERMIT FREE SLIDING MOVEMENT. A MINIMUM 3/4 INCH CLEARANCE BETWEEN THE WALL AND THE ENDS OF THE CEILING GRID SHALL BE PROVIDED. OTHER APPROVED METHODS OF ATTACHMENT ARE ALSO PERMITTED. (ASCE 7-10 13.5.6.2.2, ITEM A)
23. SPREADER (SPACER) BARS OR OTHER APPROVED MEANS SHALL BE PROVIDED AT THE ENDS OF THE MAIN OR CROSS RUNNERS TO PREVENT SPREADING DURING SEISMIC EVENT. PERIMETER WIRES SHALL NOT BE USED IN LIEU OF SPREADER BARS. (CISCA ZONES 3-4)
24. SPREADER BARS ARE NOT REQUIRED IF A 90 DEGREE INTERSECTING CROSS OR MAIN RUNNERS ARE WITHIN 8 INCHES OF A PERIMETER WALL.
25. HANGER WIRES SHALL BE No. 12 GAGE AND SPACED 4 FEET ON CENTER OR No. 10 GAGE SPACED 5 FEET ON CENTER. (ASTM C 636)
26. ANY CONNECTION DEVICE AT THE SUPPORTING FLOOR OR CEILING CONSTRUCTION SHALL BE CAPABLE OF CARRYING NOT LESS THAN 100 POUNDS. (CISCA ZONES 3-4)
27. BRACING WIRES SHALL BE ATTACHED TO THE GRID AND TO THE STRUCTURE IN SUCH A MANNER THAT THEY CAN SUPPORT A DESIGN LOAD OF NOT LESS THAN 200 POUNDS OR THE ACTUAL DESIGN LOAD, WITH A SAFETY FACTOR OF 2, WHICHEVER IS GREATER. (CISCA ZONES 3-4)
28. ALL LIGHTING FIXTURES SHALL BE POSITIVELY ATTACHED TO THE SUSPENDED CEILING SYSTEM USING ATTACHMENT DEVICES THAT SHALL HAVE THE CAPACITY TO RESIST 100 PERCENT OF THE LIGHTING FIXTURE WEIGHT ACTING IN ANY DIRECTION. (CISCA ZONES 3-4)
29. LIGHT FIXTURES WEIGHING LESS THAN 10 POUNDS SHALL HAVE ONE No. 12 GUAGE HANGER WIRE CONNECTED FROM THE FIXTURE TO THE STRUCTURE ABOVE. THIS WIRE MAY BE SLACK. (CISCA ZONES 3-4)
30. LIGHT FIXTURES WEIGHING MORE THAN 10 POUNDS AND LESS THAN 56 POUNDS SHALL HAVE TWO No. 12 GUAGE WIRES ATTACHED AT OPPOSING CORNERS OF THE LIGHT FIXTURE TO THE STRUCTURE ABOVE. THESE WIRES MAY BE SLACK. (CISCA ZONES 3-4)
31. LIGHT FIXTURES WEIGHING MORE THAN 56 POUNDS SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE BY APPROVED HANGERS. SUPPLEMENTARY HANGERS ARE NOT REQUIRED. (CISCA ZONES 3-4)
32. PENDANT MOUNTED FIXTURES SHALL BE DIRECTLY SUPPORTED FROM THE STRUCTURE ABOVE USING A 9 GAGE WIRE OR AN APPROVED ALTERNATE SUPPORT. THE SUPPORT SYSTEM SHALL NOT RELY UPON THE CEILING SUSPENSION SYSTEM FOR DIRECT SUPPORT. (CISCA ZONES 3-4)
33. TANDEM FIXTURES MAY UTILIZE COMMON WIRES
34. TERMINALS OR SERVICES WEIGHING 20 POUNDS BUT NOT MORE THAN 56 POUNDS MUST HAVE TWO No. 12 GAGE WIRES CONNECTION BETWEEN THE CEILING SYSTEM HANGERS OR THE STRUCTURE ABOVE. THESE WIRES MAY BE SLACK. (CISCA ZONES 3-4)
35. TERMINALS OR SERVICES WEIGHING MORE THAN 56 POUNDS MUST BE INDEPENDENTLY SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE. THESE WIRES MUST BE TAUT. (CISCA ZONES 3-4)
36. FOR CEILING AREAS EXCEEDING 2500 SQUARE FEET, A SEISMIC SEPARATION JOINT, WITH 2 INCH MINIMUM SEPARATION, SHALL BE PROVIDED UNLESS ANALYSES ARE PERFORMED FOR THE CEILING BRACING SYSTEM, CLOSURE ANGLES AND PENETRATIONS TO PROVIDE SUFFICIENT CLEARANCE. (ASCE 7-10 13.5.6.2.2, ITEM B)
37. ALTERNATIVELY, FOR CEILING AREAS EXCEEDING 2500 SQUARE FEET, FULL HEIGHT WALL PARTITION THAT BREAK S THE CEILING SHALL BE PROVIDED UNLESS ANALYSES ARE PERFORMED OF THE CEILINGS BRACING SYSTEM, CLOSURE ANGLES AND PENETRATIONS TO PROVIDE SUFFICIENT CLEARANCE. (ASCE 7-10 13.5.6.2.2, ITEM B)
38. FOR CEILINGS WITHOUT RIGID BRACING, SPRINKLER HEAD PENETRATIONS SHALL HAVE A 2 INCH OVERSIZE RING, SLEEVE OR ADAPTER THROUGH THE CEILING TIE TO ALLOW FREE MOVEMENT OF AT LEAST 1 INCH IN ALL HORIZONTAL DIRECTIONS. FLEXIBLE HEAD DESIGN THAT CAN ACCOMMODATE 1 INCH FREE MOVEMENT SHALL BE PERMITTED AS AN ALTERNATE. (ASTM E580)
39. POWER ACTUATED FASTNERS (SHOT PINS) SHALL NOT BE USED FOR TENSION LOAD APPLICATIONS IN SEISMIC DESIGN CATEGORY D THROUGH F (ASCE 7-10, 13.4.5)

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EL TAPATIO CATERING

667 SILVER STRAND BLVD
IMPERIAL BEACH, CA 91932

REVISIONS		
DATE	DESCRIPTION	
07/07/23	PC1 SUBMITTAL	
02/18/25	PC2 SUBMITTAL	
04/29/25	PC3 SUBMITTAL	
		
		
		
Bid Issue Date:		TBD
Date:	04/29/25	
Scale:	AS NOTED	
Project No.	-	
Sheet Title:		

GENERAL NOTES

Sheet No.:

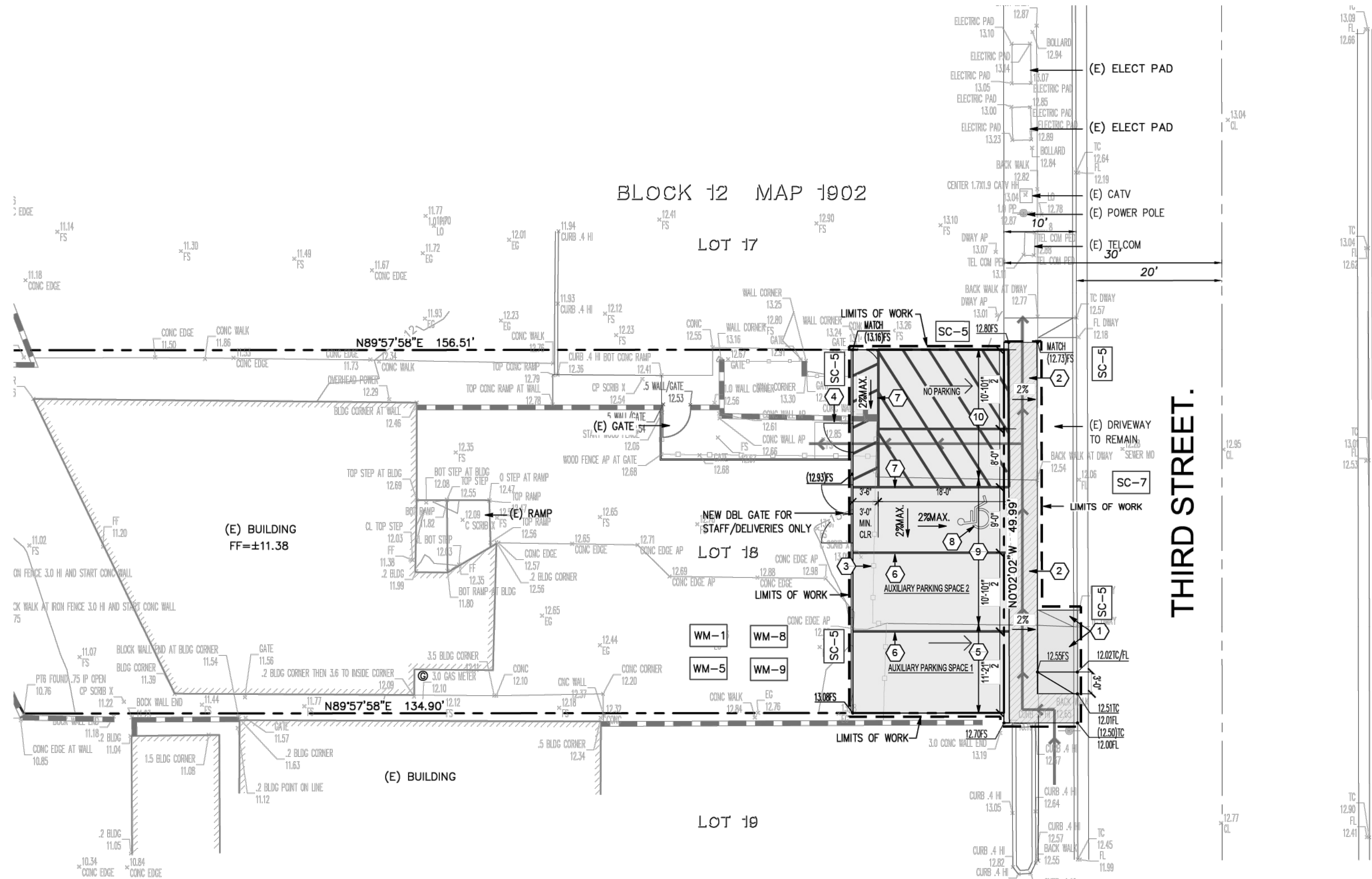
T1.1

CONSTRUCTION NOTES

- 1 REMOVE EXISTING DRIVEWAY WING AND SIDEWALK AND CONSTRUCT DRIVEWAY PER G-14A.
2 REMOVE AND REPLACE SIDEWALK PER G-07, G-10 & G-11.
3 REMOVE EXISTING WOOD FENCE.
4 CONSTRUCT ACCESSIBLE GATE PER ARCHITECTURAL PLAN.
5 CONSTRUCT 4" CONCRETE PAVEMENT.
6 CONSTRUCT 4" WHITE STRIPING.
7 CONSTRUCT 4" BLUE STRIPING.
8 CONSTRUCT ADA SYMBOL.
9 REMOVE CONCRETE DRIVEWAY & REPLACE BY 4" CONCRETE PAVEMENT.
10 REMOVE EXISTING A.C. PAVEMENT & REPLACE BY 4" CONCRETE PAVEMENT.

DATA TABLE

TOTAL DISTURBANCE AREA	1,581.0 S.F.
EXISTING AMOUNT OF IMPERVIOUS AREA	6,330.0 S.F.
AMOUNT OF CREATED IMPERVIOUS AREA	262.7 S.F.
AMOUNT OF REPLACED IMPERVIOUS AREA	1,290.6 S.F.
TOTAL PROPOSED IMPERVIOUS AREA	1,553.3 S.F.
IMPERVIOUS % INCREASE	24.5%
AMOUNT OF CUT	13.7 C.Y.
AMOUNT OF FILL	0.30 C.Y.
EXPORT	13.4 C.Y.
HEIGHT OF CUT	0.83 FT.
HEIGHT OF FILL	0.50 FT.



LEGEND

PROPERTY LINE	---
ROAD CENTERLINE	---
EXISTING BUILDING	---
EXISTING CURB & GUTTER	---
EXISTING SPOT ELEVATION	---
EXISTING CONTOUR	---
EXISTING WOOD FENCE	---
EXISTING WALL	---
REMOVE AND REPLACE SIDEWALK PER G-07, G-10 & G-11. PROPOSED IMPROVEMENTS	---
PROPOSED 4" CONCRETE PAVEMENT	---
PROPOSED 4" CONCRETE WALKWAY PER G-07, G-10, & G-11	---
PROPOSED STRIPING	---
LIMITS OF WORK	---
DRAINAGE DIRECTION	---
PROPOSED ELEVATION	---
MATCH EXISTING ELEVATION	---
MATERIAL DELIVERY & STORAGE	WM-1
SOLID WASTE MANAGEMENT	WM-5
CONCRETE WASTE MANAGEMENT	WM-8
SEPTIC/SANITARY WASTE MANAGEMENT	WM-9
FIBER ROLLS	SC-5
STREET SWEEPING & VACUUMING	SC-7

SITE ADDRESS

667 SILVER STRAND BOULEVARD IMPERIAL BEACH, CA 91932

ASSESSORS PARCEL NUMBER

625-024-12-00

SHORT LEGAL DESCRIPTION:

LOT 18 BLOCK 12 OF SILVER STRAND BEACH GARDENS MAP 1902.

TOPOGRAPHY SOURCE

J&B ENGINEERS, SURVEYORS
13670 DANIELSON ST. SUITE G
POWAY, CA 92064

BENCHMARK:

STAMPING: 0120 0 1977
LOCATION: 0.5 MI. EAST OF THE BEACH IN THE NW CORNER OF MAR VISTA HIGH SCHOOL GROUNDS, 188 FT. EAST OF CL OF 4TH STREET
67.5 FT. SOUTH OF THE CHAINLINK FENCE BORDERING THE SCHOOL, AND 46 FT. SOUTH OF THE CL OF ENCINA AVENUE.
ELEVATION: 21.884 DATUM: M.S.L.

