City Council Agenda Regular Meeting - 6:00 p.m.

Wednesday, May 21, 2025
Council Chambers
825 Imperial Beach Boulevard
Imperial Beach, CA 91932

THE CITY COUNCIL ALSO SITS AS THE IMPERIAL BEACH PLANNING COMMISSION, PUBLIC FINANCING AUTHORITY, HOUSING AUTHORITY, AND IMPERIAL BEACH REDEVELOPMENT AGENCY SUCCESSOR AGENCY.

Public Comments: Members of the public can participate in-person at the City Council meeting to provide public comments. Members of the public can also submit written comments prior to the City Council meeting via e-mail at: comments@imperialbeachca.gov. Written comments received by noon on the day of the City Council meeting, that are within the subject matter jurisdiction of the City of Imperial Beach, will be provided to the City Council and be made available to the public at the City Council meeting. They will be part of the official record of the meeting, but they will not be read aloud at the meeting. Members of the public who wish to watch City Council meetings, are encouraged to stream from the City website's at: https://www.imperialbeachca.gov/129/Agendas-Minutes.

In compliance with the Americans with Disabilities Act, the City of Imperial Beach requests that individuals who require reasonable accommodation to fully participate in this meeting contact the City Clerk's office at (619) 628-2347 or TTY 711 as soon as possible during regular business hours and not later than at least twelve (12) hours in advance of the meeting to discuss your accessibility needs.

Foreign language and American Sign Language interpretation services are now available for City Council meetings. Contact the City Clerk's office at (619) 628-2347 or TTY 711 by noon on Monday prior to the meeting.

Any disclosable public records provided to a majority of the City Council/Planning Commission/Public Financing Authority/Housing Authority/I.B. RDA Successor Agency regarding any open session item on this agenda will be available for public inspection at the following designated locations: Office of the City Clerk, located at 825 Imperial Beach Blvd., Imperial Beach, CA 91932 and on the City's website at: https://www.imperialbeachca.gov/129/Agendas-Minutes.

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- 1. CALL TO ORDER
- 2. ROLL CALL
- 3. PLEDGE OF ALLEGIANCE
- 4. REIMBURSEMENT DISCLOSURES/REPORTS ON ASSIGNMENTS AND COMMITTEES

All City Council assignments are available for review in the City Clerk's Office.

- 5. COMMUNICATIONS FROM CITY STAFF
- 6. PUBLIC COMMENT

Each person wishing to address the City Council regarding items not on the posted agenda may do so at this time. In accordance with State law, Council may not take action on an item not scheduled on the agenda. If appropriate, the item will be referred to the City Manager or placed on a future agenda.

- 7. PRESENTATIONS
 - 7.a SAN DIEGO COMMUNITY POWER PRESENTATION.* (0150-68 & 0820-70)
 - 7.b PRESENTATION BY THE HISTORICAL SOCIETY.* (0160-50)
 *No Staff Report.
 - 7.c PROCLAMATION RECOGNIZING NATIONAL MILITARY APPRECIATION MONTH. (0410-30)

Recommendation:

That the City Council approve the Proclamation.

7.d PROCLAMATION RECOGNIZING NATIONAL PUBLIC WORKS WEEK – MAY 18 - 24, 2025. (0410-30)

Recommendation:

That the City Council approve the Proclamation.

7.e PROCLAMATION RECOGNIZING ASIAN AMERICAN, NATIVE HAWAIIAN, AND PACIFIC ISLANDER HERITAGE MONTH. (0410-30)

Recommendation:

That the City Council approve the Proclamation.

7.f PROCLAMATION RECOGNIZING OLDER AMERICANS MONTH. (0410-30)

Recommendation:

That the City Council approve the Proclamation.

8. CONSENT CALENDAR

All matters listed under Consent Calendar are considered to be routine by the City Council and will be enacted by one motion. There will be no separate discussion of these items, unless the item is removed from the Consent Calendar by action of the City Council. A Councilmember or member of the public may make a comment on any item on the Consent Calendar.

Recommendation:

To approve Consent Calendar Item Nos. 8.a through 8.e.

8.a	RATIFICATION OF WARRANT REGISTER FOR THE PERIOD FROM APRIL 5, 2025 TO MAY 9, 2025. (0300-25)	14
	Recommendation:	
	Staff is seeking that the City Council ratify and file the Warrant Register Report.	
8.b	RECEIVE TREASURER'S REPORT FOR MARCH 2025. (0300-90)	51
	Recommendation:	
	Staff recommends that the City Council receive and file the March 2025	
	Treasurer's Report.	
8.c	RESOLUTION NO. 2025-021 & SA-25-96 APPROVING AN AGREEMENT FOR PROFESSIONAL AUDIT SERVICES FOR CITY OF IMPERIAL BEACH, INCLUDING ITS COMPONENT PUBLIC AGENCIES, WITH ROGERS, ANDERSON, MALODY & SCOTT, LLP FOR FISCAL YEARS 2025-26 THROUGH 2027-28. (0310-05)	76
	Recommendation:	
	Staff recommends the adoption of Resolution No. 2025-021 and Resolution SA-25-96 authorizing the City Manager or designee to execute a professional services agreement with Rogers, Anderson, Malody & Scott, LLP for independent auditing services for fiscal years 2025-26 through 2027-28, with the option for each of the two subsequent fiscal years.	
8.d	RESOLUTION NO. 2025-024 APPROVING A PROFESSIONAL SERVICES AGREEMENT FOR LANDSCAPE MAINTENANCE SERVICES. (0940-10)	83
	Recommendation:	
	Adopt Resolution No. 2025-024 which authorizes the City Manager or designee	
	to execute up to a five-year professional services agreement with Aztec	
	Landscaping, Inc. for Landscape Maintenance Services throughout the City.	
8.e	RESOLUTION NO. 2025-025 AUTHORIZING THE RENEWAL OF THE PRIDE INDUSTRIES AGREEMENT FOR FISCAL YEAR 2026/2027. (0920-20)	88
	Recommendation:	
	Staff recommends that the City Council adopt Resolution No. 2025-025	
	approving a one-year agreement with Pride Industries for beach cleanup	
	services within the Tidelands area at a cost not to exceed \$50,000 with an	
	option of renewal for up to one additional year.	
	INANCES/INTRODUCTION & FIRST READING	
None	•	

10. PUBLIC HEARINGS

9.

10.a REGULAR COASTAL PERMIT, DESIGN REVIEW, SITE PLAN REVIEW, AND CEQA CATEGORICAL EXEMPTION SECTION 15302 TO CONSTRUCT A NEW SPLASH PAD FACILITY AT THE I.B. PORTWOOD PIER PLAZA (APN 625-330-08-00 & 625-330-09-00 & 625-330-10-00). USE-25-0007. MF 1661(0920-20)

Recommendation:

That the City Council adopt Resolution 2025-026 approving Regular Coastal Permit (CP-25-0003), Design Review Case (DRC-25-0002), Site Plan Review (SPR-25-0002), and categorical exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15302 Replacement or Reconstruction of existing structures for the removal of an existing playground and construction of a new splash pad facility, equipment enclosure, landscape areas, and ADA upgrades at the Imperial Beach Portwood Pier Plaza (APN 625-330-08-00 & 625-330-09-00 & 625-330-10-00) in the PF (Public Facility) Zone.

10.b CONSIDERATION OF A REGULAR COASTAL PERMIT, CONDITIONAL USE PERMIT, DESIGN REVIEW, AND SITE PLAN REVIEW TO CONTINUE OPERATION OF AN EXISTING TELECOMMUNICATION FACILITY MOUNTED ON A LIGHT POLE WITH ASSOCIATED EQUIPMENT SHELTER AT 911 SEACOAST DR. (0600-20)

Recommendation:

Staff recommends the City Council adopt Resolution 2025-027, approving Regular Coastal Permit (CP-25-0002), Conditional Use Permit (CUP-24-0004), Design Review Case (DRC-24-0007), and Site Plan Review (SPR-24-0007) to continue operating a telecommunications facility mounted on a light pole with an associated equipment shelter located at 911 Seacoast Drive (APN 625-351-01-00) in the C/MU-2 (Seacoast Commercial and Mixed Use) Zone.

10.c PUBLIC HEARING TO CONSIDER RESOLUTION 2025-022 APPROVING THE INTEGRATED SOLID WASTE MANAGEMENT SERVICES FEE INCREASE BY EDCO DISPOSAL CORPORATION EFFECTIVE JULY 1, 2025 AND AUTHORIZING ANNUAL FUTURE INFLATIONARY ADJUSTMENTS THROUGH JULY 1, 2029. (0270-40)

Recommendation:

Open the public hearing and receive public comments; close the public hearing and allow City Clerk to tabulate number of written protests received; and if there is no majority protest received, consider adoption of Resolution 2025-022 to approve the integrated solid waste management service maximum fee increase requested by EDCO effective July 1, 2025 and authorize future annual inflationary adjustments to refuse service rates through July 1, 2029 using the same methodology and formulas as allowed under the terms of the City's Agreement with EDCO.

10.d CITY VACANCIES AND RECRUITMENT AND RETENTION EFFORTS IN COMPLIANCE WITH ASSEMBLY BILL 2561. (0640-40)

Recommendation:

Open and hold the Public Hearing pursuant to Assembly Bill 2561 for comment and receive the presentation and report from staff.

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10.e	RESOLUTION NO. 2025-023 APPROVING FORMAL AMENDMENT NO. 08 (25-08) TO THE 2025 TRANSNET LOCAL STREET IMPROVEMENT PROGRAM OF PROJECTS FOR FISCAL YEARS 2025 THROUGH 2029. (0680-95)							
	Recomn	nendation:						
	1.	Receive this report;						
	2.	Open the Public Hearing;						
	3.	Receive public comment;						
	4.	Close the Public Hearing;						
	5.	Adopt Resolution 2025-023 – A Resolution of the City Council of the City of Imperial Beach, California approving the 2025 <i>TransNet</i> Local Street Improvement Program of Projects for Fiscal Years 2025 through 2029.						
REPOR	TS							
11.a	CONSIDER ADOPTING RESOLUTION 2025-028 OPPOSING DETRIMENTAL EFFECTS OF FEDERAL TARIFFS ON THE LOCAL AND REGIONAL ECONOMY. (0460-40)							
	Recommendation:							
	That the Mayor.	e City Council consider adopting Resolution 2025-028 drafted by the						
11.b	TO SEN	SS SENATE BILL 79 AND CONSIDER AUTHORIZING THE MAYOR ID A LETTER OF OPPOSITION ON BEHALF OF THE CITY OF AL BEACH. (0460-20)	188					
	Recomn	nendation:						
	Discuss Senate Bill 79 and consider authorizing the Mayor to send a letter of opposition for SB 79 on behalf of the City of Imperial Beach to the appropriate legislators.							
		PMENT AGENCY SUCCESSOR AGENCY REPORTS endar Item No. 8.c.						
ITEMS I	PULLED	FROM THE CONSENT CALENDAR (IF ANY)						
		FUTURE AGENDA REQUESTS						
ADJOU	RN REGI	JLAR MEETING						

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13. 14.

15.



ITEM TITLE: PROCLAMATION RECOGNIZING NATIONAL MILITARY APPRECIATION MONTH. (0410-30)

ORIGINATING DEPARTMENT:

Mayor

RECOMMENDATION:

That the City Council approve the Proclamation.

ATTACHMENTS:



WHEREAS, in 1999 Congress unanimously passed legislation designating the month of May as National Military Appreciation Month; and

WHEREAS, we encourage all citizens to honor current and former members of the United States Armed Forces and their families, including those who made the ultimate sacrifice; and

WHEREAS, the month of May was chosen for this national observance because it includes significant commemorative days such as Loyalty Day, Armed Forces Day, and Memorial Day; and

WHEREAS, the sacrifices made by all members of the United States Armed Forces and their loved ones are deeply valued; and

WHEREAS, we recognize the important role that the military plays in our community and the programs and efforts that assist service members with civilian reintegration, affordable housing, and post-military employment placement; and

WHEREAS, many City of Imperial Beach employees have served in various branches of the United States Armed Forces, and we proudly support both our active-duty military service members and veterans; and

WHEREAS, during this month—and throughout the year—the citizens of Imperial Beach express our heartfelt gratitude and commitment to those service members, veterans, and their families who have dedicated their lives to the defense of our freedoms.

NOW, THEREFORE, BE IT PROCLAIMED that I, Paloma Aguirre, Mayor of the City of Imperial Beach, together with the City Council, do hereby proclaim the month of May 2025 as "National Military Appreciation Month" in the City of Imperial Beach, and urge all citizens to honor the service and sacrifice of members of the Army, Navy, Air Force, Marines, Coast Guard, Space Force, and National Guard, as well as their families.

Dated: May 21, 2025

Paloma Aguirre, Mayor



ITEM TITLE: PROCLAMATION RECOGNIZING NATIONAL PUBLIC WORKS WEEK - MAY 18 - 24, 2025. (0410-30)

ORIGINATING DEPARTMENT:

Mayor

RECOMMENDATION:

That the City Council approve the Proclamation.

ATTACHMENTS:



WHEREAS, public works professionals are responsible for the infrastructure, facilities and services that are vital to sustainable and resilient communities, as well as to the public health, safety, and quality of life of all Californians; and

WHEREAS, these essential systems— including transportation, water supply, wastewater treatment, solid waste management, public buildings, and other community assets—could not function without the dedicated efforts of engineers, managers, and employees from the state and local governments; and

WHEREAS, the Imperial Beach Public Works Department maintains 4.4 square miles of public infrastructure, including streets, sidewalks, curbs and gutters, sewer systems, fleet services, parks, facilities, capital improvements projects, and efficiently; and

WHEREAS, the residents of Imperial Beach benefit each day from the hard work, professionalism, and commitment of the City's Public Works employees who ensure the city operates safely, smoothly and efficiently; and

WHEREAS, the dedicated personnel of Public Works Department bring a positive attitude and strong sense of purpose to their work, recognizing the essential role they play in supporting our community; and

WHEREAS, the City of Imperial Beach expresses its sincere gratitude to the Public Works Department for their vital contributions to our city's infrastructure, community progress, and overall quality of life; and.

NOW, THEREFORE, BE IT PROCLAIMED that I, Paloma Aguirre, Mayor of the City of Imperial Beach, California, together with the City Council, do hereby designate the week of May 18-24, 2025, as National Public Works Week in the City of Imperial Beach.

Paloma Aguirre, Mayor



ITEM TITLE: PROCLAMATION RECOGNIZING ASIAN AMERICAN, NATIVE HAWAIIAN, AND PACIFIC ISLANDER HERITAGE MONTH. (0410-30)

ORIGINATING DEPARTMENT:

Mayor

RECOMMENDATION:

That the City Council approve the Proclamation.

ATTACHMENTS:



PROCLAMATION

Asian American, Native Hawaiian, and Pacific Islander Heritage Month

WHEREAS, there are more than 6 million people of Asian, Native Hawaiian, or Pacific Islander descent in our state and dynamic AANHPI communities are an invaluable part of the rich fabric of our communities. During Asian American, Native Hawaiian, and Pacific Islander Heritage Month, we celebrate our incredibly diverse heritage, and the countless ways that AANHPI's have enriched and strengthened our city, state and nation; and

WHEREAS, we are proud of the immeasurable contributions that generations of AANHPIs from varied backgrounds have made as educators, service men and women, entrepreneurs, artists, athletes, community builders and activists, and in positions of leadership at all levels. As one of our nation's fastest growing ethnic populations, AANHPIs will continue to play an essential role in driving our city, state and nation forward and shaping all facets of our society, culture, and daily life; and

WHEREAS, we must also recognize the discrimination, exclusion, and outright violence that AANHPI communities face to this day. Throughout our history, AANHPIs have been the target of senseless violence, disenfranchisement, efforts to restrict immigration, and other xenophobic policies at the federal, state, and local level. The echoes of this dark history are evident today in the shameful increase in Anti-Asian hate seen across the country. It is imperative that we confront past and present racism and fight for the safety and inclusion of our AANHPI friends and neighbors; and

WHEREAS, during Asian American, Native Hawaiian, and Pacific Islander Heritage Month, Imperial Beach pays tribute to the irreplaceable legacy of our AANHPI communities, and their many contributions to strengthen our state today and into the future.

NOW, THEREFORE, BE IT PROCLAIMED that I, Paloma Aguirre, Mayor of the City of Imperial Beach, together with the City Council, do hereby proclaim the month of May 2025 as Asian American, Native Hawaiian, and Pacific Islander Heritage Month.

Dated: May 21, 2025

Paloma Aguirre, Mayor



ITEM TITLE: PROCLAMATION RECOGNIZING OLDER AMERICANS MONTH. (0410-30)

ORIGINATING DEPARTMENT:

Mayor

RECOMMENDATION:

That the City Council approve the Proclamation.

ATTACHMENTS:



PROCLAMATION

Older Americans Month

WHEREAS, Older Americans Month is a month-long observance in the United States devoted to celebrating older Americans and their contributions and raising awareness about issues related to age and aging; and

WHEREAS, Older Americans Month was established in 1963 between President John F. Kennedy and members of the National Council of Senior Citizens designating May as "Senior Citizens Month," the prelude to "Older Americans Month"; and

WHEREAS each May is observed across the nation as Older Americans Month, a time to recognize and celebrate senior programs and services and the many important contributions of seniors to our communities; and

WHEREAS, the City of Imperial Beach celebrates the talents and experience of all older people, including those who contribute to the life of our community by sharing wisdom, friendship, work, and volunteerism that supports their families, friends, and community; and

WHEREAS the older adults in Imperial Beach play an important role by continuing to contribute experience, knowledge, wisdom, and accomplishments; and

WHEREAS, our older adults improve our community through community service, civic engagement, and other activities; and

WHEREAS, recognizing the success of community elders encourages their ongoing dedication, participation, and accomplishments; and

WHEREAS, the City of Imperial Beach has been recognized as an Age-Friendly Community by adopting an action plan to follow making the community even more equitable and supportive for all ages to help keep Imperial Beach a great place to grow well and age well; and

WHEREAS, the City of Imperial Beach is committed to support our older adults by offering activities that promote physical and mental health and foster a sense of community.

NOW, THEREFORE, BE IT PROCLAIMED, that I, Paloma Aguirre, Mayor of the City of Imperial Beach, California, together with the City Council, do hereby designate the month of May as Older Americans Month and further declare this 21st Day of May as "Imperial Beach Seniors Day," to be so honored annually in the City of Imperial Beach.

Dated: May 21, 2025

Paloma Aguirre, Mayor

ITEM TITLE: RATIFICATION OF WARRANT REGISTER FOR THE PERIOD FROM APRIL 5, 2025 TO MAY 9, 2025. (0300-25)

ORIGINATING DEPARTMENT:

Finance

EXECUTIVE SUMMARY:

Staff is recommending that the City Council ratify the accompanying Warrant Register for the period from April 5, 2025, to May 9, 2025, in the amount of \$4,066,453.20.