CIVIL ENGINEER

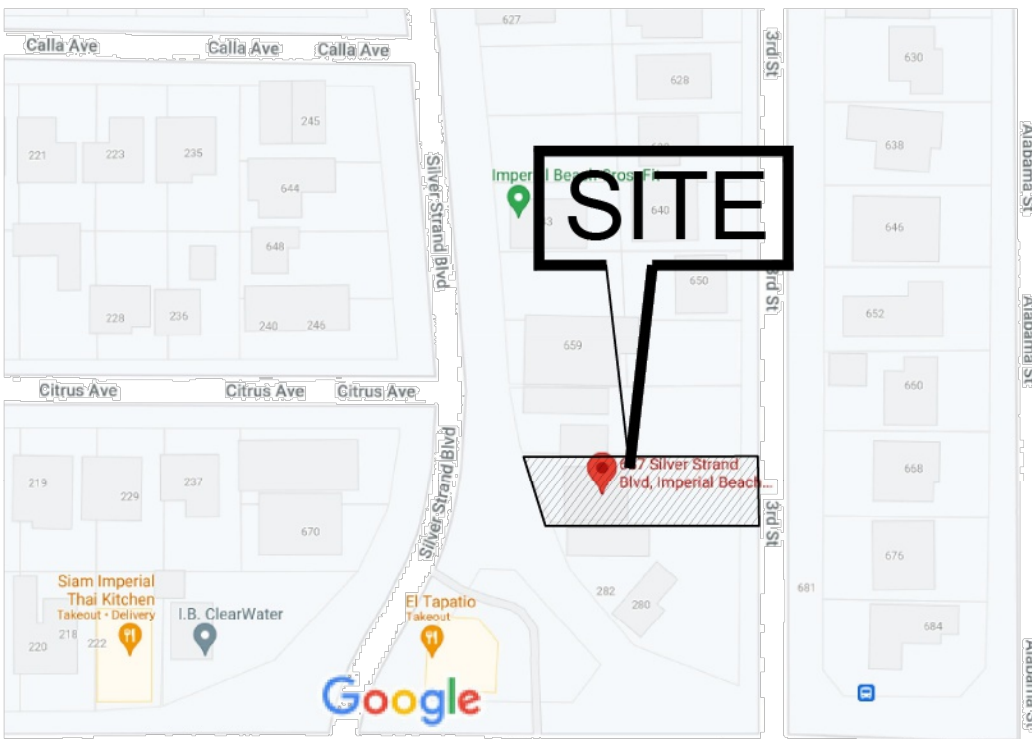
J&B ENGINEERS, SURVEYORS
13670 DANIELSON ST. SUITE G
POWAY, CA 92064



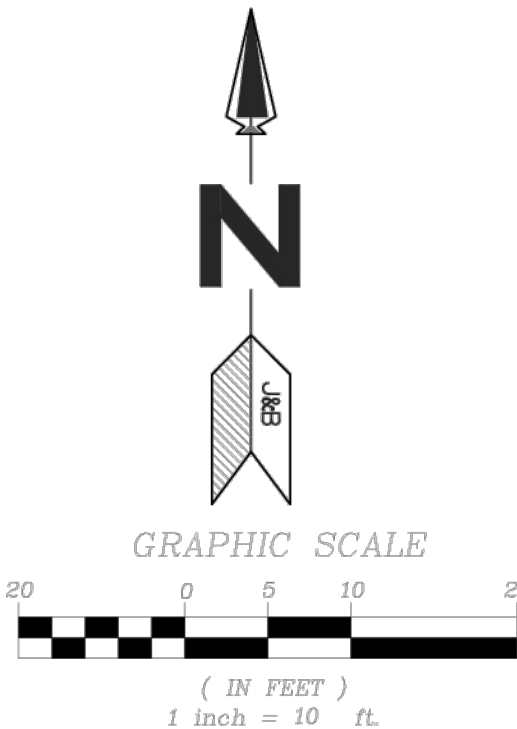
MACARIO R. PEREZ RCE 20604 EXP: 09-30-21

CONCEPTUAL GRADING PLAN
& EROSION CONTROL PLAN
667 SILVER STRAND BOULEVARD
IMPERIAL BEACH, CA 91932

C1



VICINITY MAP
NO SCALE



FOR REFERENCE ONLY

REVISIONS

DATE	DESCRIPTION
07/07/23	PC1 SUBMITTAL
02/18/25	PC2 SUBMITTAL
04/29/25	PC3 SUBMITTAL

Bid Issue Date:	TBD
Date:	04/29/25
Scale:	AS NOTED
Project No.	-
Sheet Title:	TOPOGRAPHIC SURVEY

Sheet No.:

A0.0

667 SILVER STRAND BLVD
IMPERIAL BEACH, CA 91932

DATE	DESCRIPTION	
07/07/23	PC1 SUBMITTAL	1
02/18/25	PC2 SUBMITTAL	2
04/29/25	PC3 SUBMITTAL	3
		4
		5

Project No. _____

ENLARGED

SITE PLAN

Figure 1

Sheet No.:

A01

AD 1

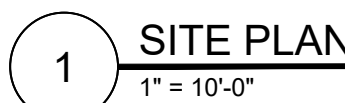
AU

7.10.1

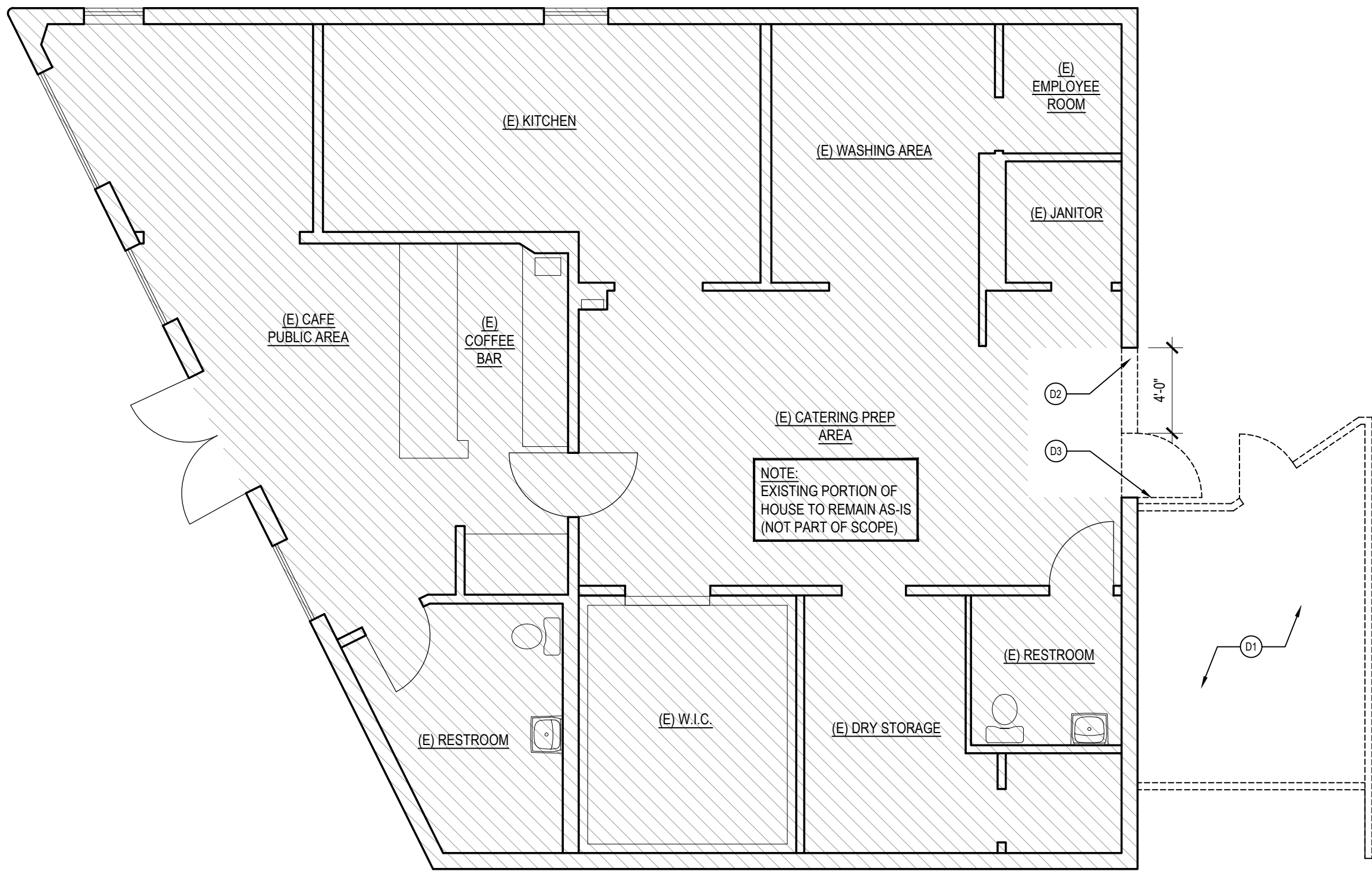
GROUND LEVEL		ADA PARKING (OVERALL SITE)	
EXISTING:	1,720 SF	VAN ADA REQUIRED:	1 STALL
PROPOSED ADDITION:	1,550 SF	VAN ADA PROVIDED:	1 STALL
SECOND LEVEL			
PROPOSED ADDITION:	1,797 SF	TOTAL ADA REQUIRED:	1 STALL
		TOTAL ADA PROVIDED:	1 STALL
TOTAL SF:	5,067 SF		
PARKING REQUIRED: 5,067 SF + (1/1000) = 5.07 STALLS		*PER IMBC SECTION 19.48.035	
*PARKING REQUIRED: 5 - (5 X 0.25 = 1.25) = 3.75 STALLS = 4 STALLS		ELIGIBLE FOR 25% REDUCTION	
PARKING PROVIDED: 3 STALLS		FOR VERTICAL MIXED-USE	
**PARKING TO BE PROVIDED OFF-SITE: 1 STALL		**OFF-SITE PARKING THIS REQUIREMENT WILL BE	

- 01 ADA PATH OF TRAVEL - - - -
- 02 EXISTING ACCESSIBLE PARKING WITH ADA SIGNAGE.
SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.
- 03 EXISTING ACCESSIBLE LOADING ZONE.
SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.

1. ALL PRIMARY PUBLIC ENTRANCES AND MAJOR FUNCTION AREA TO DISPLAY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION, AND REPORT BACK TO DESIGNER WITH ANY DISCREPANCIES ON THIS DRAWING.
2. UPGRADE ALL ACCESSIBLE ITEMS WITHIN THE PATH OF TRAVEL TO MEET THE 2022 CALIFORNIA BUILDING CODE (TITLE 24). REFER TO SHEETS T.1.2 THRU T.1.6 FOR TYPICAL DETAILS & REQUIREMENTS.
3. 110.3.10.1 SETBACK AND BUILDING HEIGHT CERTIFICATION PRIOR TO THE FIRST FOUNDATION INSPECTION FOR ANY NEW BUILDING OR ADDITION TO AN EXISTING BUILDING WITHIN ONE (1) FOOT OF THE REQUIRED SETBACKS OR BUILDING HEIGHT LIMITATIONS ESTABLISHED BY TITLE 19, ZONING OF THE IMPERIAL BEACH MUNICIPAL CODE, A WRITTEN STATEMENT OR CERTIFICATE PREPARED AND SIGNED BY A REGISTERED CIVIL ENGINEER LICENSED TO PRACTICE LAND SURVEYING OR A LICENSED LAND SURVEYOR SHALL BE SUBMITTED TO THE BUILDING OFFICIAL STATING THAT UNDER PENALTY OF PERJURY THAT THE ROUGH GRADE ELEVATIONS AND LOCATION OF THE BUILDING ARE IN SUBSTANTIAL CONFORMANCE WITH THE PLANS APPROVED BY THE CITY OF IMPERIAL BEACH.



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1 FLOOR PLAN - EXISTING AND DEMOLITION PLAN
3/16" = 1'-0"

DEMOLITION PLAN KEYNOTE

- D1) DEMOLISH EXISTING REAR STORAGE ROOM/SHED
- D2) DEMOLISH PORTION OF EXISTING WALL
- D3) REMOVE EXISTING DOOR AND HARDWARE

FLOOR PLAN LEGEND

- * REFER TO 'GENERAL NOTES' (T1.1) FOR ADDITIONAL INFORMATION
- EXISTING STUD WALL TO REMAIN
- EXISTING WALL / ITEM TO BE DEMOLISHED
- DASHED AREA INDICATES AREA N.I.C., NO PROPOSED WORK AT THIS AREA

REVISIONS	
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07/07/23	PC1 SUBMITTAL
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04/29/25	PC3 SUBMITTAL

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Date: 04/29/25

Scale: AS NOTED

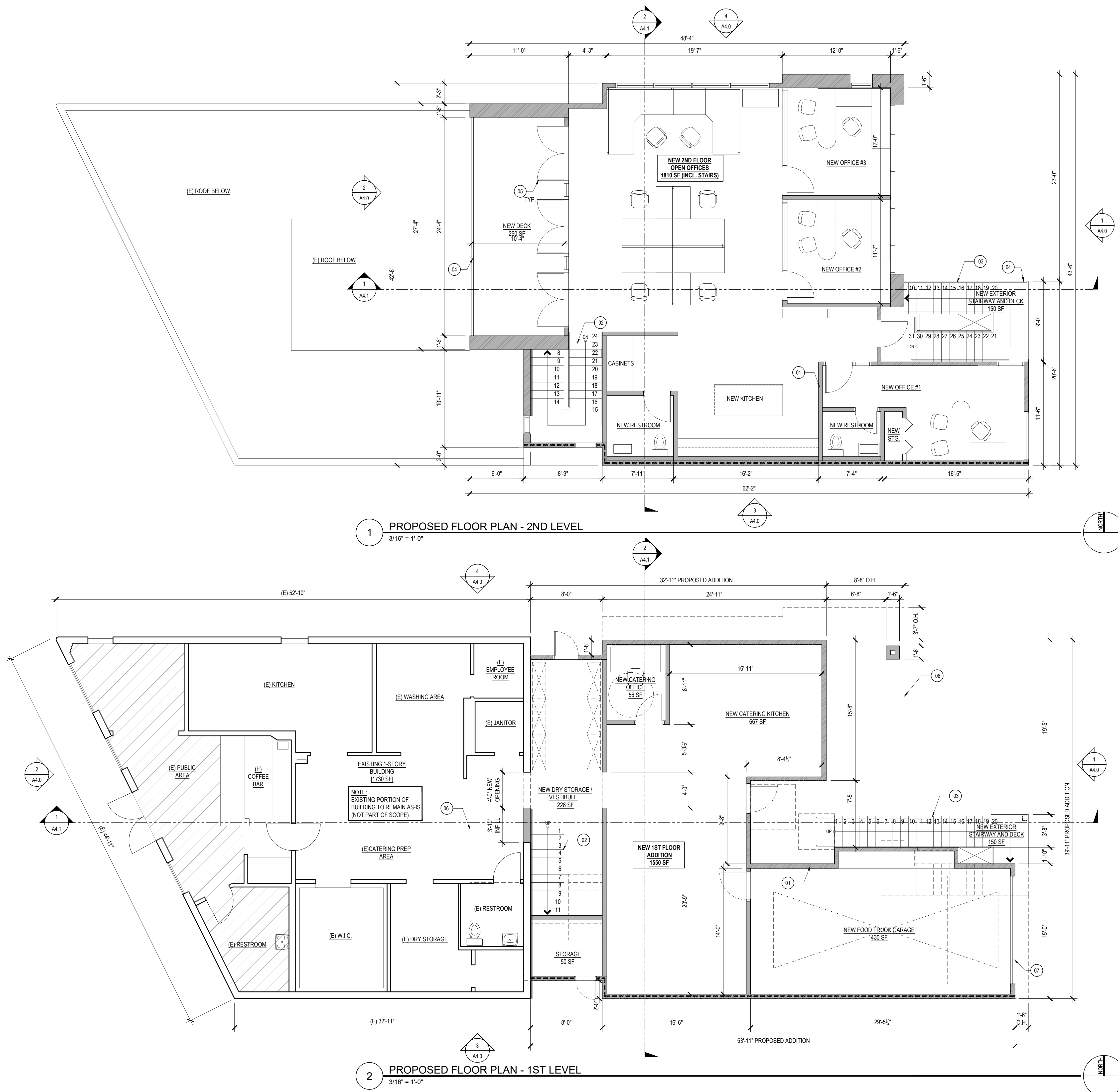
Project No. -

Sheet Title:
EXISTING
FLOOR PLAN

Sheet No.:

A1.0

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FLOOR PLAN KEYNOTES

- 01 NEW WALL, TYP.
- 02 NEW INTERIOR STAIRWAY
- 03 NEW EXTERIOR STAIRWAY
- 04 NEW 42" HIGH CABLE GUARDRAIL
- 05 NEW FRENCH DOOR
- 06 NEW 2ND STORY OUTLINE ABOVE, TYP.
- 07 NEW 12' X 8' GLASS ROLL UP/GARAGE DOOR

FLOOR PLAN LEGEND

- * REFER TO 'GENERAL NOTES' (T1.1) FOR ADDITIONAL INFORMATION
- NEW EXTERIOR WALL
 - NEW NON-BEARING INTERIOR WALL
 - NEW 1-HR RATED EXTERIOR WALL
 - EXISTING WALL TO REMAIN
 - EXISTING DESIGNATED AREA FOR CUSTOMERS