RECOMMENDATION:

Staff is seeking that the City Council ratify and file the Warrant Register Report.

OPTIONS:

- Receive and file the report from the City Manager.
- Provide direction to the City Manager to take a specific action.
- Request additional information and an additional report.

BACKGROUND/ANALYSIS:

The City of Imperial Beach issues accounts payable and payroll disbursements on a regular basis and presents it to the City Council for ratification at its next regularly scheduled meeting. The attached Warrant Register containing checks and electronic funds transfers for the period from April 5, 2025, to May 9, 2025, in the amount of \$4,066,453.20, is being presented for ratification by the City Council. Payments have been reviewed and approved by the appropriate department staff. The Finance Director or designee certifies the accuracy of the attached register and the availability of funds for payment.

Warrants above \$100,000 have been highlighted and explained in the table below:

VENDOR	CHECK	DESCRIPTION	AMOUNT
LOGHMANI & ASSOCIATES DESIGN GROUP, INC.	105031	1/17/25-3/21/25 SPORTS PARK IMPROV	\$ 159,918.27
NEXUSPLAN, INC	105098	FEB/MAR BAYSHORE BIKEWAY RESILIENCY	191,526.89
SAN DIEGO COUNTY SHERIFF	105138	FEB 2025 SHERIFF SERVICES	707,582.44

TRI-GROUP CONSTRUCTION AND DEVELOPMENT, INC.	105148	3/8/25-4/24/25 9TH ST ENHANCEMENT	480,750.35
WSP USA ENVIRONMENT & INFRASTRUCTURE INC	105209	JAN/FEB/MAR 2025 - SD BAY & TJ RIVER WQIP	195,445.70
CALPERS	DFT0009520	MEDICAL INS	139,392.64

The following registers are submitted for Council ratification:

Accounts Payable:

DATE	CHECK NUMBER	AMOUNT(S)
4/10/2025	CK105015-CK105041	\$ 217,617.10
4/17/2025	CK105042-CK105067	82,830.39
4/24/2025	CK105068-CK105109	484,680.87
5/1/2025	CK105110-CK105159	1,349,996.15
5/8/2025	CK105160-CK105209	396,268.97
	Sub-Total	\$ 2,531,393.48

DATE	EFT/DRAFT NUMBER	AMOUNT(S)
4/10/2025	DFT0009419-20	\$ 14,202.75
4/11/2025	1809-13; DFT0009387; DFT0009395-9414; DFT0009421-22; DFT0009424; DFT0009426-27	180,280.43
4/18/2025	DFT0009466	200.00
4/25/2025	1804-08; DFT0009467-70; DFT0009477-96; DFT0009501-04; DFT0009506-07	207,004.70
4/30/2025	DFT0009510	35,873.38
5/2/2025	DFT0009509; DFT0009515; DFT0009518-20; DFT0009541-43	154,580.52
5/9/2025	1814-18; DFT0009513; DFT0009521-40; DFT0009545-48; DFT0009550	184,312.78
	Sub-Total	\$ 776,454.56

Total reflected in the attached Expense Approval Report: \$ 3,307,848.04

Check Reversals/Voids:

DATE	CHECK/EFT NUMBER	AMC	DUNT(S)
4/23/2025	CK102178	(\$	138.78)
4/24/2025	CK103721	(3,704.71)
	Sub-Total	(\$	3,843.49)

Payroll Checks/Direct Deposits

DATE	CHECK/EFT NUMBER	AMOUNT(S)
4/10/2025	CK49258-59; EFT0000226	\$ 249,940.02
4/17/2025	DFT0009508	300.00
4/24/2025	CK49260-62; EFT0000228	270,495.56
5/8/2025	CK49263-67; R-23140; EFT0000229	241,713.07
	Sub-Total	\$ 762,448.65

TOTAL: \$4,066,453.20

ENVIRONMENTAL DETERMINATION:

Not a project as defined by CEQA.

FISCAL ANALYSIS:

Warrants are issued from budgeted funds and there is no additional impact on reserves.

ATTACHMENTS:

ATT 1 - Expense Approval Report - 04.05.2025 - 05.09.2025

Expense Approval Report

By (None)

Payment Dates 4/5/2025 - 5/9/2025



Imperial Beach, CA

Paymen Name								
OA/17/25/25 1805 18 FIREFIGHTERS ASSOCIATIL. IBR A DUES ACH PE 04/17/25 PE 04 17-2025 101-0000-209.0108 4.88.0.00	Payment Date	Payment Number	Vendor Name	Description (Item)	Payable Number	Account Number	Purchase Order Number	Amount
A/35/2025 1806	04/25/2025	1804	FORESTERS INVESTOR SERVI		PPE 04-17-2025	101-0000-209.0122		50.00
A/25/2025 1806 ICMA RETIREMENT TRUST 457 (CMA A FED ALTY-PAID PE (M4/17/25 PPE 04-17-2025 (3) 101-0000-209-0110 4.884.56 A/25/2025 1807 SEIU LOCAL 221 SEIU DUES ACH PPE 04/17/25 PPE 04-17-2025 (3) 101-0000-209-0108 903.82 A/25/2025 1807 SEIU LOCAL 221 SEIU DUES ACH PPE 04/17/25 PPE 04-17-2025 (3) 101-0000-209-0108 903.82 A/25/2025 1808 US BANK PARS ACH PPE 04/17/25 PPE 04-17-2025 (3) 101-0000-209-0108 15.00 A/25/2025 1809 FORESTES INVESTOR SERVIL	04/25/2025	1805	I B FIREFIGHTERS ASSOCIATI	IBFA DUES ACH PPE 04/17/25	5 PPE 04-17-2025	101-0000-209.0108		480.00
A/52/2025 1806	04/25/2025	1806	ICMA RETIREMENT TRUST 45	7 ICMA FIXED PPE 04/17/25	PPE 04-17-2025	101-0000-209.0110		4,385.25
04/15/2025 1807	04/25/2025	1806	ICMA RETIREMENT TRUST 45	7 ICMA CITY-PAID PPE 04/17/25	5 PPE 04-17-2025 (2)	101-0000-209.0110		2,484.66
1907 SEIU LOCAL 221 SEIU LOCPE ACH PEP 6 04/17/25 PPE 04-17-2025 COPE 101-0000-209.0108 1.80 1.80 0.4/15/2025 1809 PORESTERS INVESTOR SERVI FORESTERS 529 PLAN PEP PPE 04-17-2025 101-0000-209.0120 5.80 5.00 0.4/11/2025 1810 IB FIREFIGHTERS ASSOCIATI IBEA DUES ACH PEP 04/03/25 PPE 04-03-2025 101-0000-209.0108 480.00 0.4/11/2025 1811 IGMA RETIREMENT TRUST 457 ICMA % PEP 04/03/25 PPE 04-03-2025 101-0000-209.0110 5.494-10 0.4/11/2025 1811 IGMA RETIREMENT TRUST 457 ICMA % PEP 04/03/25 PPE 04-03-2025 101-0000-209.0110 4.638-50 0.4/11/2025 1811 IGMA RETIREMENT TRUST 457 ICMA FUNDE PO 04/03/25 PPE 04-03-2025 101-0000-209.0110 4.838-52 0.4/11/2025 1812 IGMA RETIREMENT TRUST 457 ICMA FUNDE PO 04/03/25 PPE 04-03-2025 101-0000-209.0110 4.838-52 0.4/11/2025 1812 SEIU LOCAL 221 SEIU LOCA CAL PEP 04/03/25 PPE 04-03-2025 101-0000-209.0110 4.838-52 0.4/11/2025 1813 US BANK PARS ACH PEP 04/03/25 PPE 04-03-2025 101-0000-209.0108 1.50 0.4/11/2025 1814 PORESTERS INVESTOR SERVI FORESTERS 529 PLAN PEP 04/03/25 PPE 04-03-2025 101-0000-209.0108 1.50 0.4/11/2025 1816 IGMA RETIREMENT TRUST 457 ICMA FUNDE PO 04/03/25 PPE 04-03-2025 101-0000-209.0108 1.50 0.4/11/2025 1816 IGMA RETIREMENT TRUST 457 ICMA FUNDE PO 04/03/25 PPE 04-03-2025 101-0000-209.0108 1.50 0.4/11/2025 1816 IGMA RETIREMENT TRUST 457 ICMA FUNDE PO 04/03/25 PPE 04-03-2025 101-0000-209.0108 1.50 0.4/11/2025 1.50 0.5/10/25 0.5/	04/25/2025	1806	ICMA RETIREMENT TRUST 45	7 ICMA % PPE 04/17/25	PPE 04-17-2025 (3)	101-0000-209.0110		4,868.16
A/15/2025 1808	04/25/2025	1807	SEIU LOCAL 221	SEIU DUES ACH PPE 04/17/25	5 PPE 04-17-2025	101-0000-209.0108		903.82
0.011/10.025	04/25/2025	1807	SEIU LOCAL 221	SEIU COPE ACH PPE 04/17/25	PPE 04-17-2025 COPE	101-0000-209.0108		15.00
04/03/25 1810 B FIREFIGHTERS ASSOCIATI IBFA DUES ACH PPE 04/03/25 PPE 04-03-2025 101-0000-209.0108 480.00 04/11/2025 1811 ICMA RETIREMENT TRUST 457 ICMA % PPE 04/03/25 PPE 04-03-2025 101-0000-209.0110 5,494.10 04/11/2025 1811 ICMA RETIREMENT TRUST 457 ICMA CITY-PAID PPE 04/03/25 PPE 04-03-2025 101-0000-209.0110 4,638.50 04/11/2025 1811 ICMA RETIREMENT TRUST 457 ICMA KEND PPE 04/03/25 PPE 04-03-2025 101-0000-209.0110 4,838.52 04/11/2025 1812 SEIU ICCAL 221 SEIU DUES ACH PPE 04/03/25 PPE 04-03-2025 101-0000-209.0108 926.08 04/11/2025 1813 US BANK PARS ACH PPE 04/03/25 PPE 04-03-2025 101-0000-209.0108 15.00 04/11/2025 1814 PORESTERS INVESTOR SERVI FORESTERS SERVIL FORESTERS INVESTOR SERVIL BRA DUES ACH PPE 04/03/25 PPE 04-03-2025 101-0000-209.0102 1.562.42 05/09/2025 1815 IB FIREFIGHTERS ASSOCIATI IBRA DUES ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0102 1.562.42 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA CITY-PAID PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 4,871.44 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA CITY-PAID PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 4,871.44 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA CITY-PAID PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 4,885.25 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 4,885.25 05/09/2025 1817 SEIU LICCAL 221 SEIU COPE ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 4,885.25 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0100 4,885.25 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0100 4,885.25 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0100 4,885.25 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0100 4,885.25 05/09/2025 1818 US BANK PARS ACH PPE 05/01	04/25/2025	1808	US BANK	PARS ACH PPE 04/17/25	PPE 04-17-2025	101-0000-209.0120		1,489.64
04/11/2025 1811 ICMA RETIREMENT TRUST 457 ICMA % PPE 04/03/25 PPE 04-03-2025 101-0000-209.0110 4,638.50 04/11/2025 1811 ICMA RETIREMENT TRUST 457 ICMA CITY-PAID PPE 04/03/25 PPE 04-03-2025 (2) 101-0000-209.0110 4,638.50 04/11/2025 1812 SEIU LOCAL 221 SEIU COPE ACH PPE 04/03/25 PPE 04-03-2025 101-0000-209.0110 4,838.50 04/11/2025 1812 SEIU LOCAL 221 SEIU COPE ACH PPE 04/03/25 PPE 04-03-2025 101-0000-209.0108 926.08 04/11/2025 1813 US BANK PARS ACH PPE 04/03/25 PPE 04-03-2025 101-0000-209.0108 15.62.42 05/09/2025 1813 US BANK PARS ACH PPE 04/03/25 PPE 04-03-2025 SPE 04-	04/11/2025	1809	FORESTERS INVESTOR SERVI		PPE 04-03-2025	101-0000-209.0122		50.00
04/11/2025 1811 ICMA RETIREMENT TRUST 457 ICMA CITY-PAID PPE 04/03/25 PPE 04-03-2025 (2) 101-0000-209.0110 4,638.50 04/11/2025 1811 ICMA RETIREMENT TRUST 457 ICMA FIXED PPE 04/03/25 PPE 04-03-2025 (3) 101-0000-209.0108 926.08 04/11/2025 1812 SEIU LOCAL 221 SEIU COPE ACH PPE 04/03/25 PPE 04-03-2025 101-0000-209.0108 926.08 04/11/2025 1813 US BANK PARS ACH PPE 04/03/25 PPE 04-03-2025 101-0000-209.0108 15.00 04/11/2025 1813 US BANK PARS ACH PPE 04/03/25 PPE 04-03-2025 101-0000-209.0108 15.00 05/09/2025 1814 PORESTERS SPEN PORESTERS SPEN PPE 05-01-2025 101-0000-209.012 50.00 05/09/2025 1815 IB FIREFIGHTERS ASSOCIATI IBFA DUES ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 480.00 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA & PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 4.871.44 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA & PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 4.8871.44 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA FIXED PPE 05/01/25 PPE 05-01-2025 (2) 101-0000-209.0110 4.385.25 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA FIXED PPE 05/01/25 PPE 05-01-2025 (2) 101-0000-209.0110 4.385.25 05/09/2025 1817 SEIU LOCAL 221 SEIU ODES ACH PPE 05/01/25 PPE 05-01-2025 (2) 101-0000-209.0110 4.385.25 05/09/2025 1817 SEIU LOCAL 221 SEIU ODES ACH PPE 05/01/25 PPE 05-01-2025 (2) 101-0000-209.0110 4.385.25 05/09/2025 1817 SEIU LOCAL 221 SEIU ODES ACH PPE 05/01/25 PPE 05-01-2025 (2) 101-0000-209.0110 4.385.25 05/09/2025 1817 SEIU LOCAL 221 SEIU ODES ACH PPE 05/01/25 PPE 05-01-2025 (2) 101-0000-209.0108 15.00 05/09/2025 1817 SEIU LOCAL 221 SEIU ODES ACH PPE 05/01/25 PPE 05-01-2025 (2) 101-0000-209.0108 15.00 05/09/2025 1817 SEIU LOCAL 221 SEIU ODES ACH PPE 05/01/25 PPE 05-01-2025 (2) 101-0000-209.0108 15.00 05/09/2025 1816 LOCAL 221 SEIU DOES ACH PPE 05/01/25 PPE 05-01-2025 (2)	04/11/2025	1810	I B FIREFIGHTERS ASSOCIATI	IBFA DUES ACH PPE 04/03/25	PPE 04-03-2025	101-0000-209.0108		480.00
04/11/2025 1811 CMA RETIREMENT TRUST 457 ICMA FIXED PPE 04/03/25 PPE 04-03-2025 (3) 101-0000-209.0110 4,385.25 04/11/2025 1812 SEIU LOCAL 221 SEIU DUES ACH PPE 04/03/25 PPE 04-03-2025 (0PE 101-0000-209.0108 51.60.0 04/11/2025 1813 US BANK PARS ACH PPE 04/03/25 PPE 04-03-2025 (0PE 101-0000-209.0108 51.60.0 05/09/2025 1814 US BANK PARS ACH PPE 04/03/25 PPE 04-03-2025 101-0000-209.0102 51.562.42 05/09/2025 1815 IB FIREFIGHTERS ASSOCIATI IBFA DUES ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0102 50.00 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA PER 05/01/25 PPE 05-01-2025 101-0000-209.0110 4.871.44 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA PER 05/01/25 PPE 05-01-2025 101-0000-209.0110 4.885.25 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA PER 05/01/25 PPE 05-01-2025 101-0000-209.0110 2.484.66 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA PER 05/01/25 PPE 05-01-2025 101-0000-209.0110 2.484.66 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA PER 05/01/25 PPE 05-01-2025 101-0000-209.0110 2.484.66 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA PER 05/01/25 PPE 05-01-2025 101-0000-209.0110 2.484.66 05/09/2025 1817 SEIU LOCAL 221 SEIU DUES ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 3.885.25 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 967.49 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 967.49 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 967.49 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 967.49 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 967.49 05/09/2025 101-0000-209.0108 967.49 967.49 05/09/2025 101-0000-209.0108 967.49 967.49 967.49 05/09/2025 101-0000-209.0108 967.49 967.49 967.49 967.	04/11/2025	1811	ICMA RETIREMENT TRUST 45	7 ICMA % PPE 04/03/25	PPE 04-03-2025	101-0000-209.0110		5,494.10
04/11/2025 1812 SEIU LOCAL 221 SEIU CDE ACH PPE 04/03/25 PPE 04-03-2025 101-0000-209.0108 15.00 04/11/2025 1812 SEIU LOCAL 221 SEIU COPE ACH PPE 04/03/25 PPE 04-03-2025 COPE 101-0000-209.0108 15.00 04/11/2025 1813 US BANK PARS ACH PPE 04/03/25 PPE 04-03-2025 101-0000-209.0108 15.00 05/09/2025 1814 FORESTERS INVESTOR SERVI FORESTERS 529 PLAN PPE PPE 05-01-2025 101-0000-209.0122 50.00 05/09/2025 1815 IB FIREFIGHTERS ASSOCIATL IBFA DUES ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 480.00 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA % PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 480.00 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA % PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 4,871.44 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA FIXED PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 4,385.25 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA FIXED PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 4,385.25 05/09/2025 1817 SEIU LOCAL 221 SEIU DUES ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 4,385.25 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 15.00 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 15.00 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 15.00 05/09/2025 105-016 ADVANCED IMAGING SOLUT 02/20/25-03/19/25 COPPE 38858494 101-1920-419.2017 2.913.02 04/10/2025 105016 ADVANCED IMAGING SOLUT 02/20/25-03/19/25 COPPE 38858494 101-1920-419.2017 2.90063 500.00 05/09/2025 105016 ADVANCED IMAGING SOLUT 02/20/25-03/19/25 COPPE 38858494 101-1920-419.2017 2.90063 500.00 05/09/2025 105016 ADVANCED IMAGING SOLUT 02/20/25-03/19/25 COPPE 38858494 101-1920-419.2017 2.90063 500.00 05/09/2025 105016 ADVANCED IMAGING SOLUT 02/20/25-03/19/25 COPPE 3000000000000000000000000000	04/11/2025	1811	ICMA RETIREMENT TRUST 45	7 ICMA CITY-PAID PPE 04/03/25	5 PPE 04-03-2025 (2)	101-0000-209.0110		4,638.50
04/11/2025 1812 SEIU LOCAL 221 SEIU COPE ACH PPE 04/03/25 PPE 04-03-2025 COPE 101-0000-209.0108 15.00 04/11/2025 1813 US BANK PARS ACH PPE 04/03/25 PPE 04-03-2025 101-0000-209.0120 1,562.42 05/09/2025 1814 PORESTERS INVESTOR SERVI FORESTERS 229 ILAN PPE PPE 05-01-2025 101-0000-209.0122 50.00 05/09/2025 1815 IB FIREFIGHTERS ASSOCIATI IBFA DUES ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 480.00 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA SPPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 4.871.44 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA CITY-PAID PPE PPE 05-01-2025 101-0000-209.0110 2.484.66 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA FIXED PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 2.484.66 05/09/2025 1817 SEIU LOCAL 221 SEIU DUES ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 4.385.25 05/09/2025 1817 SEIU LOCAL 221 SEIU DUES ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 967.49 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 15.00 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 15.00 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 15.00 05/09/2025 105-015 AARON N MORGAN MAR 2025 -	04/11/2025	1811	ICMA RETIREMENT TRUST 45	7 ICMA FIXED PPE 04/03/25	PPE 04-03-2025 (3)	101-0000-209.0110		4,385.25
04/11/2025 1813 US BANK PARS ACH PPE 04/03/25 PPE 04-03-2025 101-0000-209.0120 1,562.42 05/09/2025 1814 PRORESTERS INVESTOR SERVI FORESTERS SEP JNA PPE PPE 05-01-2025 101-0000-209.0122 50.00 05/09/2025 1815 IB FIREFIGHTERS ASSOCIATI IBFA DUES ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 480.00 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA % PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 48,871.44 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA % PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 2,484.65 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA FINED PPE 05/01/25 PPE 05-01-2025 (2) 101-0000-209.0110 2,484.65 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA FINED PPE 05/01/25 PPE 05-01-2025 (2) 101-0000-209.0110 3 4,385.25 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA FINED PPE 05/01/25 PPE 05-01-2025 (3) 101-0000-209.0110 3 4,385.25 05/09/2025 1817 SEIU LOCAL 221 SEIU LOCAL 221 SEIU COPE ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 967.49 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 15.00 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 15.00 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 15.00 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 15.00 05/09/2025 101-0000-209.0108 15.00 05/	04/11/2025	1812	SEIU LOCAL 221	SEIU DUES ACH PPE 04/03/25	PPE 04-03-2025	101-0000-209.0108		926.08
SO SO SO SO SO SO SO SO	04/11/2025	1812	SEIU LOCAL 221	SEIU COPE ACH PPE 04/03/25	PPE 04-03-2025 COPE	101-0000-209.0108		15.00
05/09/2025 1815 18 FIREFIGHTERS ASSOCIATI 18 FA DUES ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 48.00	04/11/2025	1813	US BANK	PARS ACH PPE 04/03/25	PPE 04-03-2025	101-0000-209.0120		1,562.42
1816 ICMA RETIREMENT TRUST 457 ICMA % PPE 05/01/25 PPE 05-01-2025 101-0000-209.0110 2,484.66 1816 ICMA RETIREMENT TRUST 457 ICMA CITY-PAID PPE	05/09/2025	1814	FORESTERS INVESTOR SERVI		PPE 05-01-2025	101-0000-209.0122		50.00
1816 ICMA RETIREMENT TRUST 457 ICMA CITY-PAID PPE PPE 05-01-2025 (2) 101-0000-209.0110 2,484.66 05/01/25 05/09/2025 1816 ICMA RETIREMENT TRUST 457 ICMA FIXED PPE 05/01/25 PPE 05-01-2025 (3) 101-0000-209.0110 4,385.25 05/09/2025 1817 SEIU LOCAL 221 SEIU DUES ACH PPE 05/01/25 PPE 05-01-2025 (3) 101-0000-209.0108 967.49 967.	05/09/2025	1815	I B FIREFIGHTERS ASSOCIATI	IBFA DUES ACH PPE 05/01/25	5 PPE 05-01-2025	101-0000-209.0108		480.00
05/09/2025 1816 1CMA RETIREMENT TRUST 457 CMA FIXED PPE 05/01/25 PPE 05-01-2025 (3) 101-0000-209.0110 4,385.25	05/09/2025	1816	ICMA RETIREMENT TRUST 457	7 ICMA % PPE 05/01/25	PPE 05-01-2025	101-0000-209.0110		4,871.44
05/09/2025 1817 SEIU LOCAL 221 SEIU DUES ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 967.49 05/09/2025 1817 SEIU LOCAL 221 SEIU COPE ACH PPE 05/01/25 PPE 05-01-2025 COPE 101-0000-209.0108 15.00 05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0108 15.00 04/10/2025 105015 AARON N MORGAN MAR 2025 04-01-2025 101-1130-412.2006 900.00 04/10/2025 105016 ADVANCED IMAGING SOLUT 02/20/25-03/19/25 COPIER LEASE 04/10/2025 105016 ADVANCED IMAGING SOLUT 02/20/25-03/19/25 COPIER USAGE 04/10/2025 105017 AGRICULTURAL PEST CONTR 03/20/25 BIRD CONTROL SRVCS 04/10/2025 105018 ASCAP 01/01/26-03/31/26 LICENSE 03-20-2025 101-6014-451.2808 101-6014-451.2808	05/09/2025	1816	ICMA RETIREMENT TRUST 45		PPE 05-01-2025 (2)	101-0000-209.0110		2,484.66
D5/09/2025 1817 SEIU LOCAL 221 SEIU COPE ACH PPE 05/01/25 PPE 05-01-2025 COPE 101-0000-209.0108 15.00	05/09/2025	1816	ICMA RETIREMENT TRUST 45	7 ICMA FIXED PPE 05/01/25	PPE 05-01-2025 (3)	101-0000-209.0110		4,385.25
05/09/2025 1818 US BANK PARS ACH PPE 05/01/25 PPE 05-01-2025 101-0000-209.0120 1,679.86 04/10/2025 105015 AARON N MORGAN MAR 2025 - CLASSIFICATION/COMP CONSULTANT (20HRS) CONSULTANT (20HRS) 04/10/2025 105016 ADVANCED IMAGING SOLUT 02/20/25-03/19/25 COPIER LEASE 101-1920-419.2017 2,913.02 04/10/2025 105016 ADVANCED IMAGING SOLUT 02/20/25-03/19/25 COPIER USAGE 38858494 101-1920-419.2017 2,913.02 04/10/2025 105017 AGRICULTURAL PEST CONTR 03/20/25 BIRD CONTROL SRVCS 793411 101-6040-454.2022 250063 500.00 04/10/2025 105018 ASCAP 01/01/26-03/31/26 LICENSE 03-20-2025 101-6014-451.2808 101-6014-451.2808 10.5000-209.0120	05/09/2025	1817	SEIU LOCAL 221	SEIU DUES ACH PPE 05/01/25	5 PPE 05-01-2025	101-0000-209.0108		967.49
04/10/2025 105015 AARON N MORGAN MAR 2025 - CLASSIFICATION/COMP CONSULTANT (20HRS) 04/10/2025 105016 ADVANCED IMAGING SOLUT 02/20/25-03/19/25 COPIER LEASE 04/10/2025 105016 ADVANCED IMAGING SOLUT 02/20/25-03/19/25 COPIER USAGE 04/10/2025 105016 ADVANCED IMAGING SOLUT 02/20/25-03/19/25 COPIER USAGE 04/10/2025 105017 AGRICULTURAL PEST CONTR 03/20/25 BIRD CONTROL SRVCS 04/10/2025 105018 ASCAP 01/01/26-03/31/26 LICENSE 03-20-2025 101-6014-451.2808 900.00 900.	05/09/2025	1817	SEIU LOCAL 221	SEIU COPE ACH PPE 05/01/25	PPE 05-01-2025 COPE	101-0000-209.0108		15.00
CLASSIFICATION/COMP CONSULTANT (20HRS) 04/10/2025 105016 ADVANCED IMAGING SOLUT 02/20/25-03/19/25 COPIER LEASE 04/10/2025 105016 ADVANCED IMAGING SOLUT 02/20/25-03/19/25 COPIER USAGE 04/10/2025 105017 AGRICULTURAL PEST CONTR 03/20/25 BIRD CONTROL SRVCS 04/10/2025 105018 ASCAP 01/01/26-03/31/26 LICENSE 03-20-2025 101-6014-451.2808	05/09/2025	1818	US BANK	PARS ACH PPE 05/01/25	PPE 05-01-2025	101-0000-209.0120		1,679.86
LEASE 04/10/2025 105016 ADVANCED IMAGING SOLUT 02/20/25-03/19/25 COPIER USAGE 04/10/2025 105017 AGRICULTURAL PEST CONTR 03/20/25 BIRD CONTROL SRVCS 04/10/2025 105018 ASCAP 01/01/26-03/31/26 LICENSE 03-20-2025 101-6014-451.2808	04/10/2025	105015	AARON N MORGAN	CLASSIFICATION/COMP	04-01-2025	101-1130-412.2006		900.00
USAGE 04/10/2025 105017 AGRICULTURAL PEST CONTR 03/20/25 BIRD CONTROL 793411 101-6040-454.2022 250063 500.00 SRVCS 04/10/2025 105018 ASCAP 01/01/26-03/31/26 LICENSE 03-20-2025 101-6014-451.2808 10.25	04/10/2025	105016	ADVANCED IMAGING SOLUT		38858494	101-1920-419.2017		2,913.02
SRVCS 04/10/2025 105018 ASCAP 01/01/26-03/31/26 LICENSE 03-20-2025 101-6014-451.2808 10.25	04/10/2025	105016	ADVANCED IMAGING SOLUT		38858494	101-1920-419.2017		92.97
	04/10/2025	105017		SRVCS		101-6040-454.2022	250063	
	04/10/2025	105018	ASCAP		03-20-2025	101-6014-451.2808		10.25