REVISIONS

DESCRIPTION	DATE
PC1 SUBMITTAL	07/07/23
PC2 SUBMITTAL	02/18/25
PC3 SUBMITTAL	04/29/25

Bid Issue Date: TBD

Date: 04/29/25

Scale: AS NOTED

Project No. -

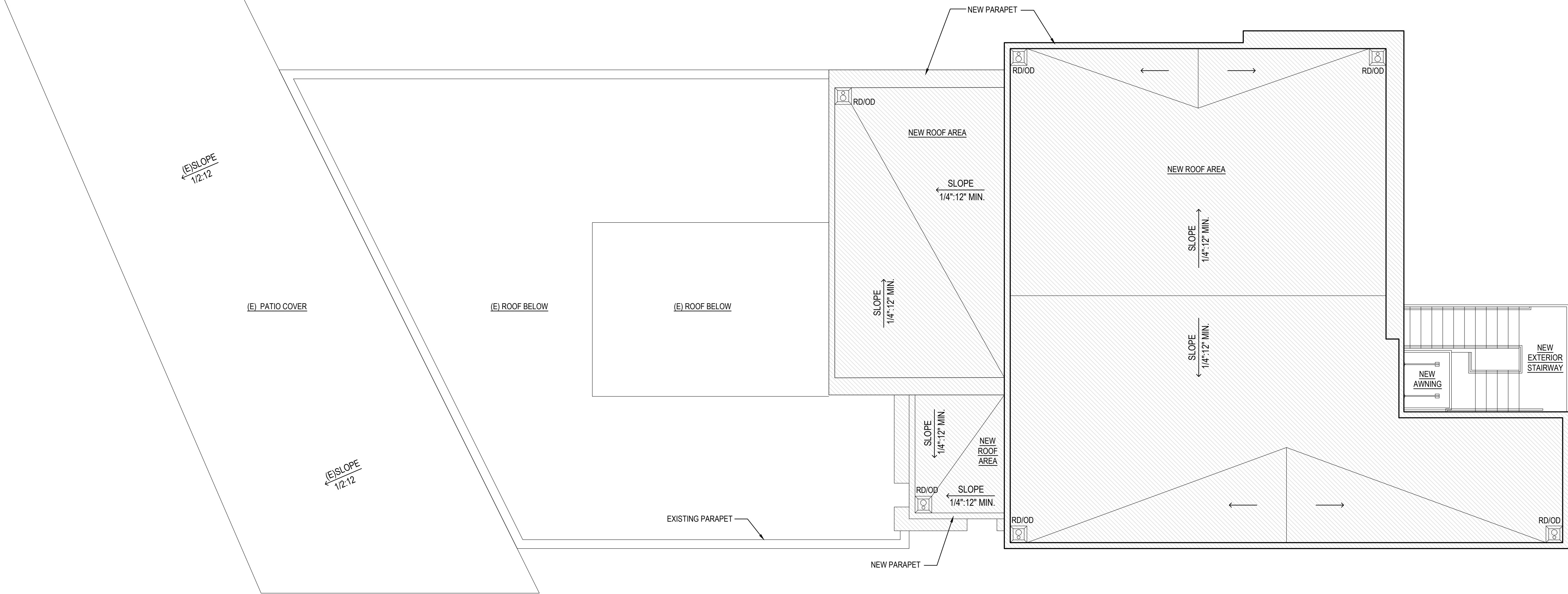
Sheet Title:

PROPOSED
FLOOR PLANS

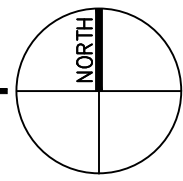
Sheet No.:

A1.1

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1 PROPOSED ROOF PLAN
3/16" = 1'-0"



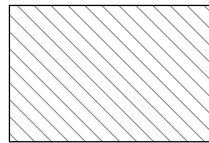
ROOF PLAN GENERAL NOTES

- ALL ROOFING MATERIALS SHALL BE APPLIED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND CBC CHAPTER 15 LATEST ADOPTED ADDITION.
- PROVIDE 1X6 Z-BAR FLASH BACKING AT ALL ROOF TO WALL CONNECTIONS
- INSULATION SHALL NOT BLOCK EAVE VENTS. A MIN. OF 1" AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. TO ACCOMMODATE THE THICKNESS OF THE INSULATION PLUS THE REQUIRED 1" CLEARANCES, MEMBER SIZES MAY HAVE TO INCREASE FOR RAFTER/CEILING JOISTS.
- GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. GUTTERS SHALL BE DESIGNED TO REDUCE THE ACCUMULATION OF LEAF LITTER AND DEBRIS THAT CONTRIBUTES TO ROOF EDGE IGNITION.
- ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH 1/16" MINIMUM TO 1/4" MINIMUM OPENINGS. SECTION R806.1
- VENTS SHALL BE INSTALLED TO PREVENT THE INTRUSION OF FLAMES AND BURNING EMBERS. -OPENINGS SHALL BE COVERED WITH A NONCOMBUSTIBLE, CORROSION RESISTANT WIRE MESH WITH OPENINGS OF A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8"

ROOF SCOPE OF WORK

← ARROW INDICATES DOWNSLOPE DIRECTION

MANUFACTURE: JOHN MANSVILLE
MODEL: JM "SP6RM" 60M MECHANICALLY ADHERED
TYPE: SINGLE PLY PVC MEMBRANE
COLOR: LT. BROWN
THICKNESS: 60mil
ASTM: D 4434 TYPE III
FIRE PROTECTION: CLASS A
APPROVAL (UL): UL-TGFU R10167



ENERGY & ENVIRONMENT				0.86
ENERGY STAR:	PASS	REFLECTIVITY:	0.86	0.94
TITLE 24:	PASS	REFLECTIVITY:	0.86	EMISSIVITY:
CAL Green		REFLECTIVITY:	0.86	EMISSIVITY:
		RECYCLED CONTENT:	POST CONSUMER: 0%	POST INDUSTRIAL: 0%

REVISIONS

DESCRIPTION	DATE
PC1 SUBMITTAL	07/07/23
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PC3 SUBMITTAL	04/29/25

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Date: 04/29/25

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Sheet Title:

ROOF PLAN

Sheet No.:

A1.2

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ELEVATION KEYNOTES

- 1A STUCCO #1 - 3-COAT SANTA BARBARA FINISH - WHITE
- 1B STUCCO #2 - 3-COAT SANTA BARBARA FINISH - BLACK
- 1C STUCCO #3 - 3-COAT SANTA BARBARA FINISH - MURAL BY LOCAL ARTIST
- 2 EXPOSED CONCRETE FINISH
- 3 STAINED CEDAR WOOD CLADDING
- 4 NEW DOOR - BLACK FRAME
- 5 NEW WINDOW - BLACK ALUMINUM FRAME
- 6 42" HIGH (MIN.) PATIO/DECK WALL W/ GALV. CAP FLASHING
- 7 42" HIGH (MIN.) CABLE GUARDRAIL
- 8 LINE OF EXISTING GRADE
- 9 LINE OF PROPOSED GRADE
- 10 COLUMN FOR STAIR SUPPORT
- 11 COLUMN FOR 2ND FLOOR SUPPORT
- 12 AWNING
- 13 GALV. EAVE FLASHING PAINTED TO MATCH STUCCO/SIDING
- 14 EXTERIOR STEEL STAIRWAY WITH WOOD THREADS
- 15 STUCCO EXPANSION JOINTS
- 16 42" HIGH (MIN.) GLASS GUARDRAIL
- 17 NEW 12' X 8' GLASS ROLL UP/GARAGE DOOR

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IMPERIAL BEACH, CA 91932

REVISIONS

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Date: 04/29/25

Scale: AS NOTED

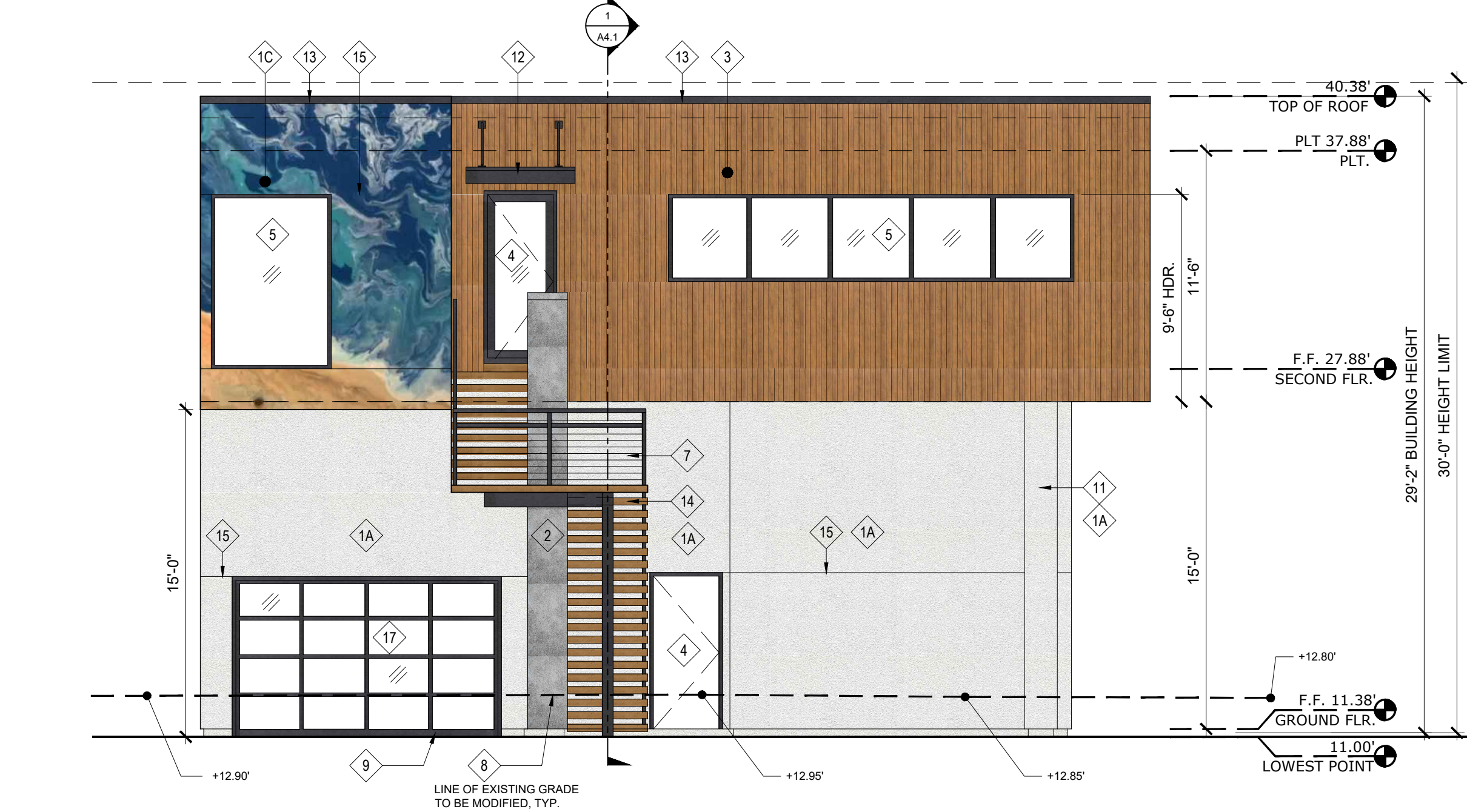
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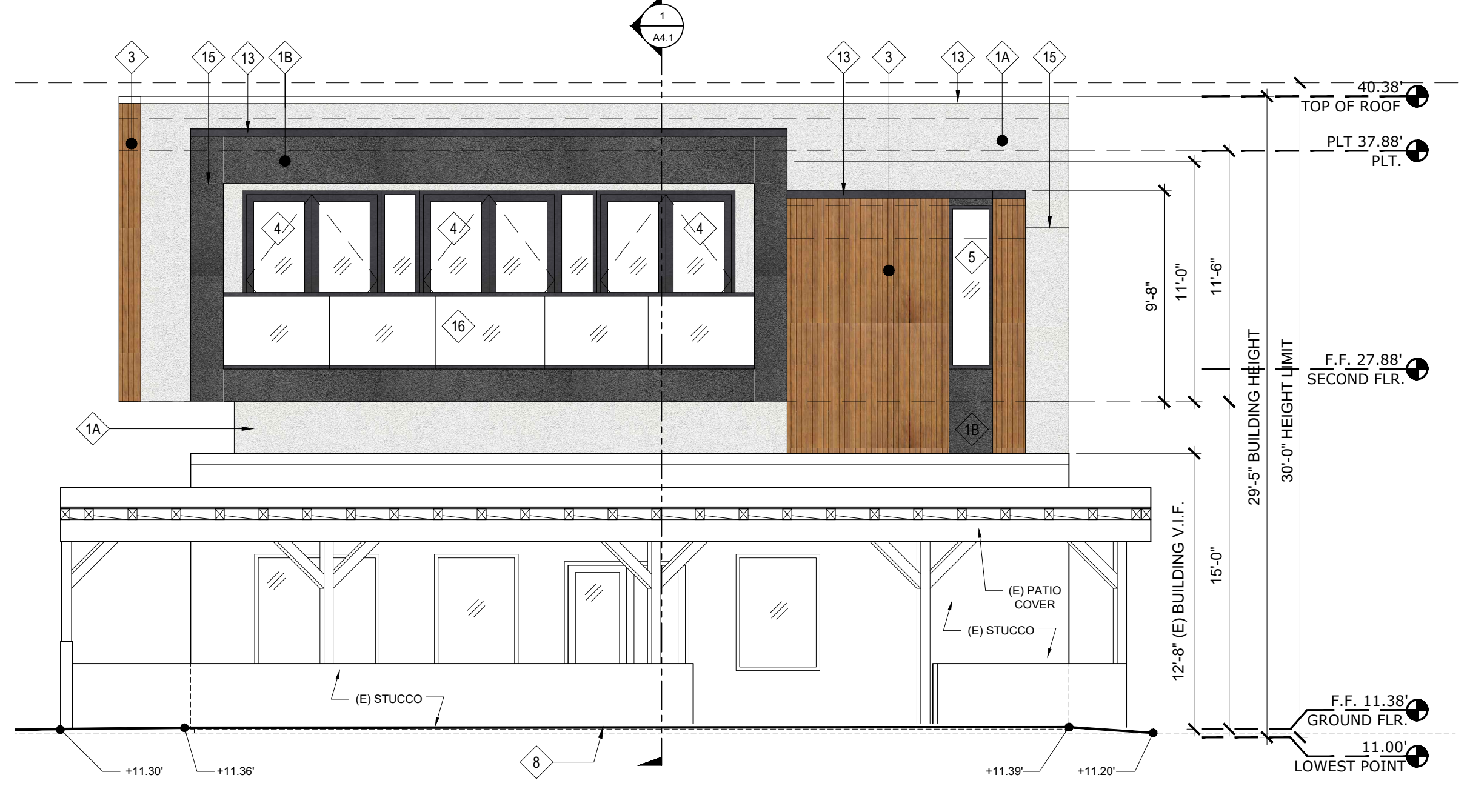
EXTERIOR ELEVATIONS

Sheet No.:

A4.0



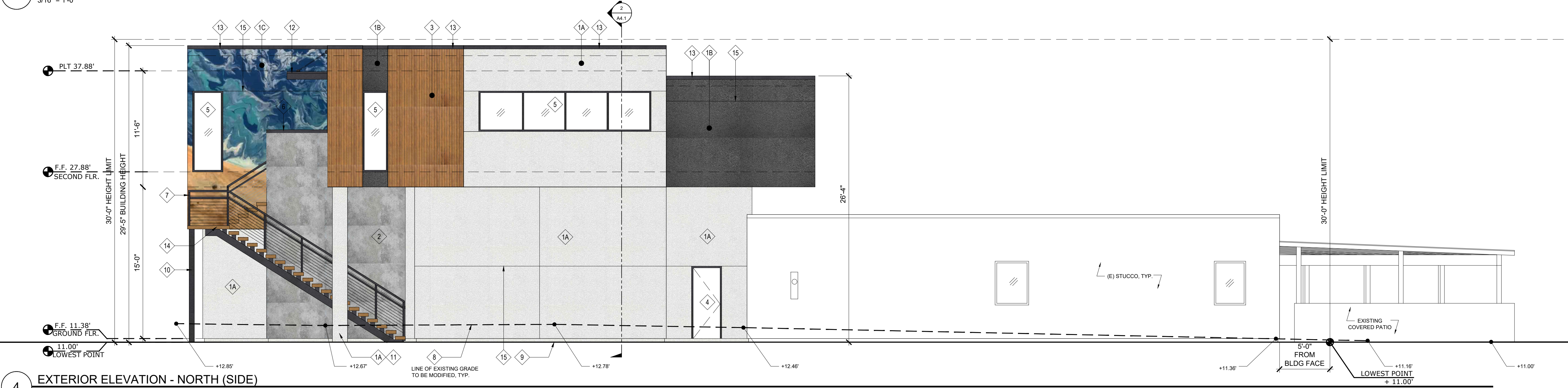
1 EXTERIOR ELEVATION - EAST (REAR - FACING 3RD ST.)
3/16" = 1'-0"



2 EXTERIOR ELEVATION - WEST (FRONT- FACING SILVER STRAND BLVD.)
3/16" = 1'-0"

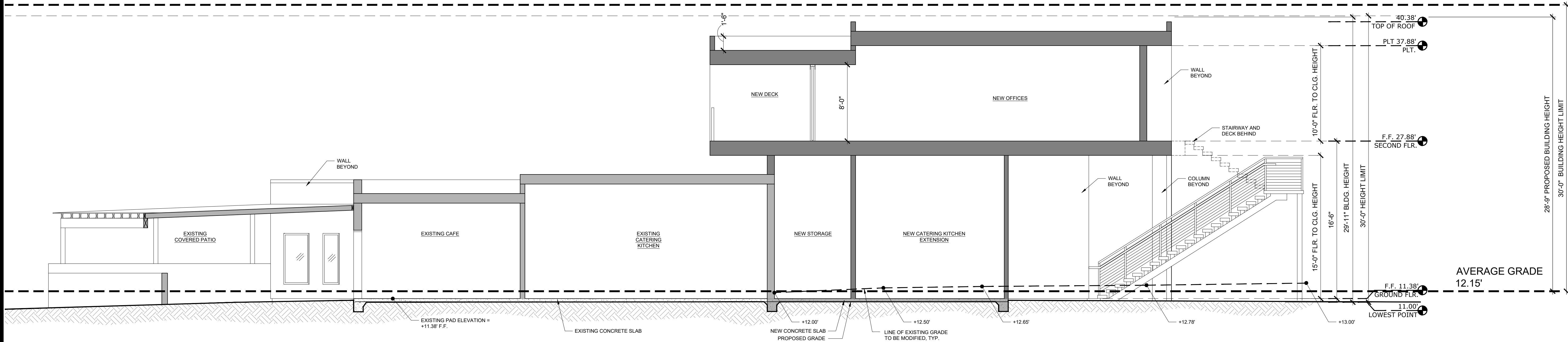


3 EXTERIOR ELEVATION - SOUTH (SIDE)
3/16" = 1'-0"

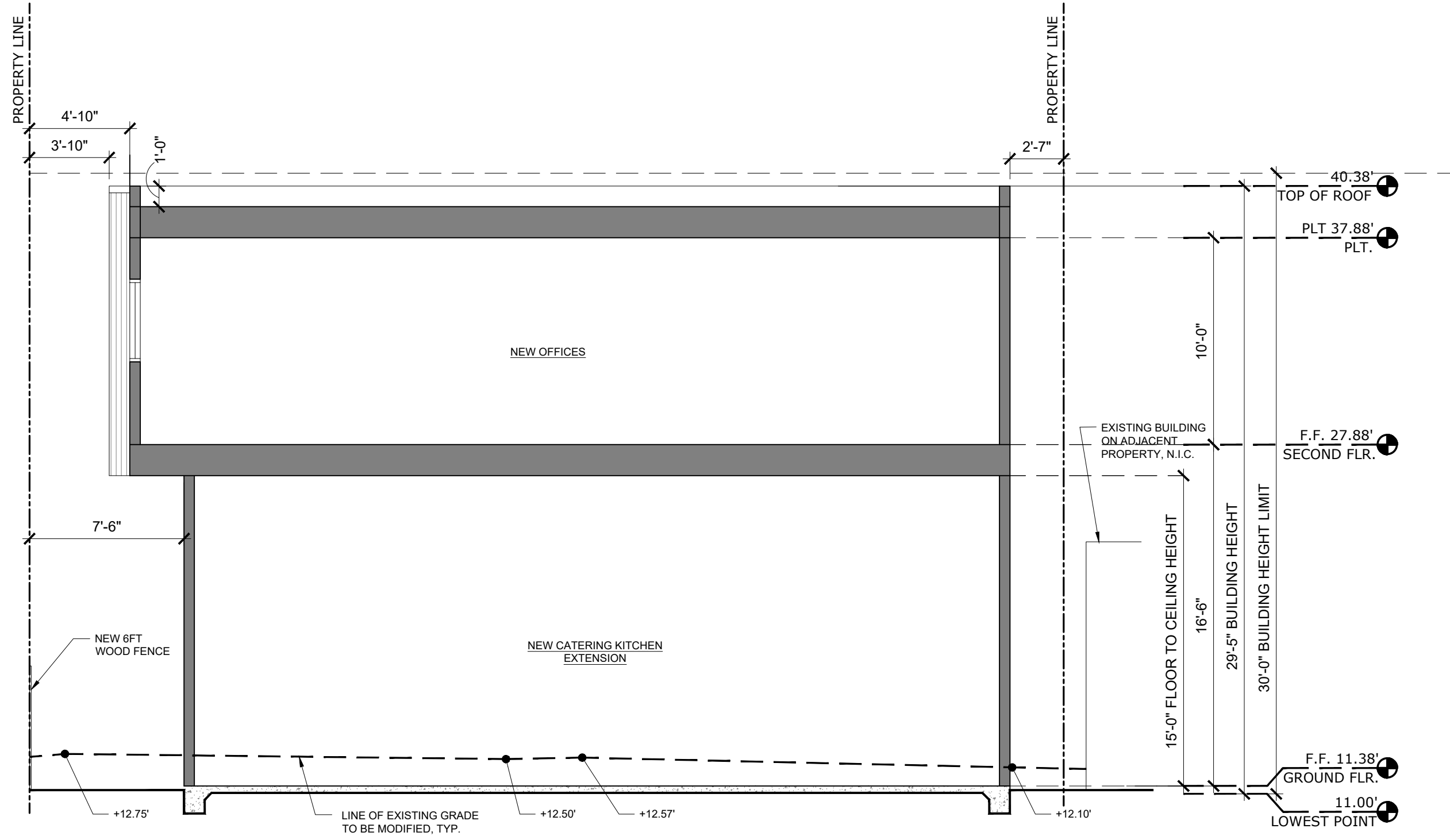


4 EXTERIOR ELEVATION - NORTH (SIDE)
3/16" = 1'-0"

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1 BUILDING SECTION
3/16" = 1'-0"



2 BUILDING SECTION
3/16" = 1'-0"

REVISIONS

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04/29/25	PC3 SUBMITTAL

Bid Issue Date: TBD

Date: 04/29/25

Scale: AS NOTED

Project No. -

Sheet Title:

BUILDING SECTIONS

Sheet No.:

A4.1

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1 SOUTHWEST VIEW - SILVER STRAND BLVD.
N.T.S.



2 NORTHWEST VIEW - SILVER STRAND BLVD.
N.T.S.



3 NORTHEAST VIEW - 3RD ST.
N.T.S.



4 SOUTHEAST VIEW - 3RD ST.
N.T.S.

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION
07/07/23	PC1 SUBMITTAL	02/18/25	PC2 SUBMITTAL
04/29/25	PC3 SUBMITTAL		

Bid Issue Date: TBD

Date: 04/29/25

Scale: AS NOTED

Project No. -

Sheet Title:

RENDERINGS
DAY VIEWS

Sheet No.:

A4.2

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1 SOUTHWEST VIEW - SILVER STRAND BLVD.
N.T.S.



2 NORTHWEST VIEW - SILVER STRAND BLVD.
N.T.S.



3 NORTHEAST VIEW - 3RD ST.
N.T.S.



4 SOUTHEAST VIEW - 3RD ST.
N.T.S.

REVISIONS		
DATE	DESCRIPTION	
07/07/23	PC1 SUBMITTAL	
02/18/25	PC2 SUBMITTAL	
04/29/25	PC3 SUBMITTAL	

Bid Issue Date: TBD

Date: 04/29/25

Scale: AS NOTED

Project No. -

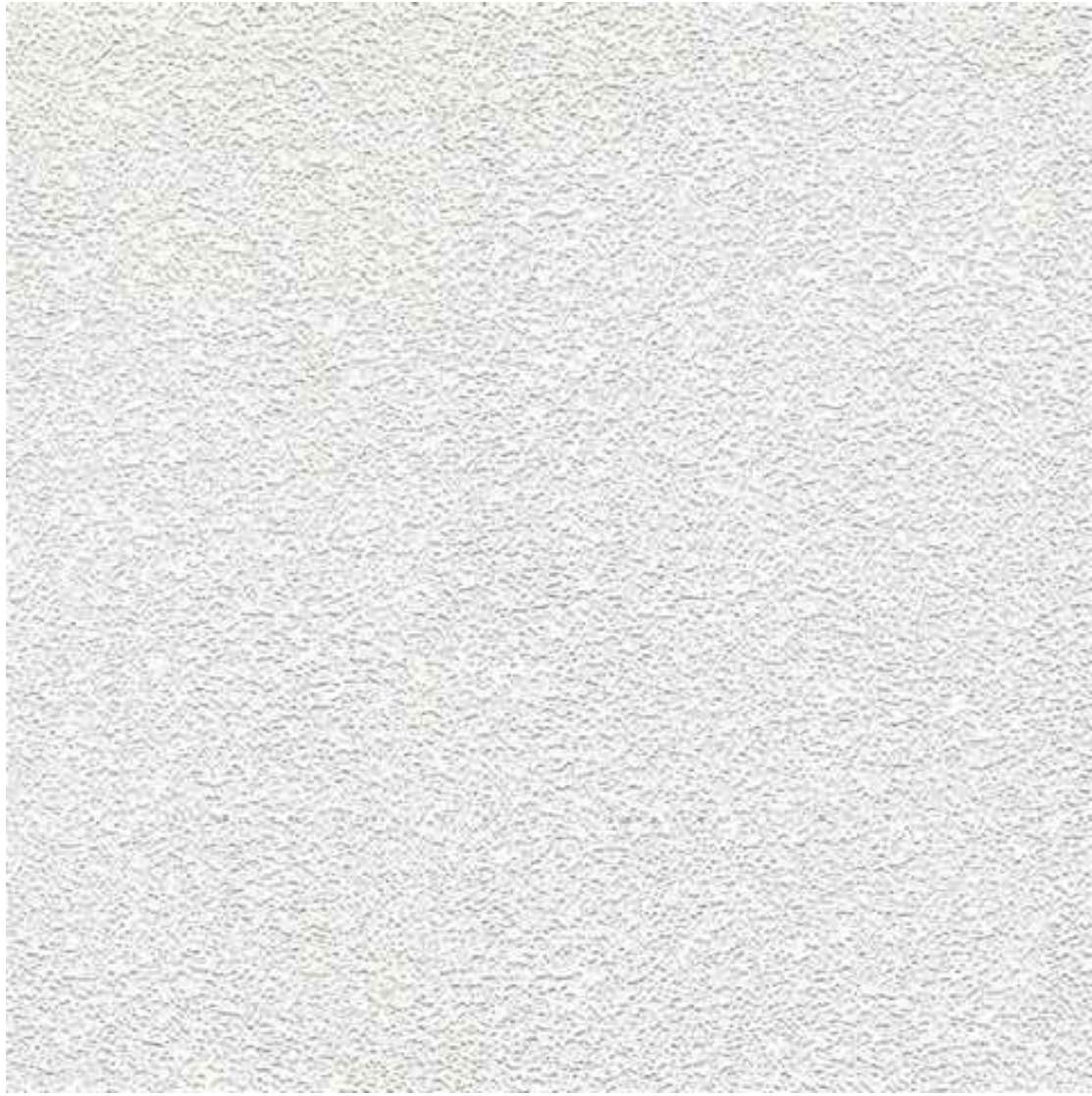
Sheet Title:

RENDERINGS
NIGHT VIEWS

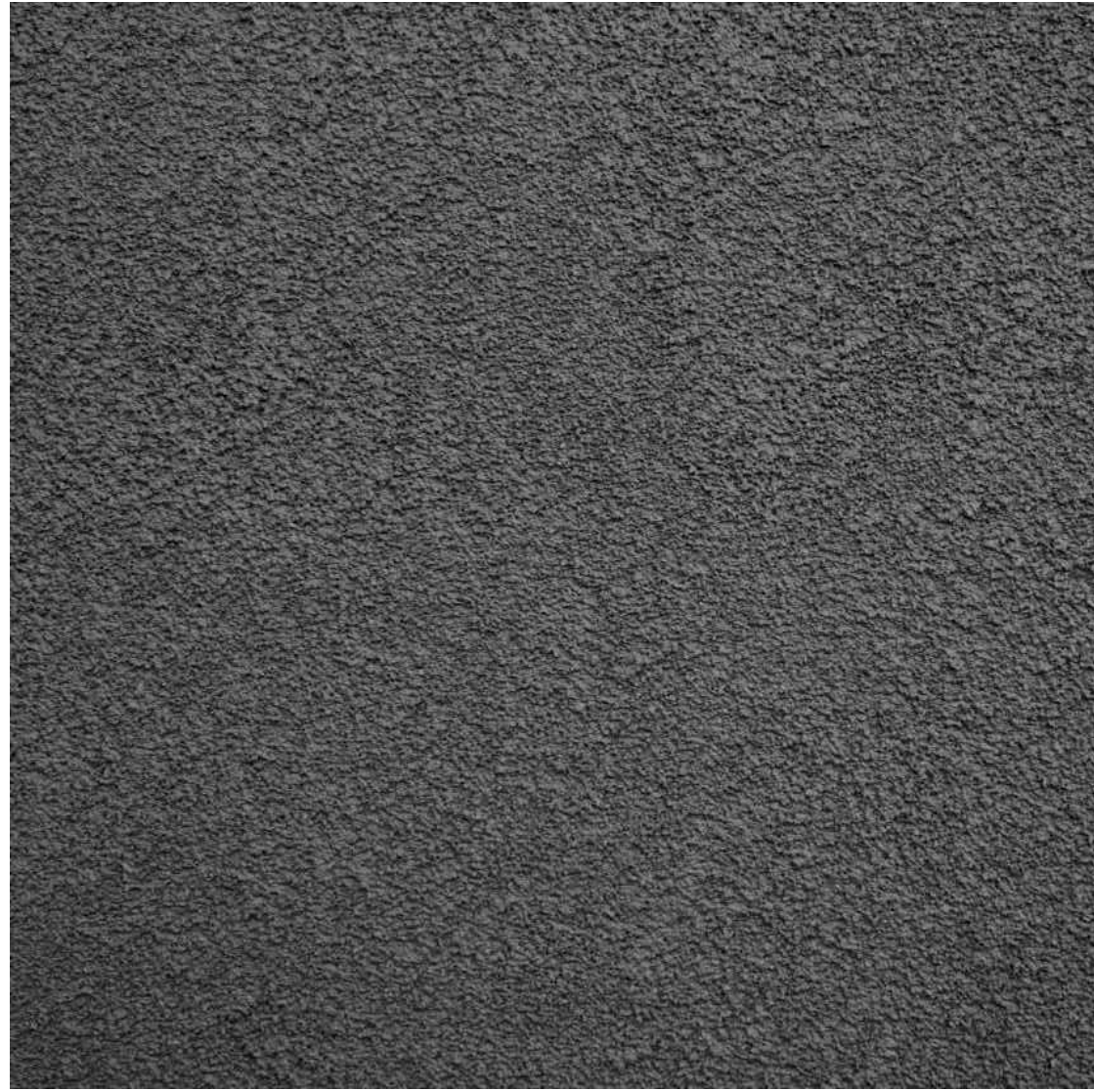
Sheet No.:

A4.3

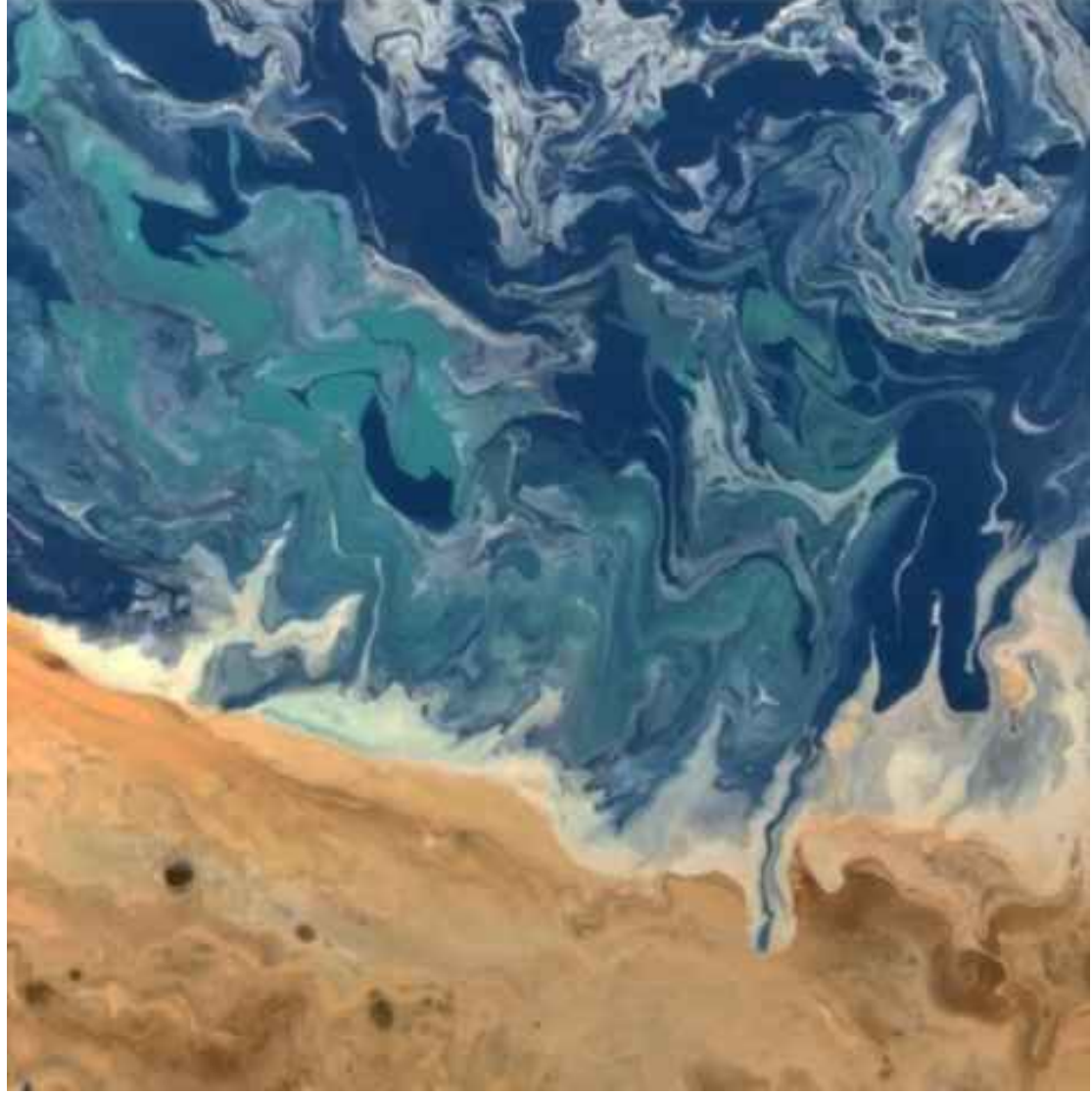
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1A STUCCO #1 - 3-COAT SANTA BARBARA FINISH - WHITE



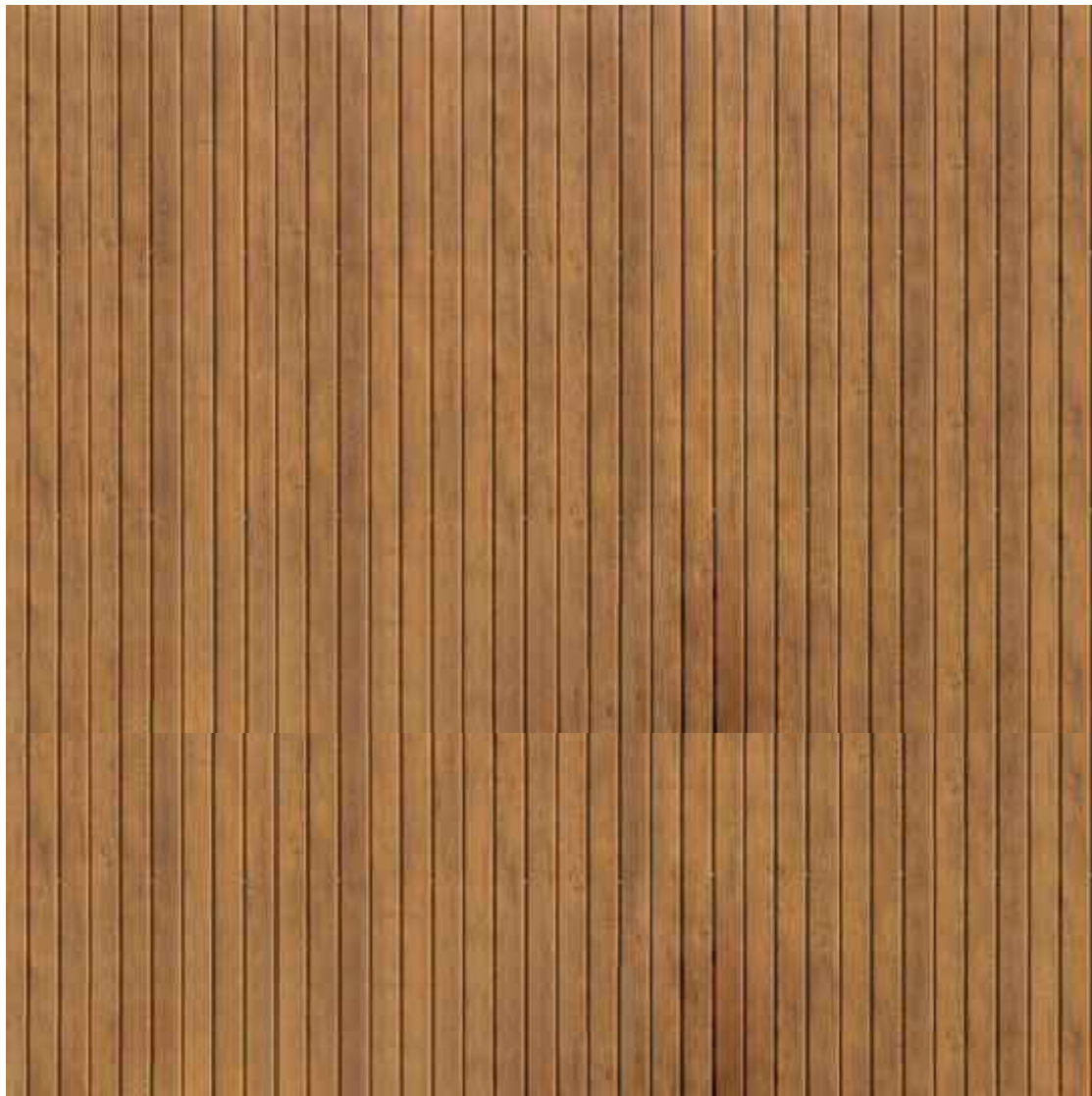
1B STUCCO #2 - 3-COAT SANTA BARBARA FINISH - BLACK



1C STUCCO #2 - 3-COAT SANTA BARBARA FINISH - MURAL BY LOCAL ARTIST



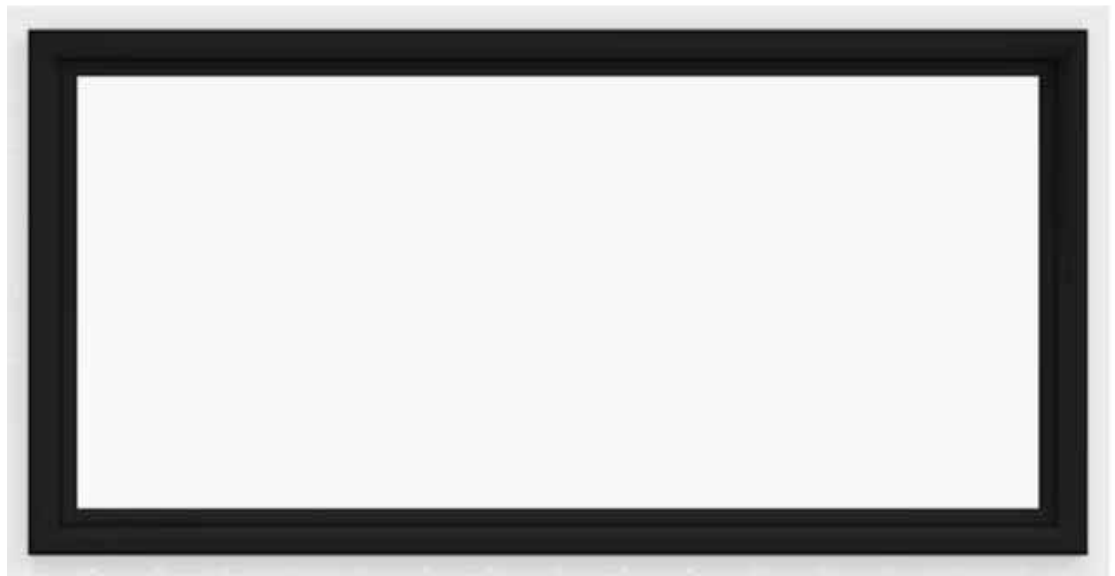
2 EXPOSED CONCRETE FINISH



3 STAINED CEDAR WOOD CLADDING



4 NEW DOOR - BLACK FRAME



5 NEW WINDOW - BLACK ALUMINUM FRAME



7 42" HIGH (MIN.) CABLE GUARDRAIL



12 AWNING



14 EXTERIOR STEEL STAIRWAY WITH WOOD THREADS

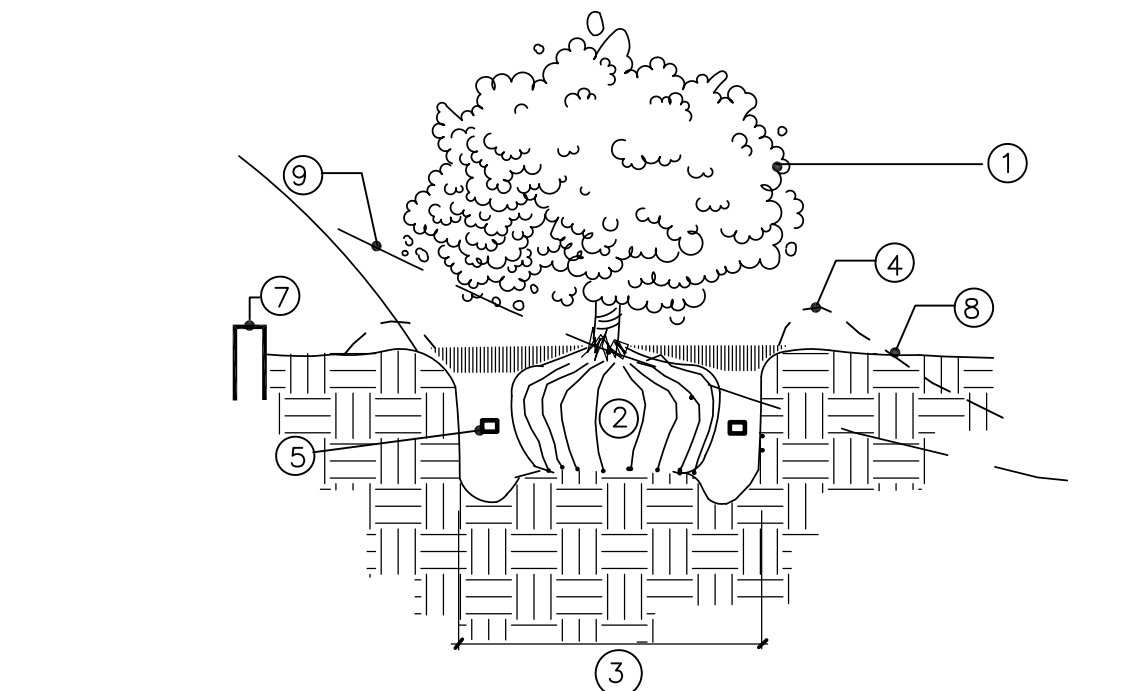


16 42" HIGH (MIN.) GLASS GUARDRAIL



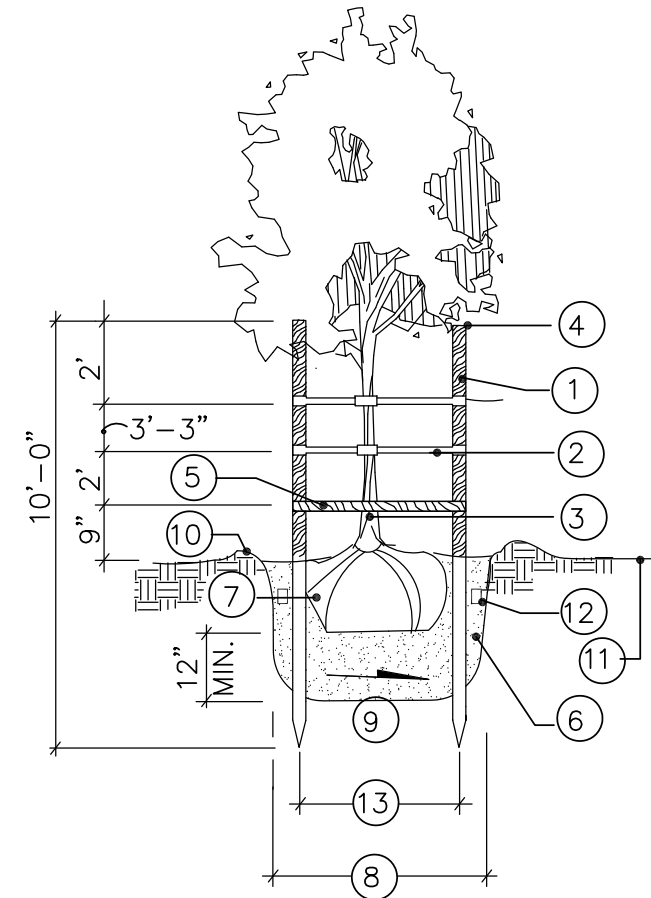
17 NEW 12' X 8' GLASS ROLL UP/GARAGE DOOR