Expense Approval Report						Payment Dates: 4/5/202	5 - 5/9/2025
Payment Date	Payment Number	Vendor Name	Description (Item)	Payable Number	Account Number	Purchase Order Number	Amount
04/10/2025	105019	ASHLEY J. HEDRICK	REIMB EMT & CPR RENEWAL	04-07-2025	101-1130-412.2901		329.45
04/10/2025	105020	CASTLE BY DESIGN	03/03/25-03/24/25	32125ED9	101-6010-451.2107		108.00
			CHARACTER ILLUSTRATION CLASS				
04/10/2025	105021	CDCE, INC.	ROUTER UPGRADES (3 LOW	143489	101-3020-422.3002		1,533.38
			PROFILE DOME) - FD				
04/10/2025	105022	CHRISTINE GESSLER BERGH	PARKING GARAGE - AFSS EDUCATIONAL FORUM	04-07-2025	101-3020-422.2804		18.00
04/10/2025	105023	CLEAN HARBORS	MAR 2025 - HOUSEHOLD HAZARDOUS WASTE SRVC	1005416173	101-5040-434.2104	250022	1,241.28
04/10/2025	105024	COUNTY OF SAN DIEGO	TEMPORARY EVENT ORGANIZER PERMIT - PRCS	DEH2022-FTEO-005944 2025	. 101-6014-451.2808		325.50
04/10/2025	105025	ECKENROTH PUBLICATIONS	02/06/25 MAYOR'S	150616	101-1010-411.2814		180.00
			ARTICLE/COUNCIL EVENTS				
04/10/2025	105025	ECKENROTH PUBLICATIONS	02/20/25 DOJ GRANT GRT081 ADVERTISING	150740	214-6010-451.2808		322.00
04/10/2025	105025	ECKENROTH PUBLICATIONS	03/27/25 -GARAGE SALE AD	151216	101-5040-434.2904		161.00
04/10/2025	105026	HAWTHORNE MACHINERY CO	MONTHLY EMERG GENERATOR SRVC - FD 6090HF285	SS100143058	101-1910-419.2104	250091	315.62
04/10/2025	105027	JASON LINDQUIST	CAL SURF LIFESAVING ASSOC. BOARD OF DIRECTORS MTNG	04-02-2025	101-3030-423.2804		65.00
04/10/2025	105028	JEFF MATTAZARO	PERMIT REFUND REQUEST USE-22-0098 - 221 EBONY	INV-00007831	101-0000-221.0102		3,458.00
04/10/2025	105028	JEFF MATTAZARO	PERMIT REFUND USE-23- 0051-DEP - 124 DONAX	INV-00014176	101-0000-221.0102		4,182.14
04/10/2025	105029	JORGE A VELAZQUEZ J.R	02/25/25-03/20/25 - TAEKWONDO	3212025TJ4K8	101-6010-451.2107		740.00
04/10/2025	105030	LIFE-ASSIST,INC.	PREP PADS (3BX), BANDAGE,GLOVES (4BX)	1580689	101-3030-423.3005		128.56
04/10/2025	105031	LOGHMANI & ASSOCIATES D	. 01/17/25-03/21/25 SPORTS PARK IMPRO (SP22101/P24101	7	214-0000-202.0000		-8,416.75
04/10/2025	105031	LOGHMANI & ASSOCIATES D	. 01/17/25-03/21/25 SPORTS PARK IMPRO (SP22101/P24101	7	214-5000-532.2006	250047	141,503.84
04/10/2025	105031	LOGHMANI & ASSOCIATES D	. 01/17/25-03/21/25 SPORTS PARK IMPRO (SP22101/P24101	7	420-5000-532.2006	250047	26,831.18
04/10/2025	105032	LORENA ALLEN	MAR 2025 IB WALKING CLUB	422025LA17	101-6030-453.2310		200.00
04/10/2025	105033	MCDOUGAL LOVE BOEHMER.		111958	101-1220-413.2001		3,402.00
04/10/2025	105022	MCDOLICAL LOVE DOCUME	ENFORCEMENT (LWC002-P)	111000	101 1220 412 2001		1 022 25
04/10/2025	105033	IVICHUUGAL LUVE BUEHMEK.	FEB 2025 - SPECIAL PROJECTS (LWC146-P)	111323	101-1220-413.2001		1,933.25
04/10/2025	105033	MCDOUGAL LOVE BOEHMER.	,	111960	101-1220-413.3002		14,000.00

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Payment Date	Payment Number	Vendor Name	Description (Item)	Payable Number	Account Number	Purchase Order Number	Amount
04/10/2025	105033	MCDOUGAL LOVE BOEHMER.	FEB 2025 - EDCO (LWC327- EXP)	111961	101-1220-413.2001		166.50
04/10/2025	105033	MCDOUGAL LOVE BOEHMER.	FEB 2025 - LITIGATION (LWC336-P)	111962	502-1922-419.2001		555.00
04/10/2025	105033	MCDOUGAL LOVE BOEHMER.	FEB 2025 - DEVELOPMENT PROJECTS (LWC361-P)	111963	101-1220-413.2001		1,073.00
04/10/2025	105033	MCDOUGAL LOVE BOEHMER.	FEB 2025 - LITIGATION (LWC363-P)	111966	502-1922-419.2001		1,302.00
04/10/2025	105034	MES I ACQUISITION INC.	ANNUAL SCBA TESTING	IN2220601	101-3020-422.2104		1,904.24
04/10/2025	105034	MES I ACQUISITION INC.	SCBA MASKS FIT TESTING	IN2237271	101-3020-422.2104		190.00
04/10/2025	105035	POLICE & FIRE PSYCHOLOGY,.	PRE-EMPLOYMENT PSYCHOLOGICAL EVALUATIONS	07012024	101-1130-412.2006		700.00
04/10/2025	105036	ROBERT HALF/ACCOUNTEM	. WE 03/07/25 CC TEMP C DARTEZ - 39.5 HRS	64728486	101-1020-411.2101		2,026.35
04/10/2025	105036	ROBERT HALF/ACCOUNTEM	. WE 03/28/25 CC TEMP C DARTEZ - 13 HRS	64819591	101-1020-411.2101		666.90
04/10/2025	105037	SDGE	03/04/25-04/01/25 - 170 PALM AVE-ELEC	0002 6464 5267 4 04/07/25	101-1910-419.2701		295.25
04/10/2025	105037	SDGE	03/01/25-03/31/25 - 1068 EMORY ST	0006 4675 3193 8 04/04/25	101-5010-431.2701		2.98
04/10/2025	105037	SDGE	03/01/25-03/31/25 - 755 DELAWARE ST	0020 2498 4701 7 04/04/25	601-5060-436.2701		139.59
04/10/2025	105037	SDGE	03/04/25-04/01/25 - 425 IB BLVD 1- REC CTR GAS	0020 8169 2339 9 04/03/25			10.00
04/10/2025	105037	SDGE	03/01/25-03/31/25 - PALM BET 1ST/5TH D	0027 4196 9935 9 04/04/25			373.23
04/10/2025	105037	SDGE	03/01/25-03/31/25 - PALM/HWY 75 MAIN DIST D	0028 1987 1631 5 04/04/25			2,891.06
04/10/2025	105037	SDGE	STREET	0030 6284 3371 9 04/04/25			16.98
04/10/2025	105037	SDGE	03/04/25-04/01/25 - 111 PALM AVE	0035 1619 2790 2 04/07/25			345.20
04/10/2025	105037	SDGE	03/01/25-03/31/25 - 1298 GROVE AVE	0037 3630 3079 0 04/04/25			24.85
04/10/2025	105037	SDGE	03/04/25-04/01/25 - 170 PALM AVE-GAS	0049 3035 3196 9 04/03/25			13.46
04/10/2025	105037	SDGE	03/01/25-03/31/25 - 585 IB BLVD	0051 5327 2671 7 04/04/25			22.53
04/10/2025	105037	SDGE	BLVD	0052 8034 0664 1 04/02/25			101.61
04/10/2025	105037	SDGE	03/04/25-04/01/25 - 120 ELKWOOD AVE	0054 5795 0654 7 04/07/25			90.41
04/10/2025	105037	SDGE	BLVD	0055 7618 8054 1 04/02/25			2.16
04/10/2025	105037	SDGE	03/01/25-03/31/25 - 1025 9TH STREET	0087 7382 3642 4 04/04/25	601-5060-436.2701		1,387.47

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Payment Date	Payment Number	Vendor Name	Description (Item)	Payable Number	Account Number	Purchase Order Number	Amount
04/10/2025	105037	SDGE	03/04/25-04/01/25 - 425 IB BLVD 1- FIELD A	2100 0097 9893 7 04/07/25	101-6020-452.2701		662.28
04/10/2025	105037	SDGE	03/04/25-04/01/25 - 425 IB BLVD 2 - FIELD B	2100 0097 9997 6 04/07/25	101-6020-452.2701		727.22
04/10/2025	105037	SDGE	03/04/25-04/01/25 - 425 IB BLVD B	2100 0098 0282 0 04/07/25	101-6010-451.2701		216.72
04/10/2025	105037	SDGE	03/04/25-04/01/25 - 425 IB BLVD 4 - MAJOR FIELD	2100 0098 0485 9 04/07/25	101-6020-452.2701		990.71
04/10/2025	105037	SDGE	03/04/25-04/01/25 - 427 IB BLVD - ST/PARK LIGHT	2100 0098 0734 0 04/07/25	101-6020-452.2701		137.52
04/10/2025	105037	SDGE	03/04/25-04/01/25 - 425 IB BLVD 1- REC CENTER	2100 0098 1218 3 04/07/25	101-6010-451.2701		60.67
04/10/2025	105037	SDGE	03/04/25-04/01/25 - 425 IB BLVD A	2100 0098 1222 5 04/07/25	101-6010-451.2701		137.06
04/10/2025	105037	SDGE	03/01/25-03/31/25 - 849 ENCINA AVE	2100 0121 6790 6 04/07/25	101-6020-452.2701		37.87
04/10/2025	105038	SOUTHWEST SIGNAL	MAR 2025 SIGNAL MAINT	84134	101-5010-431.2104		720.00
04/10/2025	105039	THE SHERWIN-WILLIAMS CO	GRAY METAL PRIMER - TIDELANDS	1346-3	101-6040-454.3002		45.74
04/10/2025	105039	THE SHERWIN-WILLIAMS CO	PAINT, BLUE TAPE (2), FRAME - FACILITIES	7117-4	101-1910-419.3002		94.90
04/10/2025	105040	TOTAL COMPENSATION SYST.	GASB 75 FULL VALUATION - 2ND INSTALLMENT	14367	101-1210-413.2006		1,170.00
04/10/2025	105041	ZOLL MEDICAL CORPORATION	N AED SUPPLIES - FD	4167668	101-3020-422.3002		73.95
04/10/2025	105041	ZOLL MEDICAL CORPORATION	N CASE REVIEW SUBSCRIPTION - FD	90110177	101-3020-422.2006		1,264.00
04/17/2025	105042	CALIFORNIA AMERICAN WAT.	03/07/25-04/04/25 - 505 HWY 75 IRRG	1015-210018811916 04/08/	101-1910-419.2702		184.77
04/17/2025	105042	CALIFORNIA AMERICAN WAT.	03/11/25-04/08/25 - 814 CYPRESS AVE	1015-210018820255 04/10/	101-6020-452.2702		40.85
04/17/2025	105042	CALIFORNIA AMERICAN WAT.	03/06/25-04/03/25 - 400 1/2 PALM AVE IRRIG	1015-210019027905 04/08/	101-1910-419.2702		564.77
04/17/2025	105042	CALIFORNIA AMERICAN WAT.	03/11/25-04/08/25 - 495 10TH ST	1015-210019058534 04/10/	. 101-1910-419.2702		328.21
04/17/2025	105042	CALIFORNIA AMERICAN WAT.	03/11/25-04/08/25 - 630 FLORIDA STREET	1015-210019176067 04/10/	. 101-1910-419.2702		398.02
04/17/2025	105042	CALIFORNIA AMERICAN WAT.	03/11/25-04/08/25 - 624 FLORIDA STREET	1015-210019176128 04/10/	. 101-1910-419.2702		39.54
04/17/2025	105042	CALIFORNIA AMERICAN WAT.	03/11/25-04/08/25 - 1250 PALM AVE IRRIG	1015-210019179080 04/10/	101-6010-451.2702		96.61
04/17/2025	105042	CALIFORNIA AMERICAN WAT.	OCEAN LN	1015-210019276868 04/08/	. 101-1910-419.2702		280.69
04/17/2025	105042	CALIFORNIA AMERICAN WAT.	03/06/25-04/03/25 - 90 IMPERIAL BEACH BLVD IRRIG	1015-210019278093 04/08/	. 101-6020-452.2702		92.42
04/17/2025	105042	CALIFORNIA AMERICAN WAT.	03/06/25-04/03/25 - 1150 SEACOAST DR IRRIG	1015-210019278895 04/08/	. 101-6020-452.2702		92.42

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04/17/2025	105042	CALIFORNIA AMERICAN WAT	03/06/25-04/03/25 - 1234 SEACOAST DR IRRIG	1015-210019279782 04/08/	101-6020-452.2702		92.42
04/17/2025	105042	CALIFORNIA AMERICAN WAT	03/06/25-04/03/25 - 1322 SEACOAST DR IRRIG	1015-210019357057 04/08/	601-5060-436.2702		92.42
04/17/2025	105042	CALIFORNIA AMERICAN WAT	03/06/25-04/03/25 - 90 DESCANSO IRRIG	1015-210019359015 04/08/	101-6020-452.2702		92.42
04/17/2025	105042	CALIFORNIA AMERICAN WAT	03/06/25-04/03/25 - 90 ENCANTO AVE IRRIG	1015-210019360534 04/08/	101-6020-452.2702		122.04
04/17/2025	105042	CALIFORNIA AMERICAN WAT	03/06/25-04/03/25 - 105 IMPERIAL BEACH BLVD	1015-210019482014 04/08/	101-1910-419.2702		298.63
04/17/2025	105042	CALIFORNIA AMERICAN WAT	03/06/25-04/03/25 - 981 2ND ST	1015-210019600799 04/08/	101-6020-452.2702		550.58
04/17/2025	105042	CALIFORNIA AMERICAN WAT	03/08/25-04/07/25 - IB CLEAN UP TRUCK	1015-21002012597704/09/25	5 101-6020-452.2702		94.00
04/17/2025	105042	CALIFORNIA AMERICAN WAT	04/08/25-05/07/25 - 950 OCEAN LN 4IN FIRE	1015-21002015338504/09/25	5 101-6020-452.2702		61.88
04/17/2025	105042	CALIFORNIA AMERICAN WAT	03/08/25-04/07/25 - 825 IMPERIAL BEACH AVE	1015-210020154739 04/09/	101-1910-419.2702		94.00
04/17/2025	105042	CALIFORNIA AMERICAN WAT	03/08/25-04/07/25 - HYDRANT METER #6	1015-220029776225 04/09/	101-6010-451.2702		568.72
04/17/2025	105042	CALIFORNIA AMERICAN WAT	03/06/25-04/03/25 - 170 PALM AVE 64154527	1015-220036553772 04/08/	101-6020-452.2702		38.88
04/17/2025	105042	CALIFORNIA AMERICAN WAT	03/06/25-04/03/25 - 170 PALM AVE 60765844	1015-220036553789 04/08/	101-6020-452.2702		181.66
04/17/2025	105042	CALIFORNIA AMERICAN WAT	03/06/25-04/03/25 - 751 10TH ST IRRIG	1015-22004076680504/08/25	5 101-6020-452.2702		98.97
04/17/2025	105042	CALIFORNIA AMERICAN WAT	03/06/25-04/03/25 - 105 PALM AVE	1015-22004141522304/08/25	5 101-6020-452.2702		58.62
04/17/2025	105043	COUNTY OF SAN DIEGO RCS	03/07/25 RADIO MAINT TN22411,TN19830,TN19827 - MS	25CTOFIBM09	101-3030-423.3002		341.94
04/17/2025	105043	COUNTY OF SAN DIEGO RCS	MAR 2025 - SHERIFF	25CTOFIBN09	101-3010-421.2125	250051	1,386.50
04/17/2025	105043	COUNTY OF SAN DIEGO RCS	MAR 2025 - FIRE RADIOS	25CTOFIBN09	101-3020-422.2125	250051	531.00
04/17/2025	105043	COUNTY OF SAN DIEGO RCS	MAR 2025 - MS RADIOS	25CTOFIBN09	101-3030-423.2125	250051	826.00
04/17/2025	105044	COX COMMUNICATIONS	04/01/25-04/30/25 825 IB BLVD 001 3110 015533201	04-01-2025 3201	503-1923-419.2104		29.35
04/17/2025	105044	COX COMMUNICATIONS	04/01/25-04/30/25 825 IB BLVD 001 3110 108768102	04-01-2025 8102	503-1923-419.2104		35.33
04/17/2025	105044	COX COMMUNICATIONS	04/04/25-05/03/25 950 OCEAN LN 001 3110 091187001	04-04-2025 7001	503-1923-419.2104		245.17
04/17/2025	105045	DG INVESTMENT INTERMEDI		IN00305172	503-1923-419.2006		4,281.07
04/17/2025	105045	DG INVESTMENT INTERMEDIA	SECURITY BADGES ID	IN00312669	503-1923-419.3022		759.16
04/17/2025	105046	DOWNSTREAM SERVICES, IN.	03/25/25 QUARTERLY STORMWATER MAINT	184316	101-5050-435.2104	250043	939.45

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04/17/2025	105047	FLYERS ENERGY LLC	03/27/25 - 800 GAS, 54 DSL	25-329821	501-1921-419.2815		3,680.06
04/17/2025	105048	I.B. CLEARWATER	03/31/25 WATER DELIVERY - FD	03-31-2025	101-3020-422.3002		21.62
04/17/2025	105048	I.B. CLEARWATER	04/07/25 WATER DELIVERY - FD	04-07-2025	101-3020-422.3002		18.12
04/17/2025	105048	I.B. CLEARWATER	04/14/25 WATER DELIVERY - FD	04-14-2025	101-3020-422.3002		17.12
04/17/2025	105049	ICMA DUES RENEWAL	FY25-26 MEMBERSHIP DUES - E CORTEZ	996891 FY25-26	101-1110-412.2812		1,200.00
04/17/2025	105050	IRIS GROUP HOLDINGS LLC	MAR 2025 - 10 PUMP STATIONS 24HR ALARM SYSTEM	158112507	601-5060-436.2023		465.15
04/17/2025	105050	IRIS GROUP HOLDINGS LLC	APR 2025 - 10 PUMP STATIONS 24HR ALARM SYSTEM	158356187	601-5060-436.2023		465.15
04/17/2025	105051	MICHAEL BAKER INTERNATI	THROUGH 03/30/25 - 9TH ST ENHANCEMENT (S22101)	1245143	207-5000-532.2006	250099	7,030.00
04/17/2025	105052	NEXT DAY PRINTED TEES	T-SHIRTS - TIDELANDS PART- TIME STAFF	92303	101-6040-454.3002	250149	3,668.94
04/17/2025	105053	PHILLIPA TUCKER	MAR 2025 LIVESCAN SRVCS (5 EMPLOYEES)	5 479	101-1130-412.2104		125.00
04/17/2025	105054	PRIDE INDUSTRIES	MAR 2025 - LABOR 218.17 HRS - BEACH CLEANING	ARI/21343987	101-6040-454.2104	250064	5,236.08
04/17/2025	105055	RAECORE, INC.	WIRELESS UPDATE-FD, OUTBOUND BLOCKS- CH,PW,MS,S.CTR	2727	503-1923-419.2006		2,400.00
04/17/2025	105056	SAN DIEGO ELEVATOR AND L.	MAR 2025 ELEVATOR SRVC - SAFETY CTR	9639	101-1910-419.2006		150.00
04/17/2025	105057	SAN DIEGO FRICTION PROD	NEW SAFETY LIGHTS - TRUCK 625	06P105141	501-1921-419.2816		1,714.51
04/17/2025	105058	SAN DIEGO GAS & ELECTRIC	MAR 2025 - 0056 4977 1474 9 - PW	9 04-09-2025	101-1910-419.2701		1,982.26
04/17/2025	105058	SAN DIEGO GAS & ELECTRIC	MAR 2025 - 0056 4977 1474 9 - CITY HALL	9 04-09-2025	101-1910-419.2701		5,655.50
04/17/2025	105058	SAN DIEGO GAS & ELECTRIC	MAR 2025 - 0056 4977 1474 9 - STREET LIGHTS	9 04-09-2025	101-5010-431.2701		13,622.86
04/17/2025	105058	SAN DIEGO GAS & ELECTRIC	MAR 2025 - 0056 4977 1474 9 - PARKS & REC	9 04-09-2025	101-6020-452.2701		1,536.88
04/17/2025	105058	SAN DIEGO GAS & ELECTRIC	MAR 2025 - 0056 4977 1474 9 - SEWER	9 04-09-2025	601-5060-436.2701		3,517.99
04/17/2025	105059	SDGE	03/04/25-04/01/25 - 186 PALM AVE	0008 2432 9204 1 04/07/25	101-5010-431.2701		357.21
04/17/2025	105059	SDGE	03/04/25-04/01/25 - 100 1/2 PALM AVE	0094 7600 1698 9 04/07/25	101-5010-431.2701		785.39
04/17/2025	105059	SDGE	03/04/25-04/01/25 - 425 IB BLVD 3 - MINOR FIELD	2100 0097 9290 6 04/08/25	101-6020-452.2701		1,059.27

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Payment Date	Payment Number	Vendor Name	Description (Item)	Payable Number	Account Number	Purchase Order Number	Amount
04/17/2025	105060	SITEONE LANDSCAPE SUPPLY	TEFLON TAPE(12) ,SCREWDRIVER(6),ROTATOR ADJ TOOL(6)	151799077-001	101-6020-452.2801		50.61
04/17/2025	105060	SITEONE LANDSCAPE SUPPLY	PRO-SPRAY (25)	151799077-002	101-6020-452.3002		190.04
04/17/2025	105061	TRANE U.S. INC.	FY25 Q4 - HVAC PM SRVCS	315315009	101-1910-419.2104	250038	7,011.50
04/17/2025	105062	TRENTMAN CORPORATION	STENCIL GUARD	16693	101-5010-431.2123		128.76
04/17/2025	105063	VERDUGO TESTING INC, CO	ANNUAL UNLEADED GASTANI TEST	< 48204	501-1921-419.2813		1,366.70
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 NO COST CTR-CITY COUNCIL	6110501704	101-1010-411.2705		52.19
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 CITY COUNCIL	6110501704	101-1010-411.2705		523.05
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 CITY CLERK	6110501704	101-1020-411.2705		103.95
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 NO COST CTR-CITY MGR	6110501704	101-1110-412.2705		23.71
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 HUMAN RESOURCES	6110501704	101-1130-412.2705		55.80
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 FINANCE	6110501704	101-1210-413.2705		62.38
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 NO COST CTR-FINANCE	6110501704	101-1210-413.2705		23.71
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 COMM DEV/COMMUNITY DEVELOPMENT	6110501704	101-1230-413.2705		125.41
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 NO COST CTR-COMM DEV	6110501704	101-1230-413.2705		68.58
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 FACILITIES	S 6110501704	101-1910-419.2705		148.52
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 N/A - NON DEPT	6110501704	101-1920-419.2705		228.06
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 FIRE	6110501704	101-3020-422.2705		170.66
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 NO COST CTR-FIRE	6110501704	101-3020-422.2705		47.42
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 LIFEGUARDS	6110501704	101-3030-423.2705		270.48
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 NO COST CTR-LG	6110501704	101-3030-423.2705		23.71
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25MARINE SAFETY	6110501704	101-3030-423.2705		152.04
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 JUNIOR LIFEGUARDS	6110501704	101-3035-423.2704		24.72
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 BUILDING	6110501704	101-3040-424.2705		103.36
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 HOUSING	6110501704	101-3040-424.2705		41.57
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 CODE	6110501704	101-3070-427.2705		109.86
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 STREETS	6110501704	101-5010-431.2705		232.77
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 PUBLIC WORKS	6110501704	101-5020-432.2705		236.05

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Payment Date	Payment Number	Vendor Name	Description (Item)	Payable Number	Account Number	Purchase Order Number	Amount
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 NO COST CTR-PW	6110501704	101-5020-432.2705		61.79
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 ENV SERVICES	6110501704	101-5050-435.2705		21.48
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 PARKS AND REC	6110501704	101-6010-451.2705		46.57
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 RECREATION	6110501704	101-6010-451.2705		274.78
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 NO COST CTR-PARKS & REC	6110501704	101-6010-451.2705		41.57
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 PARKS MAINT	6110501704	101-6020-452.2705		216.81
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 TIDELANDS	6110501704	101-6040-454.2705		193.33
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 FLEET	6110501704	501-1921-419.2705		29.47
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 INFO TECH	6110501704	503-1923-419.2705		79.32
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 NO COST CTR-IT	6110501704	503-1923-419.2705		179.05
04/17/2025	105064	VERIZON WIRELESS	03/09/25-04/08/25 SEWER	6110501704	601-5060-436.2705		232.76
04/17/2025	105066	VIRTUAL PROJECT MANAGER,	APR 2025 SOFTWARE SYS MNGMT (S22101-RMRA)	12-4457	207-5000-532.2006		500.00
04/17/2025	105067	WAXIE SANITARY SUPPLY	LEMON DESINFECTANT (8CS)	83144620	101-6040-454.3002		730.23
04/24/2025	105068	4LEAF INC	MAR 2025 BUILDING CONSULTING SRVCS	J4252L	101-3040-424.2006		15,732.50
04/24/2025	105068	4LEAF INC	MAR 2025 PLANNING CONSULTING SRVCS	J4252L	214-1230-413.2006		11,970.00
04/24/2025	105069	AMAZON CAPITAL SERVICES,	MAGNETIC WHITE BOARD KIT - FINANCE	11RX-YGC9-1KJ4	101-1210-413.3001		29.11
04/24/2025	105069	AMAZON CAPITAL SERVICES,	WALL FILE, GEL PENS - FINANCE	13CL-FF7L-1LRY	101-1210-413.3001		61.61
04/24/2025	105069	AMAZON CAPITAL SERVICES, .	BOOK CLUB	16JV-D3FL-7M1G	214-6030-453.2310		54.54
04/24/2025	105069	AMAZON CAPITAL SERVICES,		1DJM-HF3J-Y3VT	101-1230-413.3001		24.52
04/24/2025	105069	AMAZON CAPITAL SERVICES, .	FACILITIES	1FHX-7CWK-4HQ1	207-5000-532.2006		242.16
04/24/2025	105069	AMAZON CAPITAL SERVICES,		1RGG-PMMM-6XRP	101-3020-422.3001		6.80
04/24/2025	105069	·	AA/AAA BATTERIES, MARKER SET (2) - FD		101-3020-422.3002		91.23
04/24/2025	105069	AMAZON CAPITAL SERVICES, .	DINNER	1TCH-337P-M1QK	101-1010-411.2804		13.96
04/24/2025	105069	AMAZON CAPITAL SERVICES,	MANAGER OFFICE	1TCH-337P-M1QK	101-1010-411.3001		56.84
04/24/2025	105069	AMAZON CAPITAL SERVICES,	AAA BATTERIES NEVER RECEIVED - FD	1TVW-RV6M-C4GC	101-3020-422.3002		-28.76