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION
07/07/23	PC1 SUBMITTAL	02/18/25	PC2 SUBMITTAL
02/18/25	PC2 SUBMITTAL	04/29/25	PC3 SUBMITTAL
Bid Issue Date:		TBD	
Date:		04/29/25	
Scale:		AS NOTED	
Project No.		-	
Sheet Title:		EXTERIOR MATERIAL BOARD	
Sheet No.:		A4.4	



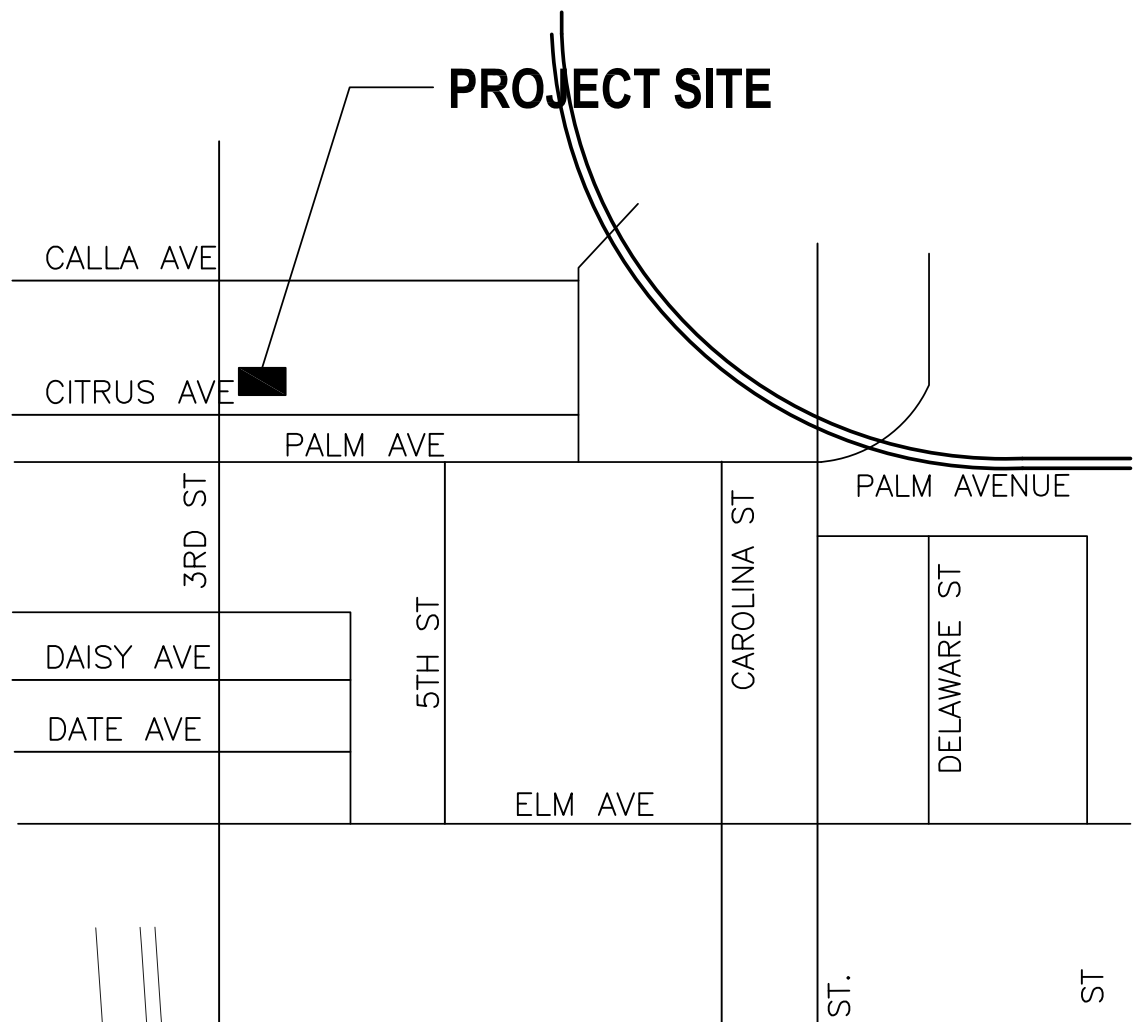
- 1 SHRUB
2 ROOTBALL
3 2 X ROOTBALL DIA.
4 WATERING BASIN (IF REQ'D.)
5 PLANT TABLETS
6 FIN. GRADE AT SLOPE (AS REQ'D.)
7 TOP OF CURB, PLANTER, OR PAVING.
8 FIN. GRADE AT SLOPE (AS REQ'D.)
9 FIN. GRADE AT EXISTING SLOPE (AS REQ'D.)

A
NO SCALE
SHRUB
INSTALLATION DETAIL



- 1 - 2" DIA. X 10' LONG LODGEPOLE PINE STAKES.
(2) 24" BOX OR LARGER (1) 15 GAL. OR SMALLER
2 - V.I.T. 'CINCH TIES', OR EQUAL. WRAP AROUND TRUNK. NAIL EACH END TO EACH STAKE.
3 - TREE TRUNK
4 - CUT TOP SECTION OFF OF STAKE DAMAGED BY HAMMERING.
5 - 1" X 4" CROSSTIE
6 - ROOT BALL BACKFILL PUDDLE AND SETTLE. SET TREE 2" ABOVE FIN. GR.
7 - ROOTBALL
8 - 2 X ROOTBALL DIAMETER
9 - SLOPE BOTTOM TO DRAIN
10 - 6" WATERING BASIN, EXCEPT IN LAWN AREAS. REMOVE AFTER MAINT. PD.
11 - FINISH GRADE
12 - PLANT TABLETS (3" BELOW GRADE)
13 - PLACE STAKES OUTSIDE OF ROOTBALL. OFFSET FROM TRUNK 3".

B
NO SCALE
TREE
INSTALLATION DETAIL



VICINITY MAP
NOT TO SCALE



GENERAL NOTES:

- LANDSCAPE AREAS PLANTED WITH ONLY TREES AND/OR SHRUBS THAT ARE NOT ALSO PLANTED WITH TURFGRASS OR GROUNDCOVERS SHALL BE MULCHED ON THE SOIL SURFACE TO A MINIMUM DEPTH OF THREE INCHES.
- ALL LANDSCAPE AND IRRIGATION SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF IMPERIAL BEACH'S LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS, AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- PRIOR TO AMENDING, SOIL WILL BE TESTED FOR PH BALANCE, AMENDMENTS WILL BE APPLIED IF NECESSARY.
- PRIOR TO AMENDING, THE SURFACE SOIL IN AREAS TO BE LANDSCAPED SHOULD BE RIPPED OR TILLED TO ALLEVIATE COMPACTION, PREFERABLY TO A 9 INCH DEPTH.
- ALL REQUIRED LANDSCAPE MAINTENANCE AREAS SHALL BE MAINTAINED BY "OWNER". THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION.
- PROVIDE ON-SITE DRAINAGE SYSTEM TO COLLECT AND ROUTE SURFACE AND ROOF RUNOFF TO AN APPROVED OUTLET.
- FINAL GRADING SHALL PROVIDE A MINIMUM 2% SLOPE IN ALL LANDSCAPE AREAS AWAY FROM STRUCTURES, ADJACENT PROPERTIES AND COMMON AREAS.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WILL NOT BE WRAPPED AROUND THE ROOTBALL.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY "OWNER". LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY "OWNER". THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING OF TREES IS NOT PERMITTED.

PLANT LEGEND

SYM.	QTY.	COMMON NAME	BOTANICAL NAME	WUCOLS	MATURE SIZE HxW
	5	PURPLE HOPSEED BUSH 5 GAL.	DODONAEA VISCOSA 'PURPUREA'	LOW	6'x3'
	7	MEXICAN BIRD OF PARADISE 5 GAL.	CAESALPINIA MEXICANA	LOW	4'x4'
	12	PINK ROCKROSE 5 GAL.	CISTUS INCANUS	LOW	3'x3'
	16	AFRICAN BOXWOOD 5 GAL.	MYRSINE AFRICANA	LOW	3'x2'

TREES

SYM.	QTY.	COMMON NAME	BOTANICAL NAME	WUCOLS	MATURE SIZE HxW
	1	STRAWBERRY TREE 24" BOX	ARBUTUS UNEDO	LOW	12'x8'
	4	PEPPERMINT WILLOW 'AFTER DARK' 15 GAL.	AGONIS FLEXUOSA 'AFTER DARK'	LOW	10'x4'

MATERIALS BOARD



PURPLE HOPSEED BUSH
DODONAEA VISCOSA 'PURPUREA'



MEXICAN BIRD OF PARADISE
CAESALPINIA MEXICANA



PINK ROCKROSE
CISTUS INCANUS



AFRICAN BOXWOOD
MYRSINE AFRICANA



STRAWBERRY TREE
ARBUTUS UNEDO



PEPPERMINT WILLOW
'AFTER DARK', AGONIS FLEXUOSA

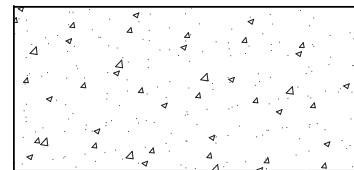
SUMMARY CALCULATIONS (SEE DIAGRAM)

- TOTAL LOT SIZE: 7,340 S.F.
- TOTAL BUILDING FOOTPRINT: 3,268 S.F.
- TOTAL YARD AREA: 4,072 S.F.
- ACTUAL HARDSCAPE AREA (19%): 1,394 S.F.
- ACTUAL LANDSCAPE AREA (15%): 1,105 S.F.

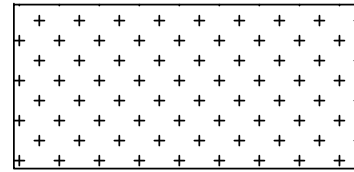
MINIMUM TREE SEPERATION DISTANCE:

- TRAFFIC SIGNAL STOP SIGN - 20 FEET
- UNDERGROUND UTILITY LINES - 5 FEET (SEWER - 10 FEET)
- ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC.) - 10 FEET
- DRIVEWAYS - 10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

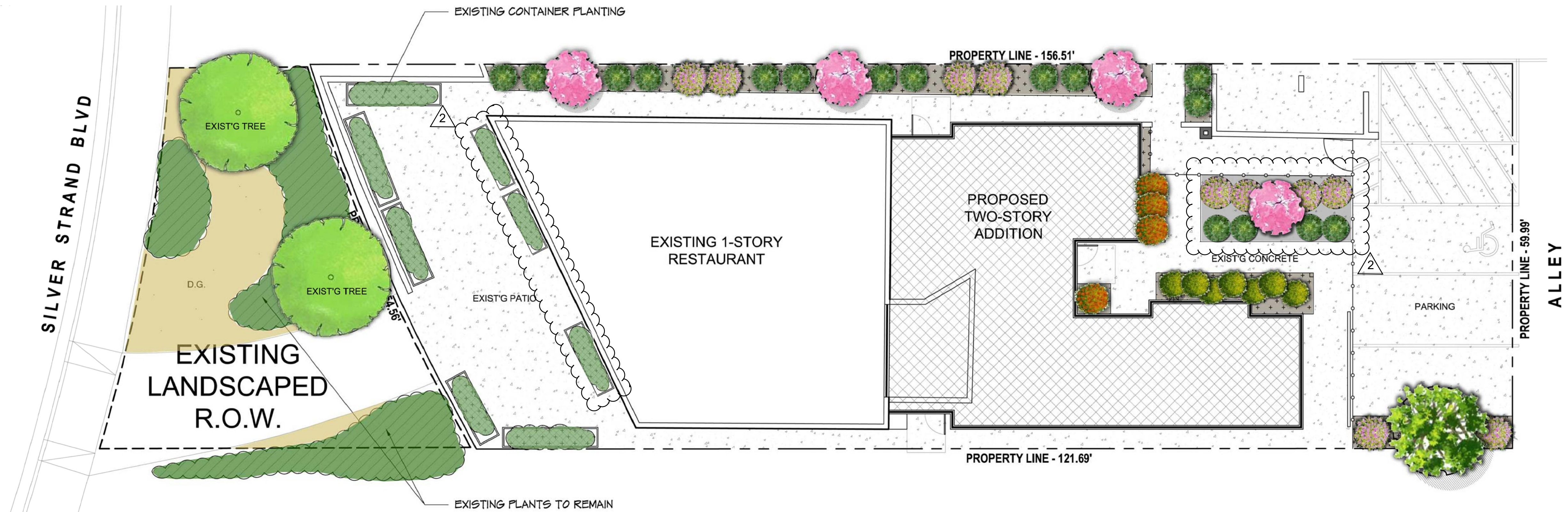
KEY LEGEND



BROOMED CONCRETE
(2,231 SQ.FT.)

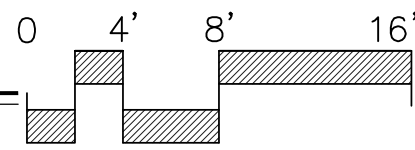


PLANTER AREA &
MULCHED AREAS
(1,105 SQ.FT.)



PROPOSED LANDSCAPE PLAN

SCALE: 1/8"=1'-0"



IRRIGATION NOTES

- 1
- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- 2
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- 3
- THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTUAL PLANS BEFORE BEGINNING WORK.
- 4
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- 5
- THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS NECESSARY.
- 6
- DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BOUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- 7
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- 8
- CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE TO THE END OF THE MAINLINE RUN IN TWO DIRECTIONS FROM THE CONTROLLER--AS NOTED.
- 9
- ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE TWICE THE DIAMETER OF THE PIPE CARRIED. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING. ALL SLEEVES TO BE AS SHOWN ON THE PLANS.
- 10
- ALL QUICK COUPLER VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER VALVES WITHIN 18" OF HARDSCAPE.
- 11
- ALL VALVE BOXES TO BE GREEN IN COLOR, SIZED AS INDICATED BY DETAILS, AND HOT BRANDED AS INDICATED ON THE PLANS OR DETAILS.
- 12
- ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDING, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
- 13
- ALL HEADS INDICATED ON THE PLANS AT A SPACING LESS THAN 75% OF FULL OPEN THROW, AS PER MANUFACTURER'S RECOMMENDATIONS, ARE TO RECEIVE A PCS SCREEN OF APPROPRIATE SIZE TO REDUCE THE RADIUS TO MORE CLOSELY MATCH THE SPACING. REFER TO THE MANUFACTURER'S CHARTS PROVIDED WITH PCS SCREENS FOR SIZING OF SCREENS.

ADDITIONAL IRRIGATION NOTES

1. AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE DATA AND UTILIZE A RAIN SENSOR.
2. PRESSURE REGULATORS ARE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE COMPONENTS ARE WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
3. MANUAL SHUT-OFF VALVES (SUCH AS GATE, BALL OR BUTTERFLY VALVES) ARE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
4. ALL IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET IN THE ANSI STANDARD ASABE/ICC 802-2014 "LANDSCAPE IRRIGATION SPRINKLER AND Emitter STANDARD." ALL SPRINKLER HEADS INSTALLED MUST HAVE A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 802-2014.
5. AREAS LESS THAN 10 FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
6. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND A SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
7. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
8. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, THE DESIGNER OF THE IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR OF THE PROJECT.
9. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.
10. A LANDSCAPE WASTE DIVERSION PLAN SHALL BE COMPLETED AND SUBMITTED WITH THE CERTIFICATION OF COMPLETION.

DRIP IRRIGATION LEGEND

RAINBIRD

Rain Bird – XBD81 Xeri–Bird 8 Multi–Outlet Emission Device with Filter & (8) 1.0 GPH Xeri–Bug Emitters

SYMBOL

MANUFACTURER

MODEL NO. / DESCRIPTION

EXISTING

WATER METER

NIBCO

4660–S PVC SCHEDULE 40 BALL VALVE, LINE SIZE

RAIN BIRD

PEB SERIES – PLASTIC REMOTE–CONTROL VALVE – SIZE AS NOTED

RAIN BIRD

ESP–BMC SERIES, OUTDOOR WALL–MOUNT, AUTOMATIC CONTROLLER IN LOCKING

AS APPROVED

PVC PIPE SCH. 40 AS SLEEVING; AS NOTED; TWICE THE DIAMETER OF PIPE ALL PIPE AND WIRE UNDER PAVING SHALL BE INSTALLED INSIDE A SEPARATE SLEEVE

AS APPROVED

PVC PIPE 3/4" SCH. 40 AS LATERAL LINES 12" BELOW GRADE

AS APPROVED

PVC PIPE 1" AS MAINLINE, SCH. 40, 18" BELOW GRADE

STATION

3 5.6 3/4" 108 SF

G.P.M.

VALVE SIZE

DETAILS

I/L2

B/L2

J/L2

E/L2

H/L2

G/L2

WATER EFFICIENT LANDSCAPE WORKSHEET

Irrigation Point of Connection (P.O.C.) # _____ A _____										
A	B	C	D	E	F	G	H	I	J	
Controller #	Hydrozone #	Valve Circuit #	Irrigation Method (Code)	Plant Factor (average) (PF)	Hydrozone Area (HA) (sf)	% of Total Landscaped Area	PF x HA	IE	PF x HA / IE	
A	1	1	D	0.3	357	50%	107	0.81	132	
A	2	2	D	0.3	132	18%	40	0.81	49	
A	3	3	D	0.3	227	32%	68	0.81	84	
				SLA				1.0		
				TOTAL	716	100%			265	

SLA = Special Landscaped Area

Calculation: 51.0 x 0.62 0.55 x 716 0.45 x 1.0

Maximum Allowed Water Allowance (MAWA) 12,466 GPY

Calculation: 51.0 x 0.62 x 265

Estimated Total Water Use (ETWU) 8,379 GPY

The diagram is a detailed site plan for a property located between Silver Strand Blvd to the west and an Alley to the east. The property is bounded by a north line at 156.51' and a south line at 121.69'. It contains an existing 1-story restaurant and a proposed two-story addition. The plan shows an existing landscaped right-of-way (R.O.W.) on the west side, with existing trees and plants to remain. A parking area is located on the east side. The irrigation system is designed with three hydrozones, each with a 3/4" valve and a 3/4" P.O.C. (Point of Connection). The system includes a mainline, lateral lines, and emitters. The plan also shows existing container planting and a D.G. (Dry Garden) area. The property line is clearly marked, and the existing and proposed structures are labeled. The diagram includes a scale bar and a north arrow.

PROPOSED IRRIGATION PLAN

SCALE: 1/8"=1'-0"

Page 28 of 38

LIC# 942177

LANDSCAPE LOGIC

4455 MORENA BLVD. #110
SAN DIEGO, CA 92109
TONY VITALE
www.MylandscapeLogic.com PH: 619.446.6482

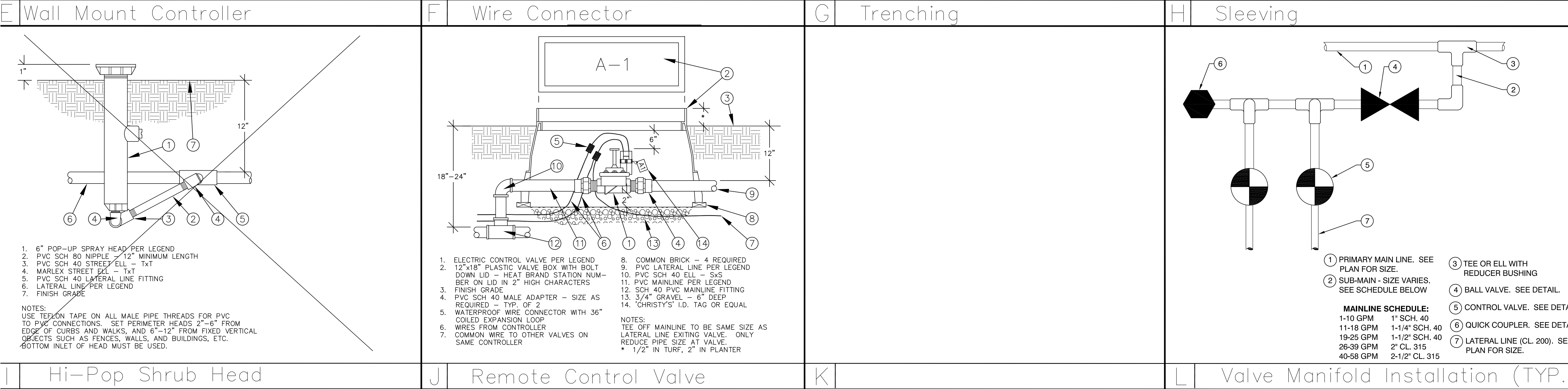
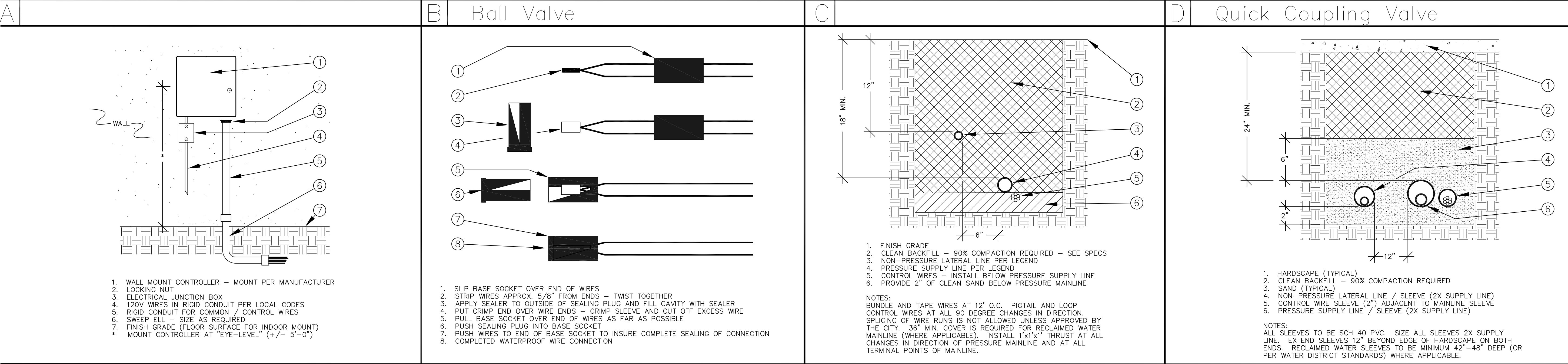
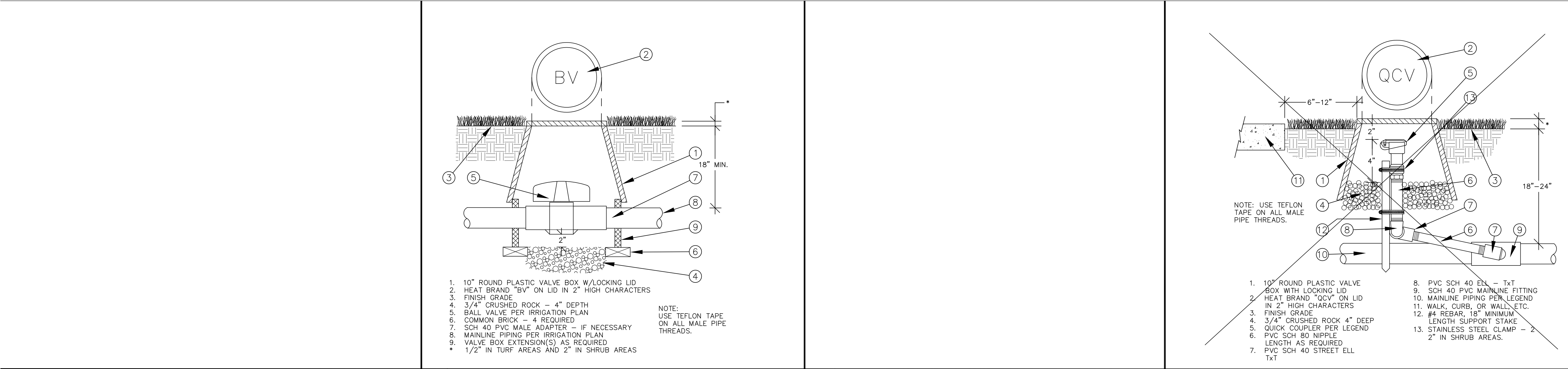
ALL IDEAS, DESIGN ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND ARE THE PROPERTY OF LANDSCAPE LOGIC AND WERE CREATED, EVOLVED, & DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF LANDSCAPE LOGIC.

EL TAPATIO - LANDSCAPE PLANS

1667 SILVER STRAND BLVD.
IMPERIAL BEACH, CA 91932
APN: 625-024-12-00

29 APRIL 2025

L-2



FXLuminaire.

Up Lights



Optional Long Shroud

PROJECT _____

CATALOG # _____

TYPE _____

NOTES _____

RS Up Light

STANDARD

The RS is a rugged micro luminaire that accommodates the MR-16 lamp family.

Quick Facts

- Die-cast zinc/aluminum alloy
- TGIC powder coat finish
- MR-16 GUS, 3 lamp base
- ProAim® adjustability

- Tamper-resistant features
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V

LANDSCAPE & ARCHITECTURAL LIGHTING

FXLuminaire.

Path and Area Lights



PROJECT _____

CATALOG # _____

TYPE _____

NOTES _____

SP/SP-A Path Light

STANDARD PREMIUM

The SP/SP-A is designed for minimalist themes or compact spaces, where larger path lights just won't work. The beam spread provides maximum projection with minimum glare.

Quick Facts


- Spun, machined, and extruded brass/copper or aluminum
- Natural, powder coated, or antiqued copper/brass
- G4 bi-pin lamp

- Compatible with Luxor® technology
- Phase dimmable
- Input voltage: 10-15V

LANDSCAPE & ARCHITECTURAL LIGHTING

FXLuminaire.

Lighting Controller



This is the *high tech heart* of the FX Luminaire low voltage lighting system. The PX is available in 300, 600 and 900 Watt capacities with a variety of control options. The enclosure is fabricated from heavy gauge stainless steel for long life in corrosive exterior locations.

PX: Transformer

MODELS:	300, 600 or 900 Watt
FINISHES:	Stainless Steel or Powder Coat Finishes
ACCESSORY:	Timer and/or PhotoCell
DEPTH:	6" / 15.24 cm
WIDTH:	7.5" / 19.1 cm
HEIGHT: (300 & 600 Watt)	13.5" / 34.3 cm
(900 Watt)	16.5" / 41.9 cm

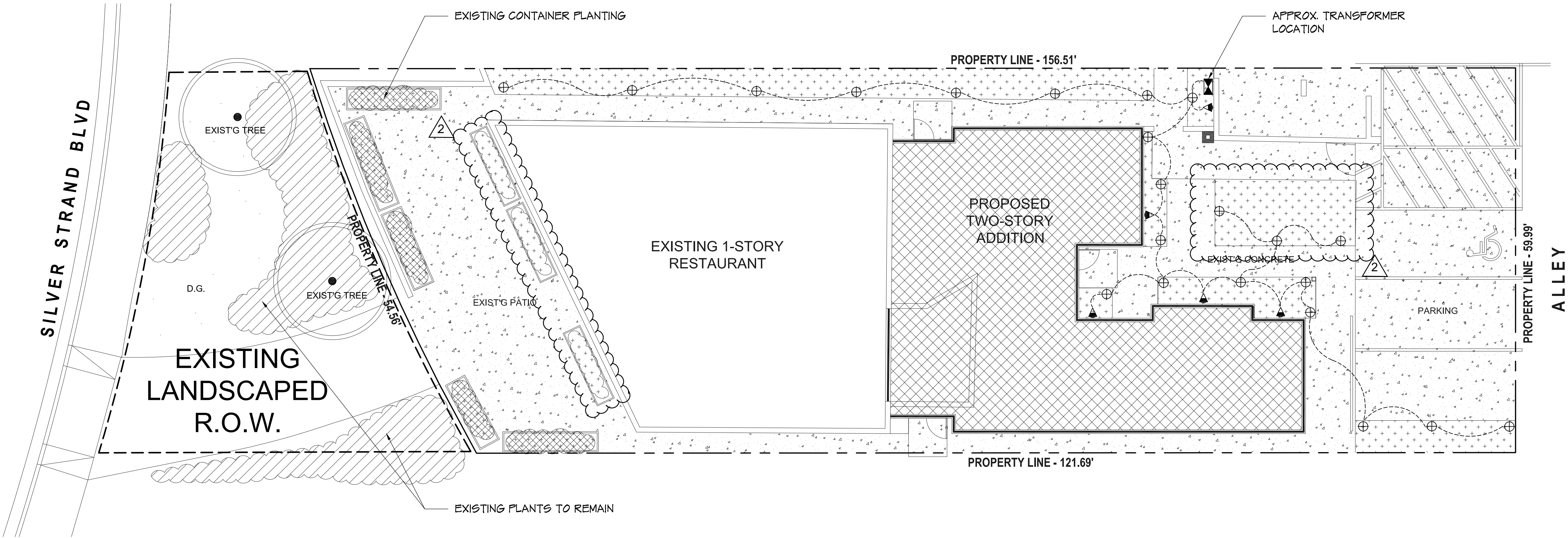
Learn more about FX Luminaire lighting control. Visit: [fxl.com](#)

760.744.5240

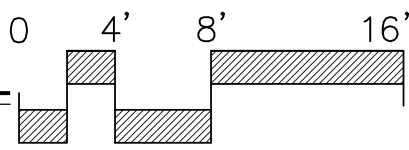
LIGHTING LEGEND

LIGHTING LEGEND				
SYM.	DESCRIPTION	MODEL	COLOR	QTY.
▼	UP LIGHTS (3W MAX-LED)	RS-20	BRONZE	5
⊕	PATH LIGHTS (3W MAX-LED)	SP-20	BRONZE	22
⬢	300W TRANSFORMER REQUIRED	PX-300	SS-OUTDOOR	
---	LOW-VOLTAGE WIRING (FOR GRAPHIC PURPOSES ONLY)			
* RECOMMENDED LIGHTING EQUIPMENT BY:		MANUF: FX LUMINAIRE		
		WEBSITE: WWW.FXL.COM		
		PHONE: 800-688-1269		

NOTE
ALL LIGHTING FOR THE PROJECT MUST BE IN CONFORMANCE WITH IBMG CHAPTER 19.56 LIGHTING REGULATIONS. SHOULD NEIGHBORHOOD CONCERNS OR ISSUES ARISE RELATED TO LIGHTING, THE OWNER IS REQUIRED TO MITIGATE THE IMPACTS THROUGH MODIFICATION, DISCONTINUANCE, OR ABATEMENT OF THE LIGHTING TO THE SATISFACTION OF THE CITY.