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Payment Date	Payment Number	Vendor Name	Description (Item)	Payable Number	Account Number	Purchase Order Number	Amount
04/24/2025	105069	AMAZON CAPITAL SERVICES,	DISINFECTING WIPES, SHIPPING LABELS - CD	1YDQ-DVJJ-V4VJ	101-1230-413.3001		57.43
04/24/2025	105070	AT&T DW HOLDINGS INC	MAR 2025 FIRSTNET MOBILE SPEC UNL AIRCARDS/MIFI	287346095064X04082025	101-3020-422.2705		134.46
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/18/25-04/15/25 - 1001 IRIS AVENUE IRRG	1015-210019176333 04/17/	101-1910-419.2702		39.54
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/15/25-04/14/25 - 840 IMPERIAL BEACH BLVD	1015-210019335248 04/17/	101-6020-452.2702		3,328.36
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/15/25-04/14/25 - 820 IMPERIAL BEACH BLVD	1015-210019335347 04/17/	101-1910-419.2702		1,126.15
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/15/25-04/14/25 - 825 IMPERIAL BCH,CITY OF	1015-210019335484 04/16/	101-1910-419.2702		345.41
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/15/25-04/14/25 - 855 IMPERIAL BEACH BLVD	1015-210019335682 04/16/	101-6020-452.2702		94.00
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/15/25-04/14/25 - 865 IMPERIAL BEACH BLVD	1015-210019335774 04/16/	101-1910-419.2702		469.49
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/15/25-04/14/25 - 915 IB BLVD IRRIG	1015-210019335835 04/16/	101-6020-452.2702		65.39
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/15/25-04/14/25 - 1025 9TH ST	1015-210019401916 04/16/	101-6020-452.2702		39.54
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/08/25-04/07/25 - HY MT 007015344	1015-210019512885 04/11/	101-6020-452.2702		631.99
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/15/25-04/14/25 - 711 ENCINA AVE	1015-210020277854 04/16/	101-6020-452.2702		94.00
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/13/25-04/10/25 - 710 PALM AVE	1015-210020440898 04/14/	101-1910-419.2702		463.94
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/14/25-04/11/25 - 701 5TH ST IRRIG	1015-210020731235 04/15/	101-6020-452.2702		39.54
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/14/25-04/11/25 - 425 IMPERIAL BEACH BLVD	1015-210021068268 04/15/	101-1910-419.2702		294.99
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/14/25-04/11/25 - 401 IMPERIAL BEACH BLVD	1015-210021068367 04/15/	601-5060-436.2702		696.31
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/14/25-04/11/25 - 423 IB BLVD IRRIG	1015-210021068541 04/15/	601-5060-436.2702		293.70
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/15/25-04/14/25 - 845 ENCINA AVE IRRIG	1015-210021082448 04/16/	101-6020-452.2702		442.01
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/14/25-04/11/25 - 710 5TH STREET	1015-220018914676 04/15/	101-1910-419.2702		94.00
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/14/25-04/11/25 - 582 IB BLVD IRRG	1015-220030150199 04/15/	101-6020-452.2702		94.00
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/15/25-04/14/25 - 1309 9TH ST IRRG	1015-22004139520604/16/25	5 101-6020-452.2702		74.39
04/24/2025	105071	CALIFORNIA AMERICAN WAT	03/13/25-04/14/25 - 979 9TH ST IRRIG	1015-22004145579504/17/25	5 101-6020-452.2702		67.31
04/24/2025	105072	CALIFORNIA ELECTRIC SUPPL	Y LED LAMPS (20), LAMP ARMS (20)	1069-1060628	101-5010-431.2123	250105	45,000.00

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04/24/2025	105072	CALIFORNIA ELECTRIC SUPPLY	/ WIRES(1.5K),FUSEHOLDERS (10) -SEACOAST STREETLIGHTS	1069-1066540	101-5010-431.2123		865.98
04/24/2025	105072	CALIFORNIA ELECTRIC SUPPLY	MIDGET TD FUSES (50) - SEACOAST DR STREETLIGHTS	1069-1066688	101-5010-431.2123		271.88
04/24/2025	105073	CAROL SEABURY	REIMB TREE PRUNING ON CITY'S RIGHT-OF-WAY	3248	101-6020-452.2104		2,250.00
04/24/2025	105074	CITY OF CHULA VISTA	FY25 Q3 ANIMAL CONTROL SERVICES	8877	101-3050-425.2006		93,922.00
04/24/2025	105075	CIVICPLUS, LLC.	WEBSITE VIRTUAL SYSTEM TRAINING (4)	331682	503-1923-419.2804		5,000.00
04/24/2025	105076	COAR DESIGN GROUP	BID SUPPORT/CONST. ADMIN GYM IMPROV - SPORTS PARK	, 22666	214-5000-532.2006	230243-R2	74.58
04/24/2025	105076	COAR DESIGN GROUP	BID SUPPORT/CONST. ADMIN GYM IMPROV - SPORTS PARK	, 22666	420-5000-532.2006	230243-R2	8,925.42
04/24/2025	105076	COAR DESIGN GROUP	BID SUPPORT/CONST. ADMIN GYM IMPROV - SPORTS PARK	, 22712	420-5000-532.2006	230243-R2	13,160.00
04/24/2025	105076	COAR DESIGN GROUP	BID SUPPORT/CONST. ADMIN GYM IMPROV - SPORTS PARK	, 22752	420-5000-532.2006	230243-R2	2,740.00
04/24/2025	105077	COUNTY OF SAN DIEGO	EXEMPT FEE USE-22-0069 - 640 13TH ST (22-0069-DEP)	USE-22-0069	101-0000-221.0102		50.00
04/24/2025	105078	COX COMMUNICATIONS	04/09/25-05/08/25 - 1075 8TH ST 001 3110 093630302	04-10-2025 0302	503-1923-419.2104		100.00
04/24/2025	105079	DEPARTMENT OF JUSTICE	FEB 2025 EMPLOYEE FINGERPRINTS - APPS (1), FBI (1)	801263	101-1130-412.2104	250135	49.00
04/24/2025	105079	DEPARTMENT OF JUSTICE	MAR 2025 EMPLOYEE FINGERPRINTS - APPS (5), FBI (5)	807867	101-1130-412.2104	250135	245.00
04/24/2025	105080	DIVISION OF THE STATE ARC	. 2025 JAN-MAR - SB1186 CONTRIBUTIONS TO DSA	04-23-2025	101-0000-371.8309		264.80
04/24/2025	105081	DRUG TESTING NETWORK INC	C MAR 2025 EMPLOYEE DMV PHYSICALS (2)	119835	101-1130-412.2104	250027	130.00
04/24/2025	105082	ECKENROTH PUBLICATIONS	03/20/25 - LEGAL AD - CC	151135	101-1020-411.2807	250011	130.00
04/24/2025	105082	ECKENROTH PUBLICATIONS	03/17/25 - GARAGE SALE CREDIT FROM 2024	151135	101-5040-434.2904		-136.00
04/24/2025	105082	ECKENROTH PUBLICATIONS	03/20/25 - GARAGE SALE AD	151135	101-5040-434.2904		161.00
04/24/2025	105083	ESGIL CORPORATION	MAR 2025 PLAN CHECK SRVCS	5 1555826	101-3040-424.2016		192.50
04/24/2025	105084	FLYERS ENERGY LLC	02/27/25 FUEL DELIVERY (1,000 GAS, 83 DSL)	25-307635	501-1921-419.2815		4,393.94
04/24/2025	105084	FLYERS ENERGY LLC	3/13/25 FUEL DELIVERY (1,100 GAS, 33 DSL)	25-318740	501-1921-419.2815		4,497.05
04/24/2025	105084	FLYERS ENERGY LLC	3/20/2025 - FUEL DELIVERY (1,100 GAS. 185 DSL)	25-323558	501-1921-419.2815		5,300.16
04/24/2025	105084	FLYERS ENERGY LLC	04/03/25 - FUEL DELIVERY (1,200 GAS, 67 DSL)	25-335143	501-1921-419.2815		5,606.98

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04/24/2025	105084	FLYERS ENERGY LLC	04/10/2025 - FUEL DELIVERY (1,000 GAS, 85 DSL)	25-340508	501-1921-419.2815		4,401.15
04/24/2025	105084	FLYERS ENERGY LLC	04/17/25 - FUEL DELIVERY (1,075 GAS. 100 DSL)	25-345405	501-1921-419.2815		4,791.90
04/24/2025	105085	GO-STAFF, INC.	WE 3/30/2025 PARKS TEMP STAFF - J TORRES 40 HRS	329443	101-6020-452.2101		1,293.36
04/24/2025	105085	GO-STAFF, INC.	WE 04/06/2025 PARKS TEMP STAFF - J TORRES 40 HRS	329690	101-6020-452.2101		1,293.36
04/24/2025	105086	GRAINGER	SEWER TRAILER TIRES	9444478136	501-1921-419.2816		212.47
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	HONORATO	1511621	601-5060-436.3002		275.60
04/24/2025	105087		TOOL STORAGE, STOOL, TOOI STORAGE KIT - M. DAUM		601-5060-436.3002		950.00
04/24/2025	105087		TOOL STORAGE,STOOL,TOOL STORAGE KIT - J. HONORATO		601-5060-436.3002		1,182.14
04/24/2025	105087	HOME DEPOT CREDIT SERVIC		2291142	101-6040-454.3002		51.02
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	PAINT LINERS/BRUSHES,BUCKET,WII E BRUSH - G. GLORIA	2511996 R	101-6040-454.3002		156.39
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	CLAMP SETS (2) - FD - J. BELL	2520649	101-3020-422.3002		8.34
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	WATER HEATER,LIGHTS,MATERIAL- SHERIFF REPAIR - D. C	2524310	101-1910-419.2801		768.60
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	BOTTLE,CABLE TIE,SWIVEL BOLT,CLOTH,STRAP - A. REYE	2536495	101-6040-454.3002		157.48
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	GLOVES, RESPIRATOR - J. CARTIER	2540347	101-6040-454.3002		67.83
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	GRINDER WHEEL,GRINDER SHROUD,GLOVES - D. MARTINEZ	2803333	101-6040-454.3002		226.68
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	METAL DRILL BITS - D. COLAHAN	3013749	101-1910-419.3022		225.71
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	PAINT-DUNES PARK TRELLIS,ROLLERS SPOUTS - J. CART	3513439	101-6040-454.3002		318.22
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	DRILL BIT FOR STENCIL RACK - M. CORTEZ	3526028	101-5010-431.3002		31.22
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	PAINT BRUSHES, GLOVES, EYEWEAR - A. REYES	3543688	101-6040-454.3002		51.06
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	DOOR LOCK,CONDUIT,BUSHING,MIX ING CUPS - D. COLAHA	4013548	101-1910-419.3002		62.90
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	BRUSHES, HANDY PAIL AND LINERS - G. GLORIA	4021315	101-6040-454.3002		83.09
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	PAINT ROLLERS/TRAYS, ROLLER COVERS - G. GLORIA	4523941	101-6040-454.3002		177.65

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Payment Date	Payment Number	Vendor Name	Description (Item)	Payable Number	Account Number	Purchase Order Number	Amount
04/24/2025	105087	HOME DEPOT CREDIT SERVICE	CTOWEL, FEBREZE, JUNCTION BOX, CLEANER - A. RODRIGU	5021177	501-1921-419.3002		143.15
04/24/2025	105087	HOME DEPOT CREDIT SERVICE	CTILE,REPAIR MATERIALS- SHERIFFS LEAK - D. COLAHAN	511816	101-1910-419.2801		132.50
04/24/2025	105087	HOME DEPOT CREDIT SERVICE	CTAP (2) - FD - E. KAHLE	5137200	101-3020-422.3002		15.18
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	CLIGHT BULBS - FIRE STATION D. COLAHAN	- 514631	101-1910-419.3002		135.72
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	C SOCKET DRIVES FOR TAMPER PROOF SCREWS - J. CARTIE	5366349	101-6040-454.3002		25.77
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	CSIMPLE GREEN, SAND PAPER - M. DAUM	542818	601-5060-436.3002		77.49
04/24/2025	105087	HOME DEPOT CREDIT SERVICE	C CAN OPENER - PRCS - J. ROLFE	5464165	101-6030-453.3002		15.46
04/24/2025	105087	HOME DEPOT CREDIT SERVICE	C COUPLED - FD - E. KAHLE	5476989	101-3020-422.3002		118.54
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	C WD-40 PENETRANT OIL, 5 PC. SOCKET - D. MARTINEZ	551757	101-5010-431.3002		48.65
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	CANCHOR BOLTS, LOCTITE - VET PARK SIGN - M. CORTEZ	5521893	101-5010-431.3002		34.39
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	CCOVER PLATES, CAULKING - D. COLAHAN	5525563	101-1910-419.3002		13.58
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	C 16 ANALOG ATOMIC CLOCK - PRCS - J. ROLFE	5917161	101-6030-453.3002		48.48
04/24/2025	105087	HOME DEPOT CREDIT SERVICE	CGRINDER WHEEL, HAND TAMPER ASPHALT - D. MARTINEZ	6291680	101-5010-431.3002		149.75
04/24/2025	105087	HOME DEPOT CREDIT SERVICE	CRAKE - A. REYES	6292195	101-6040-454.3002		21.53
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	CUMBRELLAS FOR PLAZA - J. CARTIER	6362221	101-6040-454.3002		549.19
04/24/2025	105087	HOME DEPOT CREDIT SERVICE	CSAND PAPER - G. GLORIA	6531109	101-6040-454.3002		77.19
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	C DECK BRUSH AND HANDLE, GRILL BRUSH - G. GLORIA	6541034	101-6040-454.3002		47.27
04/24/2025	105087	HOME DEPOT CREDIT SERVICE	C SOCKET SET - A. REYES	6629354	101-6040-454.3002		21.07
04/24/2025	105087		C BRUSHES FOR PIER FISH SINKS - J. CARTIER		101-6040-454.3002		54.27
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	C WALL LIGHT - SENIOR CTR COURTYARD - D. COLAHAN	7211835	101-1910-419.3002		155.16
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	C MECHANICS TOOL SET - A. REYES	7260350	101-6040-454.3002		162.04
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	C PAINT ROLLERS, SILICONE SPRAY - G. GLORIA	7513163	101-6040-454.3002		37.07
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	C 30'X3/8 STEEL CABLE - PRCS - J. MAYORGA	8012067	101-6030-453.3002		30.15
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	C METAL SHEET - A. RODRIGUEZ	8510109	501-1921-419.2816		51.61
04/24/2025	105087	HOME DEPOT CREDIT SERVIC	C RATCHET SET, SECURITY BITS - A. REYES	8537089	101-6040-454.3002		89.34

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04/24/2025	105087	HOME DEPOT CREDIT SERVIC.	TOOLS,GLOVES,WIRE STRIPPER,BLADES,BAGS,CORD - H. M	9024385	601-5060-436.3002		847.10
04/24/2025	105087	HOME DEPOT CREDIT SERVIC.		9540647 -	101-6040-454.3002		82.70
04/24/2025	105089	JEFFREY BLATNIK	PARAMEDIC LICENSE RENEWAL EXPIRES 6/30/2027	04-16-2025	101-3020-422.2813		250.00
04/24/2025	105090	JEFFREY SCOTT ARVESON	MAR 2025 DEAD ANIMAL REMOVAL SRVCS	04012025	101-3050-425.2006		450.00
04/24/2025	105091	LIFE-ASSIST,INC.	CDI OXYGEN REGULATOR (3) - FD	- 1588116	101-3020-422.3002		218.42
04/24/2025	105092	LLOYD PEST CONTROL	04/05/25 - 425 IB BLVD #1650176	8811642	101-1910-419.2022	250014	65.00
04/24/2025	105092	LLOYD PEST CONTROL	04/08/25 950 OCEAN LN #1092502	8814769	101-1910-419.2022	250014	71.00
04/24/2025	105092	LLOYD PEST CONTROL	04/10/25 865 IB BLVD #1129288	8816123	101-1910-419.2022	250014	48.00
04/24/2025	105092	LLOYD PEST CONTROL	04/10/25 1075 8TH ST #1129312	8816138	101-1910-419.2022	250014	63.00
04/24/2025	105092	LLOYD PEST CONTROL	04/10/25 845 IB BLVD #1129247	8816143	101-1910-419.2022	250014	43.00
04/24/2025	105093	LOURDES N. SILVA	MAR 2025 - HR MANAGER CONSULTING SRVCS	03-31-2025	101-1130-412.2006		3,600.00
04/24/2025	105094	MAINTEX, INC.	TISSUE, CLEANER, LINER, SOAP, TOWELS, GLOVES	1127969-00	101-6020-452.3002		1,197.44
04/24/2025	105095	MARCO A. CORTEZ	REIMB CONCRETE PURCHASE FOR CYPRESS & CARNATION	252395	101-5010-431.3002		671.80
04/24/2025	105096	MARTHA MENDEZ	CATERING - D COLAHAN'S RETIREMENT	27	101-5020-432.2902		1,155.53
04/24/2025	105097	MCDOUGAL LOVE BOEHMER.	MAR 2025 - CODE ENFORCEMENT (LWC002-P)	112180	101-1220-413.2001		125.79
04/24/2025	105097	MCDOUGAL LOVE BOEHMER.	,	112181	101-1220-413.2001		652.65
04/24/2025	105097	MCDOUGAL LOVE BOEHMER.	MAR 2025 - MONTHLY RETAINER	112182	101-1220-413.2002		14,000.00
04/24/2025	105097	MCDOUGAL LOVE BOEHMER.	MAR 2025 - EDCO (LWC327- EXP)	112183	101-1220-413.2001		610.50
04/24/2025	105097	MCDOUGAL LOVE BOEHMER.	MAR 2025 - DEVELOPMENT PROJECTS (LWC361-P)	112185	101-1220-413.2001		92.50
04/24/2025	105097	MCDOUGAL LOVE BOEHMER.	MAR 2025 - LITIGATION (LWC363-P)	112187	502-1922-419.2001		965.27
04/24/2025	105097	MCDOUGAL LOVE BOEHMER.		122184	101-1220-413.2001		851.00
04/24/2025	105098	NEXUSPLAN, INC	MAR 2025 - BAYSHORE BIKEWAY RESILIENCY (GRT076)	GRT076-21	214-5050-435.2006	240051-R1	64,022.89

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04/24/2025	105098	NEXUSPLAN, INC	MAR 2025 - BAYSHORE BIKEWAY RESILIENCY (GRT080)	GRT080-10	214-1230-413.2006	240233-R1	78,808.00
04/24/2025	105098	NEXUSPLAN, INC	FEB 2025 - BAYSHORE BIKEWAY RESILIENCY (GRT080)	GRT080-9	214-1230-413.2006	240233-R1	48,696.00
04/24/2025	105099	O'REILLY AUTO PARTS #3980	STREET COMPACTOR TOOL, OIL FILLER	3980-210572	501-1921-419.2816		32.59
04/24/2025	105099	O'REILLY AUTO PARTS #3980	TINNER - TRUCK 617	3980-210799	501-1921-419.2816		36.96
04/24/2025	105100	PRODUCTION HEADQUARTE.	LIGHTING SERVICE - 2025 STATE OF THE CITY	22-1505	101-1010-411.2808		860.00
04/24/2025	105101	PSC	HAZWOPER 8 REFRESHER - J MAYORGA & C HOWARD	86734	101-6016-451.2804		350.00
04/24/2025	105102	PUBLIC RISK INNOVATION, S.	OVERPAY REIMBURSEMENT FOR CLAIM #2022700260	20227000260B	502-1922-419.2819		138.78
04/24/2025	105103	RAFIK MOMTAZ	REFUND - GREEN BLDG FEE	00022924	101-0000-221.0107		2.00
04/24/2025	105103	RAFIK MOMTAZ	REFUND - ELECTRICAL PERMIT FEE	Г 00022924	101-0000-322.7303		966.00
04/24/2025	105103	RAFIK MOMTAZ	REFUND - ARCHIVING FEE	00022924	101-0000-344.7503		8.00
04/24/2025	105104	REYNA AYALA	REIMB MEALS/TRANSPORTATION - APA CONFERENCE	04-14-2025	101-1230-413.2804		142.24
04/24/2025	105105	SAN DIEGO FRICTION PROD	BEACON(2),TUBE CLIPS(25) ,PIKER,LIGHTS(2),CLAMPS(4)	06P106984	501-1921-419.2816		360.00
04/24/2025	105106	SHI INTERNATIONAL CORP	02/27/25-02/26/26 ACROBAT PRO LICENSE RENEWAL (50)	B19438136	503-1923-419.2813		13,371.50
04/24/2025	105107	SIGNAL HILL AUTO ENTERPRI	CAN LINER (12CS), TOILET TISSUE (6CS)	088405	101-6040-454.3002		803.39
04/24/2025	105108	SITEONE LANDSCAPE SUPPLY	SHOVEL, LEAF RAKE, TRENCHING SHOVEL	151545010-001	101-6040-454.3002	250016	71.74
04/24/2025	105109	SOUTHWESTERN COLLEGE	MAR 2025 FINANCE INTERN - M RODRIGGUEZ - 78 HRS	20-MR	101-1210-413.2101		474.61
05/01/2025	105110	4 WALLS INTERNATIONAL	STEVE'S MEMORIAL ELEMENT -10TH & IRIS POCKET PARK	7 2025-07	420-6020-552.2006	250162	11,000.00
05/01/2025	105111	ACE UNIFORMS & ACCESSOR	NAMETAG - FF UNIFORM	SD0218156	101-3020-422.3002		24.77
05/01/2025	105111	ACE UNIFORMS & ACCESSOR	UNIFORM - 1 FF	SD0221783	101-3020-422.3002		295.19
05/01/2025	105112	AFECO, INC.	TURNOUTS CLEANING & REPAIR - FD	SC12355	101-3020-422.3002		2,397.00
05/01/2025	105113	ALEXANDRA UZARRAGA GO	. PHOTO SRVCS - DIA DE LOS NIÑOS EVENT	04-28-2025	101-6014-451.2808		300.00
05/01/2025	105114	AMAZON CAPITAL SERVICES,	PESTICIDE TAGS - PW	16QH-T9FH-NL61	101-6020-452.3002		19.62
05/01/2025	105114	·	SAE FLAT WASHER, SCREWS (2PK) - PIER PLAZA LOUVERS	1W9K-6LQY-FPHV	101-6040-454.3002		27.86
05/01/2025	105115	AT&T	03/15/25-04/14/25 CITY MANAGER 9391033954	23342090	503-1923-419.2704		52.76

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Payment Date	Payment Number	Vendor Name	Description (Item)	Payable Number	Account Number	Purchase Order Number	Amount
05/01/2025	105115	AT&T	03/15/25-04/14/25 PUMP STATION 9391033960	23342093	503-1923-419.2704		300.03
05/01/2025	105115	AT&T	03/15/25-04/14/25 CITY OF I.B. 9391033952	23342094	503-1923-419.2704		31.65
05/01/2025	105115	AT&T	03/15/25-04/14/25 SENIOR CTR 9391033958	23342098	503-1923-419.2704		32.63
05/01/2025	105115	AT&T	03/15/25-04/14/25 LIFEGUARD 9391053672	23342300	503-1923-419.2704		41.85
05/01/2025	105115	AT&T	03/20/25-04/19/25 COMM DEV (UNK)9391033944	23363914	503-1923-419.2704		37.00
05/01/2025	105116	BELINDA DOROTHY REED	APR 2025 - IB WALKING PROGRAM (GRT068-EXP)	4142025BR13	101-6030-453.2310		300.00
05/01/2025	105117	BIT PROS FIRE SERVICES	REPAIRS - E239	23071	101-3020-422.2801		15,903.77
05/01/2025	105118	BROADCAST MUSIC, INC	03/01/25-02/28/26 - MUSIC LICENSE FEE	58395961	101-6014-451.2814		446.00
05/01/2025	105119	CALIFORNIA ASSOCIATION OF	F 2023 CACEO CONF REGISTRATION - L SEIFERT	200025477	101-3070-427.2804		500.00
05/01/2025	105120	CHULA VISTA ALARM, INC	MAY 2025 - PW - 495 10TH ST #0314	Г 81787	101-1910-419.2023	250021	55.00
05/01/2025	105120	CHULA VISTA ALARM, INC	MAY 2025 - EOC - 825 IB BLVI #2089	D 81806	101-1910-419.2023	250021	49.95
05/01/2025	105120	CHULA VISTA ALARM, INC	MAY 2025 - PW REAR BLDGS 495 10TH #2466	- 81820	101-1910-419.2023	250021	55.00
05/01/2025	105120	CHULA VISTA ALARM, INC	MAY 2025 - CITY HALL - 825 II BLVD #2698	B 81837	101-1910-419.2023	250021	49.95
05/01/2025	105121	CHULA VISTA ELECTRIC CO	ELECTRIC CONDUIT/CONDUCTORS REPAIR - PS #1B	6672002	601-5060-436.2006		4,829.28
05/01/2025	105122	CINTAS CORPORATION	04/08/25 FACILITIES MATS	4226620846	101-1910-419.2006	250067	30.78
05/01/2025	105122	CINTAS CORPORATION	04/08/25 SEWER UNIFORMS	4226620917	101-5020-432.2503	250036	66.96
05/01/2025	105122	CINTAS CORPORATION	04/08/25 PW UNIFORMS	4226620957	101-5020-432.2503	250036	157.47
05/01/2025	105122	CINTAS CORPORATION	04/08/25 TIDELANDS UNIFORMS	4226620983	101-5020-432.2503	250036	49.37
05/01/2025	105122	CINTAS CORPORATION	04/15/25 FACILITIES MATS	4227400941	101-1910-419.2006	250067	30.78
05/01/2025	105122	CINTAS CORPORATION	04/15/25 TIDELANDS UNIFORMS	4227401030	101-5020-432.2503	250036	49.37
05/01/2025	105122	CINTAS CORPORATION	04/15/25 SEWER UNIFORMS	4227401123	101-5020-432.2503	250036	66.96
05/01/2025	105122	CINTAS CORPORATION	04/15/25 PW UNIFORMS	4227401576	101-5020-432.2503	250036	194.77
05/01/2025	105122	CINTAS CORPORATION	04/22/25 TIDELANDS UNIFORMS	4228097750	101-5020-432.2503	250036	49.37
05/01/2025	105122	CINTAS CORPORATION	04/22/25 FACILITIES MATS	4228097770	101-1910-419.2006	250067	30.78
05/01/2025	105122	CINTAS CORPORATION	04/22/25 SEWER UNIFORMS	4228097815	101-5020-432.2503	250036	66.96
05/01/2025	105122	CINTAS CORPORATION	04/22/25 PW UNIFORMS	4228097860	101-5020-432.2503	250036	194.77
05/01/2025	105123	COMPUTERSHARE TRUST C	2022 TARBS ADMIN CHARGE	2420958	303-1250-413.2904		2,500.00
05/01/2025	105123	COMPUTERSHARE TRUST C	03/04/25-03/03/26 2020 TARBS ADMIN CHARGE	2421254	303-1250-413.2904		2,500.00

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Payment Date	Payment Number	Vendor Name	Description (Item)	Payable Number	Account Number	Purchase Order Number	Amount	
05/01/2025	105124	COOPERATIVE PERSONNEL S.	BLDG OFFICIAL POSITION EXAM/TEST MATERIALS RENTED	TR-INV005898	101-1130-412.2006		726.45	
05/01/2025	105125	COUNTY OF SAN DIEGO	MAR 2025 - RECORDING # 8260262	202500279	101-0000-221.0102		20.00	
05/01/2025	105126	CSMFO	MANAGEMENT MEMBERSHIP - L PATROS	300017986	101-1210-413.2812		150.00	
05/01/2025	105127	FLYERS ENERGY LLC	04/24/25 - 1,000 GAS, 152 DSL	25-351372	501-1921-419.2815		4,685.77	
05/01/2025	105128	GRAINGER	AIR HOSES (3) FOR OIL TANK FLEET SHOP	9364465501	501-1921-419.2816		134.68	
05/01/2025	105128	GRAINGER	AIR HOSES (3) - FLEET SHOP	9366041722	501-1921-419.2816		133.17	
05/01/2025	105129	HDL COREN & CONE	APR-JUN 2025 CONTRACT SERVICES PROPERTY TAX	SIN049759	101-1210-413.2006		1,012.50	
05/01/2025	105129	HDL COREN & CONE	APR-JUN 2025 CONTRACT SERVICES PROPERTY TAX	SIN049759	303-1250-413.2006		1,012.50	
05/01/2025	105130	I.B. CLEARWATER	04/21/25 WATER DELIVERY - FD	04-21-2025	101-3020-422.3002		19.37	
05/01/2025	105131	JNM BACKFLOW	BACKFLOW CERT	1142	101-6040-454.2104		2,255.00	
05/01/2025	105132	NEXT DAY PRINTED TEES	CITY PROMOTIONAL MERCHANDISE	92625	101-1110-412.3007		2,008.31	
05/01/2025	105132	NEXT DAY PRINTED TEES	HAT & EMBROIDERY - PW	92636	101-5020-432.2503		29.74	
05/01/2025	105133	NV5 INC	AUG-SEP 2024 - USE-22-0097 209 PALM (22-0097-DEP)	411185	101-0000-221.0102		562.38	
05/01/2025	105133	NV5 INC	AUG-SEP 2024 - CG-23-0440 236 PALM (22-0077-DEP)	411188	101-0000-221.0102		525.30	
05/01/2025	105133	NV5 INC	AUG-SEP 2024 - USE-22-0119 SO BAY PALMS (22-0119)	411190	101-0000-221.0102		469.68	
05/01/2025	105133	NV5 INC	AUG-SEP 2024 - USE-24-0033 160 EVERGREEN	411469	101-1230-413.2102		939.36	
05/01/2025	105133	NV5 INC	AUG 2024 - USE-24-0020 819 GEORGIA	411470	101-1230-413.2102		469.68	
05/01/2025	105133	NV5 INC	SEP-OCT 2024 - USE-24-0001 701 PALM (24-0001-DEP)	418793	101-0000-221.0102		2,026.96	
05/01/2025	105133	NV5 INC	SEP-OCT 2024 - USE-23-0066 1368 HOLLY(23-0066-DEP)	418794	101-0000-221.0102		1,051.88	
05/01/2025	105133	NV5 INC	SEP-OCT 2024 - USE-24-0001 HOMES2SUITES (24-0001)	418796	101-0000-221.0102		1,173.17	
05/01/2025	105134	PARS	FEB 2025 - ARX/PARS FEES (CA)	57673	101-1130-412.2006	250032	461.30	
05/01/2025	105135	PSC	TRAFFFIC CONTROL & FLAGGER SAFETY TRAINING-CAMACHO	86370	101-5020-432.2804		195.00	
05/01/2025	105135	PSC	TRAFFFIC CONTROL & FLAGGER SAFETY TRAINING- HERRERA	86577	101-5020-432.2804		195.00	

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Payment Date	Payment Number	Vendor Name	Description (Item)	Payable Number	Account Number	Purchase Order Number	Amount
05/01/2025	105136	ROBERT HALF/ACCOUNTEM	. WE 03/14/25 - CC TEMP C DARTEZ - 9 HRS	64754530	101-1020-411.2101		461.70
05/01/2025	105136	ROBERT HALF/ACCOUNTEM		64831034	101-1020-411.2101		1,590.30
05/01/2025	105136	ROBERT HALF/ACCOUNTEM		64870421	101-1020-411.2101		1,590.30
05/01/2025	105136	ROBERT HALF/ACCOUNTEM	. WE 04/18/25 - CC TEMP C DARTEZ - 40 HRS	64882250	101-1020-411.2101		2,052.00
05/01/2025	105137	ROBERTO C. RUVALCABA	REIMB TRANSPORTATION, LUNCH -LASERFICHE CONFERENCE	04-23-2025	503-1923-419.2804		164.69
05/01/2025	105138	SAN DIEGO COUNTY SHERIFF	FEB 2025 SHERIFF SRVCS	02-01-2025	101-3010-421.2006		707,488.51
05/01/2025	105138	SAN DIEGO COUNTY SHERIFF	FEB 2025 SHERIFF SRVCS (RRP)	02-01-2025	101-3010-421.2006		1,389.80
05/01/2025	105138	SAN DIEGO COUNTY SHERIFF	FEB 2025 SHERIFF SRVCS (DETECTIVE VACANCY)	02-01-2025	101-3010-421.2006		-2,621.20
05/01/2025	105138	SAN DIEGO COUNTY SHERIFF	FEB 2025 SHERIFF SRVCS (2 VACANCIES)	02-01-2025	212-3036-421.2006		-15,355.66
05/01/2025	105138	SAN DIEGO COUNTY SHERIFF	FEB 2025 SHERIFF SRVCS (CSO)	02-01-2025	212-3036-421.2006		16,680.99
05/01/2025	105139	SDGE	04/02/25-04/21/25 - 425 IB BLVD 3 - MINOR FIELD	2100 0097 9290 6 04/25/25	101-6020-452.2701		631.07
05/01/2025	105139	SDGE	04/02/25-04/21/25 - 425 IB BLVD 1- FIELD A	2100 0097 9893 7 04/25/25	101-6020-452.2701		526.42
05/01/2025	105139	SDGE	04/02/25-04/21/25 - 425 IB BLVD 2 - FIELD B	2100 0097 9997 6 05/25/25	101-6020-452.2701		572.13
05/01/2025	105139	SDGE	04/02/25-04/21/25 - 425 IB BLVD 4 - MAJOR FIELD	2100 0098 0485 9 05/25/25	101-6020-452.2701		601.59
05/01/2025	105140	SDGE PROJECT MANAGEME	SPORTS PARK RESTROOM (P23101-C)	1000021411	420-6020-552.2006		6,577.00
05/01/2025	105141	SIGN IT	HUMAN TRAFFICKING & SUBSTANCE ABUSE STICKERS (24)	34265	101-6040-454.3002		153.87
05/01/2025	105142	SILVERADO AVIONICS, INC.	RADIO REPAIR - FD	2822	101-3020-422.3002		175.27
05/01/2025	105143	SOLANA CENTER FOR ENVIR	. MAR 2025 SB 1383 SUPPORT SRVCS	40-42-3.25	214-5040-434.2904	250126	3,466.26
05/01/2025	105144	SONSRAY MACHINERY, LLC.	PINS(6),HOSE HYDRAULIC(3) ,KIT SEALS(2) - TRUCK 699	PSO179755-1	501-1921-419.2816		1,935.14
05/01/2025	105145	SOUTHWEST BOULDER & ST	. SUPREME WALK ON BARK, SUPER SACK	702546	101-6020-452.2801		98.63
05/01/2025	105146	TERRA BELLA NURSERY, INC.	CALANDRINIA PLANTS (4), POTTING MIX - IB BLVD	569642	101-6040-454.3002		102.25
05/01/2025	105147	THE PRESTWICK GROUP	MESSAGE CENTER (2)	INV31746	214-5000-532.2006	250142	429.74
05/01/2025	105147	THE PRESTWICK GROUP	MESSAGE CENTER (2)	INV31746	214-5000-532.2006	250142	2,150.75
05/01/2025	105147	THE PRESTWICK GROUP	MESSAGE CENTER (2)	INV31746	214-6030-453.5003	250142	2,760.60

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Payment Date	Payment Number	Vendor Name	Description (Item)	Payable Number	Account Number	Purchase Order Number	Amount
05/01/2025	105148	TRI-GROUP CONSTRUCTION .	03/08/25-04/24/25 9TH ENHANCEMENT PROJECT (S22101)	08	202-5016-531.2006	250073	48,075.04
05/01/2025	105148	TRI-GROUP CONSTRUCTION .		08	214-5000-532.2006	250073	432,675.31
05/01/2025	105149	TRUE NORTH COMPLIANCE S.	FEB 2025 - BLDG OFFICIAL/SENIOR INSPECTOR SRVCS	25-02-01-028	101-3040-424.2016		8,640.00
05/01/2025	105149	TRUE NORTH COMPLIANCE S.	FEB 2025 - PLAN REVIEW SRVCS	25-02-028	101-3040-424.2016		27,880.93
05/01/2025	105150	U.S. BANK CORPORATE PAY	MAR-APR 2025 P-CARD CHARGES	04-22-2025	101-1210-413.2102		17,747.80
05/01/2025	105151	U.S. TELEPACIFIC CORP	04/23/25-05/22/25 NETWORK REFRESH	185228456-0	503-1923-419.2104		3,046.37
05/01/2025	105152	UNDERGROUND SERVICE AL	. MAR 2025 NEW TICKET CHARGES QTY 49, DATABASE MAINT	320250354	601-5060-436.2023	250034	100.65
05/01/2025	105153	VERDUGO TESTING INC, CO	ANNUAL VAPOR RECOVERY TEST	48356	501-1921-419.2813		800.00
05/01/2025	105154	VERIZON BUSINESS SERVICES	MAR 2025 SV932548 - SENIOR CTR	R 73298180	503-1923-419.2704		76.70
05/01/2025	105154	VERIZON BUSINESS SERVICES	MAR 2025 SV645916 - FD	73298238	503-1923-419.2704		133.97
05/01/2025	105154	VERIZON BUSINESS SERVICES	MAR 2025 SV645917 - LG	73298243	503-1923-419.2704		45.57
05/01/2025	105154	VERIZON BUSINESS SERVICES	MAR 2025 SV645915 - CITY HALL	73298422	503-1923-419.2704		925.38
05/01/2025	105154	VERIZON BUSINESS SERVICES	MAR 2025 SV645918 - PW	73298427	503-1923-419.2704		223.66
05/01/2025	105155	VERIZON WIRELESS	03/20/25-04/19/25 - SIM CARDS - FIRE ZOLL MONITOR	6111438126	101-3020-422.2705		111.14
05/01/2025	105156	WALKSANDIEGO	THROUGH 02/28/25 - 375 IB OTS FY25	375.01	214-1230-413.2006		1,500.00
05/01/2025	105157	WESTERN A/V	04/25/25-04/24/26- BROADCAST AV EQUIP SUPPORT/MAINT	22720	503-1923-419.2006		7,393.20
05/01/2025	105158	WHITE CAP CONSTRUCTION .	20" PLATE COMPACTOR W/WATER TANK	50026601439-B	101-5010-431.3002		2,508.88
05/01/2025	105158	WHITE CAP CONSTRUCTION	LOGO SAFETY VESTS FOR PW EMPLOYEES (80) - PW	50027661571-B	101-5020-432.2503		1,195.83
05/01/2025	105159	ZUMAR INDUSTRIES INC.	STREET SIGN - D COLAHAN'S RETIREMENT	10466	101-5020-432.2902		298.72
05/08/2025	105160	A TO Z ENTERPRISES, INC.	TOW SERVICE SEACOAST TO 10TH ST - TRUCK 630	A896240	501-1921-419.2904		124.96
05/08/2025	105160	A TO Z ENTERPRISES, INC.	TOW SERVICE 7TH ST TO 10TH ST - TRUCK 60	1 A902202	501-1921-419.2904		95.04
05/08/2025	105161	ACE UNIFORMS & ACCESSOR.		SD0215747	101-3030-423.2503		853.04
05/08/2025	105161	ACE UNIFORMS & ACCESSOR.	BIG HORN JACKETS (2) - MS	SD0222161	101-3030-423.2503		183.18