PROPOSED LIGHTING PLAN
SCALE: 1/8"=1'-0"



DESIGN REVIEW COMPLIANCE CHECKLIST

Citywide Design Criteria

USE-23-0048 Applicant: El Tapatio Catering Project Address: 667 Silver Strand Boulevard

C = Compliance N/C = Non Compliance N/A = Not Applicable	C	N/C	N/A
A. <u>RELATIONSHIP OF BUILDINGS TO SITE AND SURROUNDING AREA</u>			
1. The site should be planned to accomplish a desirable transition with the streetscape, and to provide for adequate planting, pedestrian movement, and parking areas.	√		
2. Site planning should provide landscaped setbacks in scale with buildings, an inviting streetscape, usable open space areas, and buffering between properties.	√		
3. Parking areas should be treated with decorative elements, such as, building wall extensions, plantings, trellises, surface patterns, berms or other innovative means to largely screen parking areas from view from public ways.	√		
4. Whenever the natural or existing topography contributes to the amenity and utility of a proposed project, it should be preserved in a manner, which enhances and accentuates the project. Modifications to the topography will be considered only when it can be determined that they will contribute to the amenity and utility of the project.			√
5. Architectural styles should be made compatible or integrated with adjacent buildings by such means as screens, site breaks, colors and materials.	√		
6. Attractive landscape transition to surrounding properties should be provided.	√		
7. Harmony in design elements, including texture, lines, and masses is required. Monotony shall be avoided. Contrasting design elements should be repeated where appropriate in a harmonious manner. For example, vertical elements contrast with general horizontal lines and should be used where appropriate to make a strong statement.	√		
8. The height, bulk, mass and scale of each building should be compatible with its site and buildings expected to remain or be developed in the surrounding area. Monotony of architectural design is not encouraged.	√		
9. A project proposed in an area deemed to be in a state of decline or blight infestation should be developed in a manner, which will establish and improve the aesthetic quality and character of the area.			√
B. <u>BUILDING DESIGN, COLORS, AND MATERIALS</u>			
1. Evaluation of appearance of a project shall be based on the quality of its design and relationship to existing or future surroundings. Inappropriate, incompatible designs shall be avoided.	√		
2. Existing and proposed structures on the same project site should be architecturally and functionally integrated.	√		
3. Innovative and imaginative design and architecture should be encouraged, and inappropriate and monotonous design should be avoided.	√		
4. Variations of building details, form, line, colors and materials, and setting should be employed to create visual interest.	√		

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5. Monotony of design in single or multiple building projects should be avoided. Variation of detail, form, and siting should be used to provide visual interest. In multiple building projects, variable siting of individual buildings may be used to prevent a monotonous appearance. Variation in wall plan, roof line and direction, materials and color may be used to prevent a monotonous appearance in buildings. Wall plan variation is recommended to reduce scale and bulk and may often be simple provided by building projections, bay windows, and balconies. Color and landscape materials may be used to accent the variation.	√		
6. Window trim, pop-outs, dormers, bay windows, and other features are encouraged to provide exterior variation in wall plan and materials.	√		
7. New building components, such as windows, doors, eaves, and parapets, shall have good proportions and relationship to one another and with wall masses.	√		
8. The architectural theme employed on a particular building should normally be executed on all exterior surfaces.	√		
9. In any design in which the structural frame is exposed to view, materials and finishes should be selected for architectural harmony or enhancements of the theme, as well as aesthetic quality, durability, and ease of maintenance.	√		
10. Exterior colors which are harmonious and contribute to the aesthetic quality of the project should be selected.	√		
11. Colors shall be harmonious yet color contrast or contrasting tone is encouraged to emphasize architectural detail (see examples in Planning Department). Fluorescent paints and garish colors should be avoided.	√		
12. Materials and colors should be varied where appropriate to provide architectural interest. However, material and color combinations should be repeated where necessary to provide contrast and harmony (visual order) to the building. The number of materials should not exceed what is required for contrast and accent or architectural features and may generally be limited to three.	√		
13. Building materials should not stop abruptly at corners but continue from front to side elevations.	√		
14. Parapet walls/mansard roofs should not stop at short distances on side elevations, but should continue to visually unify all building elevations, as appropriate.	√		
15. Blank walls should be avoided by the use of windows, variation of surface plan and materials, and use of shrubbery or trees as landscape screening.	√		
16. Mechanical equipment, including solar collectors and panels, or other utility hardware on roof, ground, or buildings should be screened from public view with materials harmonious with the building, or they should be located so as not to be visible from any public ways.	√		
17. Metal fixtures, trims, and devices, exposed to the ocean environment are subject to abnormally high corrosion and are discouraged.			√

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18. Continued good appearance depends upon the extent and quality of maintenance. The choice of materials and their use, together with the types of finishes and other protective measures, should be conducive to easy maintenance and upkeep.	√		
19. Materials and finishes should be selected for their durability and wear as well as for their beauty. Property measures and devices should be incorporated for protection against the elements, neglect, damage and abuse.	√		
C. LANDSCAPE IMPROVEMENTS AND EXTERIOR LIGHTING Landscape elements included in this criteria consist of all forms of planting and vegetation, ground forms, rock groupings, water patterns, and all visible construction except buildings and utilitarian structures.			
1. An inviting atmosphere should be created in pedestrian oriented areas through the use of landscaping, walls, fencing, seating, plazas, statues, fountains, and other design features.	√		
2. Grades of walks, parking spaces, terraces, and other paved area should provide an inviting and stable appearance for walking and, if seating is provided, for sitting.	√		
3. Landscape treatment should be provided to enhance architectural features, strengthen vistas and important axis, and provide shade, privacy and buffering, soften large surfaces and paved areas, and accent points of interest. Where practical, existing trees and drought tolerant plants should be preserved and included in the planning and design of the site.	√		
4. Unity of design should be achieved by repetition of certain plant varieties and other materials, and by correlation with adjacent developments, where appropriate.	√		
5. Plant material should be selected for interest in its structure, texture, and color and for its ultimate growth.	√		
6. In locations where plants will be susceptible to injury by pedestrian or motor traffic, or other environmental hazards, they should be protected by appropriate curbs, tree guards, or other devices.	√		
7. Service and storage yards, trash collection areas, exterior work areas, and other places which tend to be unsightly, should be screened by use of walls, fencing, planting, or by combinations of these.	√		
8. In areas where general planting does not prosper, other materials such as fences, walls, trellises and pavings of wood, brick, stone, gravel, and cobbles, should be used. Carefully selected plants should be combined with such materials where possible. Materials should be harmonious with building materials.	√		
9. All plant materials should be selected, arranged, and installed in accordance with sound horticultural and landscape architectural practices per landscape and irrigation plans.	√		
10. Color and texture of landscape elements should be coordinated with color and texture of building materials. Coarse textures and darker or brighter colors may be used where appropriate to reduce perceived distance and size. Fine	√		

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textures and light or greyed colors may be used for the opposite effect where appropriate.			
11. Miscellaneous structures (i.e., structures other than buildings: sign posts, railings, etc.) and street furniture located on private property should be designed to be integrated with, or harmonious with, the architectural building and landscape design proposed for the site. Materials should be durable and compatible with buildings and surroundings in color and scale.	√		
12. Exterior lighting should be designed to enhance the architecture of the building and landscape and shall be restrained in color and brightness. Light standards and fixtures shall be architecturally compatible and scaled to the buildings with consideration for energy efficiency.	√		
D. SIGN CRITERIA (The same criteria applicable to wall signs shall apply to monument signs.)			
1. Signs should be designed as supportive elements to land use. They should be used primarily to identify businesses, professional offices and public and quasi-public facilities.			√
2. Signs should be compatible with the nature, scale, character, and design of the locale and land uses they serve.			√
3. Signs should be part of the architectural concept. Size, color, lettering, locations, and arrangement shall be harmonious with the building design, and shall be compatible with approved signs on adjoining buildings. Signs shall have good proportion.			√
4. Colors should be used harmoniously and with restraint. Lighting should be harmonious with the design. If external spot or floodlighting is used, it shall be arranged so that light source is shielded from view.			√
5. Identification and directory signs should manifest a high degree of artistic order and taste, as well as legibility.			√
6. Signs should be characterized by restraint. Where practical and practicable, artistic graphics and fine art displays should be used in lieu of "commercial" signs.			√
7. Signs should place considerable emphasis upon color, harmony, size, shapes, letters, materials and character.			√
E. CIRCULATION AND PARKING			
1. It is recommended that parking areas be screened from view by the use of landscaping, walls, buildings, or other innovative and decorative concepts.	√		
2. Parking areas and trafficways should be enhanced with landscaped spaces containing trees or tree groupings which shall be adequately irrigated and maintained. Shrubs should be used only where they will not obscure vision.	√		
3. The placement of trees in parkways or paved areas is encouraged.	√		

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4. Vine covered trellises should be provided where appropriate to provide shading and buffering of open parking areas, particularly where tree planting is not provided.			√
5. Parking bays located between the building and the street should be separated from buildings by landscaped areas or protected walkways.			√
6. The mass of large parking areas should be improved through the employment of landscaping, textural variation, or structural interruption (i.e., walls and trellises). Variation of paving material, texture and color is recommended where pedestrian and vehicular areas overlap. The use of stamped concrete, stone, brick or granite pavers, exposed aggregate, colored concrete or other methods to divide or improve the effect of large expanses of pavement is encouraged.	√		
7. Onsite circulation shall be designed to promote adequate security, police and fire protection; and, to facilitate postal delivery, moving, trash collection and trades services.	√		
8. The layout of off-street parking areas and onsite circulation systems should place emphasis on: A) Convenience and proximity to the units served.	√		
B) Safety.	√		
C) Screening and separation of buffering from common uses areas, residential units and recreation areas.	√		
9. Directional signs and graphics should be used to promote public safety and convenience.	√		
10. Loading, unloading, and delivery service operations should be preplanned. Parking layouts should clearly indicate that these operations would not adversely affect customer parking or access.			√
11. The plans of major commercial centers shall be responsive to the physical requirements of public transportation and should provide the requisite pedestrian ways, bus stops, benches, and shelter.			√
12. Secure bicycle parking facilities are encouraged.	√		
13. Public or commercial parking areas should be designed for convenience and, where feasible, should be directly accessible from two streets, or a street and an alley.			√
14. Pedestrian ways within commercial parking areas should be protected from vehicular movements by landscaped areas, curbs, or posts.	√		
15. In multiple family developments, it shall be considered undesirable to locate off street parking areas between the buildings and the street. In cases where this design solution is utilized by the Architectural Design Review Advisory Committee, the parking areas should be screened from view. Parking shall be considered between buildings and streets where it does not detract from otherwise exceptional design and neighborhood amenities.			√
16. It is recommended that all parking or maneuvering areas which are perpendicular to building walls be separated by landscaped areas.	√		

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F. MULTIPLE-FAMILY RESIDENTIAL ENVIRONMENT			
1. Multiple family dwelling developers should place cardinal emphasis on the protection of residential privacy. Privacy requires sensitive structural and landscaping design, and effective sound-proofing. It is also dependent upon the selection of proper building, screening, and landscaping materials.			√
2. The site development and design of multi-family development should be coordinated with that of existing or potential adjoining and adjacent development. The project design should be consistent with the standards of good site planning and spatial relationships.			√
3. The landscape of a multi-family dwelling should be oriented towards the establishment and maintenance of a high order of on and off site environmental and aesthetic quality.			√
4. The design of all multiple units should promote good circulation, adequate exterior lighting and noise protection. The said design should minimize hazards, and optimize energy conservation. Solar orientation should be considered to reduce heating requirements.			√
5. Each building site upon which a multi-family project is developed shall provide landscaping and usable open space. The space developed to landscaping may be improved with textured flooring, fountains, ponds, kiosks, and sculpture, as well as plant material.			√
6. Where practicable, large multi-family developments should provide a variety of building sizes and arrangements.			√
7. Multiple-family dwelling development shall provide their residents private and/or common open space. Private open space may take the form of patios, balconies, courtyards (atria), or gardens. The establishment of game rooms, children's play areas, meeting rooms, and roof gardens should be encouraged where appropriate.			√
8. Usable open space required by the zoning ordinance should be distributed throughout the project site.			√
9. Noise effects on and from all common and private open space should be buffered by fences, walls, and/or barriers, which block the line-of-site of the noise source.			√
10. Indoor-outdoor integration can be promoted in projects by the use of large windows and sliding glass doors in conjunction with patios, balconies, and courtyards. The said windows and doors, however, should be effectively shuttered or draped in order to prevent substantial night-time energy losses.			√
11. Common open space should be provided in large areas if feasible. Large areas of open space can be imaginatively landscaped, well utilized, and economically maintained.			√

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G. COMMERCIAL AND INDUSTRIAL DEVELOPMENT			
1. The land use patterns, circulation, forms and spatial relationships of shopping centers and industrial uses should be harmonious with the areas they serve or are linked with by major circulation routes. The nature, character, and design of the areas should determine the architectural theme, landscape, building arrangement, and signing of the mercantile centers.	√		
2. Shopping centers should be unobtrusive, low in profile and building intensity, and probably casual or informal in theme. Massive buildings, garish color schemes, and extensive signing are out of place.	√		
3. Vehicular and pedestrian traffic should be separated to create a "village atmosphere". A mall, arcade, or patio form tends to promote effective landscaping, customer convenience, and a pleasant environment for shopping.	√		
4. Where feasible, customer traffic should not be mixed with truck-service traffic. Furthermore, customer parking should be both convenient and ample. Employee parking, which is often long-term parking, should be designated in order to make customer parking, which is usually short-term in nature, more convenient.	√		
5. Neighborhood and subneighborhood (or convenience) shopping facilities have captive markets, and therefore do not require extensive signing or external outdoor advertising. The appurtenant signs employed in these centers should be solely oriented towards "shop identification". Artistic graphics, wood-carved signs, gold lead window signs, and symbolic hanging signs are especially appropriate on the neighborhood and subneighborhood scenes.			√
6. While pole signs were popular in the 1950's and 1960's, they are a principle source of visual pollution and are not appropriate. On the other hand, low profile monument signs tend to be consistent with the tenets of good urban design, and can provide adequate shopping center identification.			√
7. It is recommended that a minimum of 15% of the gross area of a commercial industrial center should be devoted to landscaping. The required landscaping may take the form of decorative flooring, masonry walls, fountains, sculpture, or clusters of mall furniture, as well as plant material.	√		
8. The extensive use of trees within and along the periphery of commercial and industrial centers is urged. Trees provide beauty and improve environmental quality. They also soften the impact of commercial activity upon shoppers and local residents.	√		
9. Since commercial and industrial uses are situated in close proximity to residential areas buffers are essential. Where abutting directly upon residential lands, an appropriate landscaped buffer should be established on the commercial/industrial property. Architectural walls or decorative fences should be used to protect local residents from the noise and visual impact of commercial parking lots.			√

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10. The landscape of commercial projects should not be confined to plant material. Textured flooring, masonry, fountains, water features, exterior works of fine art, and exterior furniture should be used to promote a project's visual interest, variety and amenity.			√
11. Where feasible, trees with unique structural characteristics should be planted. These trees should improve the aesthetic quality of commercial areas and compliment adjacent urban forms.			√
12. The use of fountains, water sculpture, and other recycling water features provide a cooling effect with respect to the urban environment, and visual relief from the impact of hard surfaces. The use of these features should be encouraged.			√
13. Planters and tree wells should be designed to protect the plants they accommodate and to promote the aesthetic quality of their surroundings.			√
14. Mall furniture should be carefully coordinated with the landscaping and works of fine art which share its setting. This coordination requires that each mall, enclosure, plaza, or open space be planned as a single design composition, and not on an element-by-element basis.			√