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05/08/2025	105162	ACME SAFETY AND SUPPLY	SIGNS FOR MVHS LOADING ZONE (6)	168609-00	101-5010-431.2123		323.90
05/08/2025	105163	ADVANCED IMAGING SOLUT	. 03/20/25-04/19/25 COPIER LEASE	39082581	101-1920-419.2017		2,913.02
05/08/2025	105163	ADVANCED IMAGING SOLUT	. 03/20/25-04/19/25 COPIER USAGE	39082581	101-1920-419.2017		90.60
05/08/2025	105164	AIR VACUUM CORPORATION	PURCHASE 4 AIRVAC911 FILTER PACKS AN	16293	101-3020-422.3002	250163	2,829.89
05/08/2025	105165	AMAZON CAPITAL SERVICES,	CAGE NUTS (2), PKT SCREWS (1) - LIGHT FIXTURES	1J6R-HDP1-F3M6	101-6040-454.3002		38.93
05/08/2025	105165	AMAZON CAPITAL SERVICES,	VOLLEYBALL NETS (2) BALLS (4) SOCCER BALLS(8) -PR	1K4Q-4MKL-GH9Q	214-6010-451.2808		859.91
05/08/2025	105165	AMAZON CAPITAL SERVICES,	TIE GUN (1) -PW	1P11-YWFV-4W3W	101-6020-452.3002		48.93
05/08/2025	105165	AMAZON CAPITAL SERVICES,	ZIP TIES (1) PACK, CARBURETOR KIT (2) - FD	1QFM-6G4C-6NGG	101-3020-422.3002		36.50
05/08/2025	105165	AMAZON CAPITAL SERVICES,	HOCKEY SET, BALL CART, VOLLEYBALL -BASKETBAL	1TTY-MK6L-VDVH	214-6010-451.2808		2,512.69
05/08/2025	105166	ANTHEM SPORTS, LLC	MULTI-SPORTS TABLE,VOLLEYBALL NETS, PICKLEBALL SET	426154	214-6010-451.2808		1,674.65
05/08/2025	105167	APRIL GAIL CORTEZ VILLAMIL	03/01/25-4/19/25 - CAPOEIRA	A 22425AV4	101-6010-451.2107		85.80
05/08/2025	105168	ASBURY ENVIRONMENTAL S	. ANTIFREEZE DISPOSAL EPA FEE	1500-01186543	501-1921-419.2104		7.00
05/08/2025	105168	ASBURY ENVIRONMENTAL S	. FLOURESCENT LIGHTS/FIBER DRUM DISPOSAL	1500-01195484	501-1921-419.2104		209.02
05/08/2025	105169	AZTEC LANDSCAPING INC	APR 2025 SR75 MEDIAN/PALM AVE/IB ENHANCEMENT	L5882	101-5010-431.2801	250155	8,119.24
05/08/2025	105169	AZTEC LANDSCAPING INC	APR 2025 LANDSCAPE/STORM DRAINS MAINT	1 L5883	101-5050-435.2801	250158	2,860.80
05/08/2025	105170	BRIOTIX HEALTH, LP	ERGONOMIC EVALUATION - EMPLOYEE	SI-46790	502-1922-419.2904		913.49
05/08/2025	105170	BRIOTIX HEALTH, LP	ERGONOMIC EVALUATION - EMPLOYEE	SI-46791	502-1922-419.2904		1,183.90
05/08/2025	105170	BRIOTIX HEALTH, LP	ERGONOMIC EVALUATION - T SANTOS	SI-46792	502-1922-419.2904		565.20
05/08/2025	105171	CALMAT CO	SAND DELIVERY - FD	2755345	101-3020-422.2904		389.00
05/08/2025	105172	CINTAS CORPORATION	04/02/25 FACILITIES MATS	4226073501	101-1910-419.2006	250067	30.78
05/08/2025	105172	CINTAS CORPORATION	04/02/25 TIDELANDS UNIFORMS	4226073560	101-5020-432.2503	250036	49.37
05/08/2025	105172	CINTAS CORPORATION	04/02/25 SEWER UNIFORMS	4226073652	101-5020-432.2503	250036	66.96
05/08/2025	105172	CINTAS CORPORATION	04/02/25 PW UNIFORMS	4226073686	101-5020-432.2503	250036	157.47
05/08/2025	105172	CINTAS CORPORATION	04/29/25 FACILITIES MATS	4228856819	101-1910-419.2006	250067	30.78
05/08/2025	105172	CINTAS CORPORATION	04/29/25 TIDELANDS UNIFORMS	4228856831	101-5020-432.2503	250036	49.37

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05/08/2025	105172	CINTAS CORPORATION	04/29/25 SEWER UNIFORMS	4228856883	101-5020-432.2503	250036	66.96
05/08/2025	105172	CINTAS CORPORATION	04/29/25 PW UNIFORMS	4228857062	101-5020-432.2503	250036	189.78
05/08/2025	105173	CITYTHINKERS, INC	01/01/25-03/31/25 - 13TH ST CORRIDOR IMPROV PLAN	2502-01	214-1230-413.2006		51,146.00
05/08/2025	105174	COAR DESIGN GROUP	CONSTRUCTION ADMINISTRATION - SPORTS PARK BLDG	22798	420-5000-532.2006	230243-R2	800.00
05/08/2025	105175	COUNTY OF SAN DIEGO	EXEMPT FEE USE-24-0062 - 908 DELAWARE	USE-24-0062	101-1230-413.2102		50.00
05/08/2025	105176	COUNTY OF SAN DIEGO RCS	APR 2025 - SHERIFF RADIOS	25CTOFIBN10	101-3010-421.2125	250051	1,386.50
05/08/2025	105176	COUNTY OF SAN DIEGO RCS	APR 2025 - FIRE RADIOS	25CTOFIBN10	101-3020-422.2125	250051	531.00
05/08/2025	105176	COUNTY OF SAN DIEGO RCS	APR 2025 - MS RADIOS	25CTOFIBN10	101-3030-423.2125	250051	826.00
05/08/2025	105177	COX COMMUNICATIONS	04/25/25-05/24/25 - 825 IB BLVD 001 3110 039780701	04-25-2025 0701	503-1923-419.2104		900.00
05/08/2025	105178	CRH CALIFORNIA WATER, INC	MAR 2025 WATER DELIVERY - PW	1456964	101-5020-432.3002	250096	36.00
05/08/2025	105178	CRH CALIFORNIA WATER, INC	MAR 2025 WATER DELIVERY - PW	1456964	101-5020-432.3002		130.50
05/08/2025	105178	CRH CALIFORNIA WATER, INC	MAR 2025 WATER DELIVERY - SEWER DIV	1456964	601-5060-436.3002	250154	166.50
05/08/2025	105178	CRH CALIFORNIA WATER, INC	APR 2025 WATER DELIVERY - PW	1460780	101-5020-432.3002		166.50
05/08/2025	105178	CRH CALIFORNIA WATER, INC	APR 2025 WATER DELIVERY - SEWER DIV	1460780	601-5060-436.3002	250154	166.50
05/08/2025	105179	CRISTIAN FIGUEROA	SFT COMMON PASSENGER VEHICLE RESCUE TECH COURSE	04-30-2025	101-1130-412.2901		475.00
05/08/2025	105180	DCS TESTING AND EQUIPME	. HOSE & LADDER TESTING - FD	20794	101-3020-422.2104		3,000.00
05/08/2025	105180	DCS TESTING AND EQUIPME	. PUMP TESTING - FD	20801	101-3020-422.2104		750.00
05/08/2025	105181	FLYERS ENERGY LLC	04/30/25 - 40 DEF002-13, 1 MOBIL SUPER SYN 5W30	25-355387	501-1921-419.2815		1,632.81
05/08/2025	105181	FLYERS ENERGY LLC	05/01/25 - 1,100 GAS, 101 DSL	25-357459	501-1921-419.2815		4,805.82
05/08/2025	105182	GO-STAFF, INC.	WE 04/13/25 PARKS TEMP STAFF - J TORRES 40 HRS	329930	101-6020-452.2101		1,293.36
05/08/2025	105182	GO-STAFF, INC.	WE 04/27/25 PARKS TEMP STAFF - J TORRES 40 HRS	330402	101-6020-452.2101		1,293.36
05/08/2025	105183	GRAINGER	SCREWS - OUTDOOR GYM SIT UP BOX	9475766763	101-6040-454.3002	250017	17.33
05/08/2025	105184	IN MOTION TRUCKING LLC	CDL CLASS A TRAINING (2) - PW	CIB04172025001	101-5010-431.2813		5,400.00
05/08/2025	105185	JEFFREY SCOTT ARVESON	APR 2025 DEAD ANIMAL REMOVAL SRVCS	05012025	101-3050-425.2006		450.00
05/08/2025	105186	LIEBERT, CASSIDY, WHITMO.		279736	101-1130-412.2001		315.00

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05/08/2025	105187	LLOYD PEST CONTROL	SCREWS - OUTDOOR GYM SIT UP BOX	8823595	101-1910-419.2022	250014	63.00
05/08/2025	105188	LOUNSBERY, FERGUSON ALT.	THROUGH 02/28/25 - 2025 ELECTION #724-06116-00002	03-12-2025	101-1020-411.2106		5,434.00
05/08/2025	105188	LOUNSBERY, FERGUSON ALT.	THROUGH 03/31/25 - 2025 ELECTION #724-06116-00002	04/07/25	101-1020-411.2106		16,910.00
05/08/2025	105188	LOUNSBERY, FERGUSON ALT.	THROUGH 04/30/25 - 2025 ELECTION #724-06116-00002	05-05-2025	101-1020-411.2106		19,836.00
05/08/2025	105189	MARCO A. CORTEZ	CDL CLASS A (2) - C FRANCO & R MILLER	05-07-2025	101-5010-431.2813		200.12
05/08/2025	105190	MES I ACQUISITION INC.	SCBA FIREFIGHTERS FIT TEST - FD	IN2245991	101-3020-422.2104		120.00
05/08/2025	105191	MICHAEL BAKER INTERNATI	THROUGH 02/23/25 - CITY ENGINEERING SRVCS	1243958	101-1910-419.2104		220.00
05/08/2025	105191	MICHAEL BAKER INTERNATI	THROUGH 02/23/25 - CITY ENGINEERING SRVCS	1243958	101-5010-431.2006		795.00
05/08/2025	105191	MICHAEL BAKER INTERNATI	THROUGH 03/30/25 - PS #8 PHASE 2	1245232	601-5060-536.2006	240100-R1	4,925.20
05/08/2025	105191	MICHAEL BAKER INTERNATI	THROUGH 03/30/25 - CLERK STOREROOM ASSESSMENT	1245410	101-1910-419.2104		3,026.00
05/08/2025	105191	MICHAEL BAKER INTERNATI	THROUGH 03/30/25 - DEVELOPEMENT SRVCS	1246685	101-1230-413.2102		9,459.90
05/08/2025	105192	MUSCO LIGHTING	MAY25-MAY26 - CONTROL LINK SRVC FEES - SPORTS PARK	438074	101-6020-452.2104		475.00
05/08/2025	105193	NADIA SMITH	BEVERAGES - SENIOR ADMIN ASSISTANT INTERVIEW PANEL		101-1020-411.2804		43.45
05/08/2025	105194	NEYENESCH PRINTERS, INC.	SEWER LETTER MAILING POSTAGE (5,766)	05MAY2025-PSTG	601-5060-436.2809		3,586.45
05/08/2025	105195	ODP BUSINESS SOLUTIONS, L	BUSINESS CARDS - C CAMACHO	412289459001	101-5020-432.2811		55.79
05/08/2025	105195	ODP BUSINESS SOLUTIONS, L	INK - FLEET	412871949001	501-1921-419.3002		236.90
05/08/2025	105196	PACIFIC PIPELINE SUPPLY	RESTRAIN KIT (2), BOLT NUT (2), GASKETS (2)	\$100472553.001	601-5060-436.2801	250106	269.28
05/08/2025	105196	PACIFIC PIPELINE SUPPLY	EMER BY-PASS COMPONENTS - PS #9	S \$100475580.001	601-5060-436.2801	250106	460.85
05/08/2025	105197	PADRES LP	EMPLOYEE APPRECIATION EVENT (29 TICKETS)	82687731	101-1110-412.2903		986.00
05/08/2025	105198	PARKHOUSE TIRE INC	TIRES - TRUCK 102, 625, 101	3010438786	501-1921-419.2816		3,025.34
05/08/2025	105199	SAN DIEGO COUNTY SHERIFF	01/01/25-06/30/25 CAL-ID PROGRAM COSTS	CALIDIMP02	101-3010-421.2006		2,434.00
05/08/2025	105200	SAN DIEGO ELEVATOR AND L	APR 2025 ELEVATOR SRVC - SAFETY CTR	9789	101-1910-419.2006		150.00
05/08/2025	105201	SD LUXURY LIMOS	05/10/25 - 30 PAX SHUTTLE - SENIOR GETAWAY	32936	101-6030-453.2310		910.00
05/08/2025	105202	SOUTHWEST SIGNAL	APR 2025 - SIGNAL MAINT	84245	101-5010-431.2104		720.00

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05/08/2025	105202	SOUTHWEST SIGNAL	APR 2025 - SERVICE CALLS	84246	101-5010-431.2123		1,260.00
05/08/2025	105203	STC TRAFFIC, INC.	MAR 2025 - TRAFFIC ENGINEERING SRVCS	7962	101-5010-431.2104		2,260.00
05/08/2025	105204	THE SHERWIN-WILLIAMS CO	PAINT (2 GL)	1802-8	101-6020-452.3002		73.08
05/08/2025	105204	THE SHERWIN-WILLIAMS CO	PAINT (2 GL) - PIER PLAZA TRELLIS	7971-7	101-6040-454.3002		150.85
05/08/2025	105205	TRANE U.S. INC.	MAR 2025 - APP 02 HVAC REPLACEMENT-FD - RETENTION	315351454	401-0000-202.0000		-858.21
05/08/2025	105205	TRANE U.S. INC.	MAR 2025 - APP 02 HVAC REPLACEMENT - FD	315351454	401-1920-419.5003	250157	17,164.10
05/08/2025	105206	TRENTMAN CORPORATION	STOP SIGNS, SIGN POSTS - 10TH ST & DONAX AVE	16828	101-5010-431.2123		799.97
05/08/2025	105207	VALLEY INDUSTRIAL SPECIALT	MAR 2025 - APP 02 HVAC REPLACEMENT - FD	A337293	101-6040-454.3002	250018	850.49
05/08/2025	105208	WAXIE SANITARY SUPPLY	LEMON DISINFECTANT (8CS)	83070844	101-6040-454.3002		752.13
05/08/2025	105208	WAXIE SANITARY SUPPLY	LEMON DISINFECTANT (4 CS)	83199112	101-6040-454.3002		370.45
05/08/2025	105208	WAXIE SANITARY SUPPLY	LEMON DISINFECTANT (4 CS)	83206581	101-6040-454.3002		359.79
05/08/2025	105209	WSP USA ENVIRONMENT & I.	JAN 2025 - SD BAY WQIP (SP2500)	40181158	101-0000-221.0110	250075	91,955.21
05/08/2025	105209	WSP USA ENVIRONMENT & I.	JAN 2025 - SD BAY WQIP (SP2500)	40181158	101-5050-540.2006	250075	1,685.68
05/08/2025	105209	WSP USA ENVIRONMENT & I.	FEB 2025 - SD BAY WQIP (SP2500)	40181159	101-0000-221.0110	250075	30,414.76
05/08/2025	105209	WSP USA ENVIRONMENT & I.	FEB 2025 - SD BAY WQIP (SP2500)	40181159	101-5050-540.2006	250075	557.55
05/08/2025	105209	WSP USA ENVIRONMENT & I.	FEB 2025 - TJ RIVER WQIP (SP2501)	40181161	101-0000-221.0110	250076	8,502.70
05/08/2025	105209	WSP USA ENVIRONMENT & I.	FEB 2025 - TJ RIVER WQIP (SP2501)	40181161	101-5050-540.2006	250076	1,285.17
05/08/2025	105209	WSP USA ENVIRONMENT & I.	MAR 2025 - TJ RIVER WQIP (SP2501)	40181162	101-0000-221.0110	250076	2,370.62
05/08/2025	105209	WSP USA ENVIRONMENT & I.	MAR 2025 - TJ RIVER WQIP (SP2501)	40181162	101-5050-540.2006	250076	358.32
05/08/2025	105209	WSP USA ENVIRONMENT & I.	JAN 2025 - TJ RIVER WQIP (SP2501)	40181164	101-0000-221.0110	250076	47,493.44
05/08/2025	105209	WSP USA ENVIRONMENT & I.	JAN 2025 - TJ RIVER WQIP (SP2501)	40181164	101-5050-540.2006	250076	7,178.59
05/08/2025	105209	WSP USA ENVIRONMENT & I.	MAR 2025 - SD BAY WQIP (SP2500)	40186025	101-0000-221.0110	250075	3,578.07
05/08/2025	105209	WSP USA ENVIRONMENT & I.	MAR 2025 - SD BAY WQIP (SP2500)	40186025	101-5050-540.2006	250075	65.59
04/11/2025	DFT0009387	CALIFORNIA STATE DISBURS	, ,	52003793	101-0000-209.0107		693.96
04/11/2025	DFT0009395	CALPERS	LG L2 23011 EE PPE 04/03/25	100000017851610 EE	101-0000-209.0106		535.55
04/11/2025	DFT0009396	CALPERS	LG L2 23011 ER PPE 04/03/25	100000017851610 ER	101-0000-209.0106		672.13

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04/11/2025	DFT0009397	CALPERS	MISC L2 23012 EE PPE 04/03/25	100000017851649 EE	101-0000-209.0106		938.86
04/11/2025	DFT0009398	CALPERS	MISC L2 23012 ER PPE 04/03/25	100000017851649 ER	101-0000-209.0106	1	,179.75
04/11/2025	DFT0009399	CALPERS	FIRE PEPRA 25375 EE PPE 04/03/25	100000017851688 EE	101-0000-209.0106	4	,897.24
04/11/2025	DFT0009400	CALPERS	FIRE PEPRA 25375 ER PPE 04/03/25	100000017851688 ER	101-0000-209.0106	4	,900.79
04/11/2025	DFT0009401	CALPERS	LG PEPRA 25376 EE PPE 04/03/25	100000017851729 EE	101-0000-209.0106	2	,323.88
04/11/2025	DFT0009401	CALPERS	LG PEPRA 25376 EE PPE 04/03/25 MORENO MAR CORRECT	100000017851729 EE	101-0000-209.0106		5.52
04/11/2025	DFT0009402	CALPERS	LG PEPRA 25376 ER PPE 04/03/25	100000017851729 ER	101-0000-209.0106	2	,325.56
04/11/2025	DFT0009402	CALPERS	LG PEPRA 25376 ER PPE 04/03/25 MORENO MAR CORRECT	100000017851729 ER	101-0000-209.0106		5.51
04/11/2025	DFT0009403	CALPERS	MISC PEPRA 26352 EE PPE 04/03/25	100000017851766 EE	101-0000-209.0106	12	,049.77
04/11/2025	DFT0009404	CALPERS	MISC PEPRA 26352 ER PPE 04/03/25	100000017851766 ER	101-0000-209.0106	12	,236.34
04/11/2025	DFT0009404	CALPERS	MISC PEPRA 26352 ER PPE 04/03/25 PEREZ-TORRES O/S	100000017851766 ER	101-0000-209.0106		-0.01
04/11/2025	DFT0009405	CALPERS	FIRE L1 4625 EE PPE 04/03/25	100000017851530 EE	101-0000-209.0106	3	,942.09
04/11/2025	DFT0009406	CALPERS	FIRE L1 4625 ER PPE 04/03/25	100000017851530 CITY	101-0000-209.0106	5	,131.20
04/11/2025	DFT0009407	CALPERS	LG L1 4626 EE PPE 04/03/25	100000017851569 EE	101-0000-209.0106	1	,211.49
04/11/2025	DFT0009408	CALPERS	LG L1 4626 ER PPE 04/03/25	100000017851569 ER	101-0000-209.0106	1	,527.93
04/11/2025	DFT0009409	CALPERS	MISC L1 470 EE PPE 04/03/25	100000017851493 EE	101-0000-209.0106	7	,712.33
04/11/2025	DFT0009410	CALPERS	MISC L1 470 ER PPE 04/03/25	100000017851493 ER	101-0000-209.0106	9	,440.48
04/11/2025	DFT0009411	CALPERS	SCP MEMBER PAID ARREARS TAXED PPE 04/03/25	PPE 04-03-2025 MAT	101-0000-209.0106		7.02
04/11/2025	DFT0009412	CALPERS	SCP ARSC POST-TAX PPE 04/03/25	PPE 04-03-2025 ARSCT	101-0000-209.0106		180.63
04/11/2025	DFT0009413	CALPERS	SCP SPM PRE-TAX PPE 04/03/25	PPE 04-03-2025 SPMTD	101-0000-209.0106		87.85
04/11/2025	DFT0009414	CALPERS	PERS SCP SPM TAXED PPE 04/03/25	PPE 04-03-2025 SPMT	101-0000-209.0106		395.55
04/10/2025	DFT0009419	STATE OF CALIFORNIA	STATE TAX W/H PPE 04/03/25 MORENO MAR PR CORRECT	8366683 / 8363429	101-0000-209.0105		8.66
04/10/2025	DFT0009419	STATE OF CALIFORNIA	STATE TAX W/H PPE 04/03/25	8366683 / 8363429	101-0000-209.0105	13	,718.38
04/10/2025	DFT0009420	STATE OF CALIFORNIA	SDI W/H PPE 04/03/25	8366686 / 8363430	101-0000-209.0115		420.76
04/10/2025	DFT0009420	STATE OF CALIFORNIA	SDI W/H PPE 04/03/25 MORENO MARCH PR CORRECTIONS	8366686 / 8363430	101-0000-209.0115		54.95
04/11/2025	DFT0009421	INTERNAL REVENUE SERVICE	FED TAX W/H PPE 04/03/25	72659070 FED	101-0000-209.0102	35	,363.77

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04/11/2025	DFT0009421	INTERNAL REVENUE SERVICE	FED TAX W/H PPE 04/03/25 MORENO MAR PR CORRECTIONS	72659070 FED	101-0000-209.0102		15.75
04/11/2025	DFT0009422	INTERNAL REVENUE SERVICE	MEDICARE W/H PPE 04/03/25 MORENO MAR PR CORRECTION	5 72659070 MED	101-0000-209.0104		3.96
04/11/2025	DFT0009422	INTERNAL REVENUE SERVICE	MEDICARE W/H PPE 04/03/25	72659070 MED	101-0000-209.0104		10,854.64
04/11/2025	DFT0009424	INTERNAL REVENUE SERVICE	SOCIAL SECURITY PPE 04/03/25 MORENO MAR PR CORRECT	72659070 SS	101-0000-209.0104		16.98
04/11/2025	DFT0009424	INTERNAL REVENUE SERVICE	SOCIAL SECURITY PPE 04/03/25	72659070 SS	101-0000-209.0104		43,830.26
04/11/2025	DFT0009426	LIBERTY DENTAL PLAN OF CA.	COVERAGE MONTH: MAY 2025	04/11/25	101-0000-209.0112		212.30
04/11/2025	DFT0009427	MIDAMERICA ADMINISTRATI.	APR HC 04/01/25-04/07/25	04-11-2025	101-0000-209.0125		30.00
04/18/2025	DFT0009466	MIDAMERICA ADMINISTRATI.	APR DC 04/08/25-04/14/25	04-18-2025	101-0000-209.0125		50.00
04/18/2025	DFT0009466	MIDAMERICA ADMINISTRATI.	APR HC 04/08/25-04/14/25	04-18-2025	101-0000-209.0125		150.00
04/25/2025	DFT0009467	AFLAC	AFLAC POST-TAX APR 2025	784938	101-0000-209.0113		132.21
04/25/2025	DFT0009468	AFLAC	AFLAC PRE-TAX APRIL 2025	784938 (2)	101-0000-209.0113		622.62
04/25/2025	DFT0009469	CALIFORNIA STATE DISBURS	. SDU CHILD SUPPORT PPE 04/17/25	52156660	101-0000-209.0107		596.94
04/25/2025	DFT0009470	COLONIAL LIFE & ACCIDENT	COLONIAL PRE-TAX APRIL 2025	1113536381776	101-0000-209.0113		25.00
04/25/2025	DFT0009477	CALPERS	LG L2 23011 EE PPE 04/17/25	1002893773-EE	101-0000-209.0106		454.05
04/25/2025	DFT0009478	CALPERS	LG L2 23011 ER PPE 04/17/25	1002893773-ER	101-0000-209.0106		569.85
04/25/2025	DFT0009479	CALPERS	MISC L2 23012 EE PPE 04/17/25	1002893772-EE	101-0000-209.0106		872.63
04/25/2025	DFT0009480	CALPERS	MISC L2 23012 ER PPE 04/17/25	1002893772-ER	101-0000-209.0106		1,096.52
04/25/2025	DFT0009481	CALPERS	FIRE PEPRA 25375 EE PPE 04/17/25	1002893768-EE	101-0000-209.0106		4,897.24
04/25/2025	DFT0009482	CALPERS	FIRE PEPRA 25375 ER PPE 04/17/25	1002893768-ER	101-0000-209.0106		4,900.79
04/25/2025	DFT0009483	CALPERS	LG PEPRA 25376 EE PPE 04/17/25	1002893770-EE	101-0000-209.0106		1,919.95
04/25/2025	DFT0009484	CALPERS	LG PEPRA 25376 ER PPE 04/17/25	1002893770-ER	101-0000-209.0106		1,921.35
04/25/2025	DFT0009485	CALPERS	MISC PEPRA 26352 EE PPE 04/17/25	1002893766-EE	101-0000-209.0106		12,190.28
04/25/2025	DFT0009486	CALPERS	MISC PEPRA 26352 ER PPE 04/17/25	1002893766-ER	101-0000-209.0106		12,378.98
04/25/2025	DFT0009486	CALPERS	MISC 26352 ER PPE 04/17/25 PEREZ TORRES PP O/S	1002893766-ER	101-0000-209.0106		0.01
04/25/2025	DFT0009486	CALPERS	MISC 26352 ER PPE 04/17/25 RODRIGUEZ-ROJAS O/S	1002893766-ER	101-0000-209.0106		0.01

Expense Approval Report						Payment Dates: 4/5/2025	- 5/9/2025
Payment Date	Payment Number	Vendor Name	Description (Item)	Payable Number	Account Number	Purchase Order Number	Amount
04/25/2025	DFT0009487	CALPERS	FIRE L1 4625 EE PPE 04/17/25	1002893769-EE	101-0000-209.0106		3,942.09
04/25/2025	DFT0009488	CALPERS	FIRE L1 4625 ER PPE 04/17/25	1002893769-ER	101-0000-209.0106		5,131.20
04/25/2025	DFT0009489	CALPERS	LG L1 4626 EE PPE 04/17/25	1002893771-EE	101-0000-209.0106		1,119.97
04/25/2025	DFT0009490	CALPERS	LG L1 4626 ER PPE 04/17/25	1002893771-ER	101-0000-209.0106		1,412.51
04/25/2025	DFT0009491	CALPERS	MISC L1 470 EE PPE 04/17/25	5 1002893767-EE	101-0000-209.0106		7,712.33
04/25/2025	DFT0009492	CALPERS	MISC L1 470 ER PPE 04/17/25	5 1002893767-ER	101-0000-209.0106		9,440.46
04/25/2025	DFT0009493	CALPERS	SCP MEMBER PAID ARREARS TAXED PPE 04/17/25	PPE 04/17/25	101-0000-209.0106		7.02
04/25/2025	DFT0009494	CALPERS	SCP ARSC POST-TAX PPE 04/17/25	PPE 04/17/25 (1)	101-0000-209.0106		180.63
04/25/2025	DFT0009495	CALPERS	SCP SPM PRE-TAX PPE 04/17/25	PPE 04/17/25 (2)	101-0000-209.0106		87.85
04/25/2025	DFT0009496	CALPERS	PERS SCP SPM TAXED PPE 04/17/25	PPE 04/17/25 (3)	101-0000-209.0106		395.55
04/25/2025	DFT0009501	STATE OF CALIFORNIA	STATE TAX W/H PPE 04/17/25	8384848	101-0000-209.0105		16,800.63
04/25/2025	DFT0009502	STATE OF CALIFORNIA	SDI W/H PPE 04/17/25	8384862	101-0000-209.0115		396.37
04/25/2025	DFT0009503	INTERNAL REVENUE SERVICE	FED TAX W/H PPE 04/17/25	22538154 FED	101-0000-209.0102		42,649.48
04/25/2025	DFT0009504	INTERNAL REVENUE SERVICE	MEDICARE W/H PPE 04/17/25	5 22538154 MED	101-0000-209.0104		11,798.32
04/25/2025	DFT0009506	INTERNAL REVENUE SERVICE	SOCIAL SECURITY PPE 04/17/25	22538154 SS	101-0000-209.0104		47,985.40
04/25/2025	DFT0009507	MIDAMERICA ADMINISTRATI.	APR HC 04/15/25-04/21/25	04-25-2025	101-0000-209.0125		689.93
05/02/2025	DFT0009509	MIDAMERICA ADMINISTRATI.	APR HC 04/22/25-04/28/25	05-02-2025	101-0000-209.0125		86.55
05/02/2025	DFT0009509	MIDAMERICA ADMINISTRATI.	APR DC 04/22/25-04/28/25	05-02-2025	101-0000-209.0125		150.00
04/30/2025	DFT0009510	STATE OF CALIFORNIA	CY25 Q1 EMPLOYMENT TRAINING TAX	CY25 Q1	101-0000-209.0119		815.30
04/30/2025	DFT0009510	STATE OF CALIFORNIA	CY25 Q1 UNEMPLOYMENT INS	CY25 Q1	101-0000-209.0119		35,058.08
05/09/2025	DFT0009513	CALIFORNIA STATE DISBURS	SDU CHILD SUPPORT PPE 05/01/25	51352557	101-0000-209.0107		510.22
05/02/2025	DFT0009515	PRINCIPAL FINANCIAL GROUP	PRINCIPAL DENTAL PPO MAY 2025 ACTIVE	05/01/2025-05/31/2025	101-0000-209.0112		5,500.40
05/02/2025	DFT0009515	PRINCIPAL FINANCIAL GROUP	PRINCIPAL DENTAL PPO MAY 2025 COLAHAN EOE APRIL	05/01/2025-05/31/2025	101-1910-419.1103		50.23
05/02/2025	DFT0009515	PRINCIPAL FINANCIAL GROUP	PRINCIPAL DENTAL PPO MAY 2025 MORENO MAR REFUND	05/01/2025-05/31/2025	101-3030-423.1103		-92.30
05/02/2025	DFT0009515	PRINCIPAL FINANCIAL GROUP	PRINCIPAL DENTAL PPO MAY 2025 MORENO APR REFUND	05/01/2025-05/31/2025	101-3030-423.1103		-92.30
05/02/2025	DFT0009518	LINCOLN FINANCIAL GROUP	LINCOLN LIFE & AD&D MAY 2025 ACTIVE	4831007062 LADD	101-0000-209.0116		2,186.29
05/02/2025	DFT0009518	LINCOLN FINANCIAL GROUP	LINCOLN LIFE & AD&D MAY 2025 COLAHAN EOE APRIL	4831007062 LADD	101-1910-419.1104		10.55
05/02/2025	DFT0009518	LINCOLN FINANCIAL GROUP	LINCOLN LIFE & AD&D MAY 2025 MORENO MAR-APR REFUND	4831007062 LADD	101-3030-423.1104		-105.50

						rayment bates. 4/3/2	023 - 3/3/2023
Payment Date	Payment Number	Vendor Name	Description (Item)	Payable Number	Account Number	Purchase Order Number	Amount
05/02/2025	DFT0009519	LINCOLN FINANCIAL GROUP	LINCOLN LTD MAY 2025 ACTIVE	4831007062 LTD	101-0000-209.0114		2,184.99
05/02/2025	DFT0009519	LINCOLN FINANCIAL GROUP	LINCOLN LTD MAY 2025 SMITH RETRO ADJ IN DISPUTE	4831007062 LTD	101-0000-209.0114		383.94
05/02/2025	DFT0009519	LINCOLN FINANCIAL GROUP	LINCOLN LTD MAY 2025 SPEARS LINCOLN TO BILL	4831007062 LTD	101-0000-209.0114		-28.58
05/02/2025	DFT0009519	LINCOLN FINANCIAL GROUP	LINCOLN LTD MAY 2025 COLAHAN EOE APRIL	4831007062 LTD	101-1910-419.1104		26.62
05/02/2025	DFT0009519	LINCOLN FINANCIAL GROUP	LINCOLN LTD MAY 2025 MORENO MAR-APR REFUND	4831007062 LTD	101-3030-423.1104		-35.82
05/02/2025	DFT0009520	CALPERS	CALPERS MEDICAL MAY 2025 ACTIVE	100000017896397	101-0000-209.0111		136,863.31
05/02/2025	DFT0009520	CALPERS	CALPERS MEDICAL MAY 2025 ARGUELLES COV CHANGE	100000017896397	101-0000-209.0111		868.45
05/02/2025	DFT0009520	CALPERS	CALPERS MEDICAL MAY 2025 ADMIN FEE	100000017896397	101-1210-413.1103		364.40
05/02/2025	DFT0009520	CALPERS	CALPERS MEDICAL MAY 2025 COLAHAN EOE APRIL	100000017896397	101-1910-419.1103		868.45
05/02/2025	DFT0009520	CALPERS	CALPERS MEDICAL MAY 2025 RETIREES	100000017896397	101-1920-419.1103		2,686.00
05/02/2025	DFT0009520	CALPERS	CALPERS MEDICAL MAY 2025 MORENO APRIL REFUND	100000017896397	101-3030-423.1103		-2,257.97
05/09/2025	DFT0009521	CALPERS	LG L2 23011 EE PPE 05/01/25	100000017886399 EE	101-0000-209.0106		454.05
05/09/2025	DFT0009522	CALPERS	LG L2 23011 ER PPE 05/01/25	5 100000017886399 ER	101-0000-209.0106		569.85
05/09/2025	DFT0009523	CALPERS	MISC L2 23012 EE PPE 05/01/25	100000017886470 EE	101-0000-209.0106		872.63
05/09/2025	DFT0009524	CALPERS	MISC L2 23012 ER PPE 05/01/25	100000017886470 ER	101-0000-209.0106		1,096.52
05/09/2025	DFT0009525	CALPERS	FIRE PEPRA 25375 EE PPE 05/01/25	100000017886525 EE	101-0000-209.0106		4,897.24
05/09/2025	DFT0009526	CALPERS	FIRE PEPRA 25375 ER PPE 05/01/25	100000017886525 ER	101-0000-209.0106		4,900.79
05/09/2025	DFT0009527	CALPERS	LG PEPRA 25376 EE PPE 05/01/25	100000017886583 EE	101-0000-209.0106		1,840.20
05/09/2025	DFT0009528	CALPERS	LG PEPRA 25376 ER PPE 05/01/25	100000017886583 ER	101-0000-209.0106		1,841.54
05/09/2025	DFT0009529	CALPERS	MISC PEPRA 26352 EE PPE 05/01/25	100000017886647 EE	101-0000-209.0106		12,169.51
05/09/2025	DFT0009530	CALPERS	MISC PEPRA 26352 ER PPE 05/01/25	100000017886647 ER	101-0000-209.0106		12,357.89
05/09/2025	DFT0009531	CALPERS	FIRE L1 4625 EE PPE 05/01/25	100000017886278 EE	101-0000-209.0106		3,942.09
05/09/2025	DFT0009532	CALPERS	FIRE L1 4625 ER PPE 05/01/25	100000017886278 ER	101-0000-209.0106		5,131.20
05/09/2025	DFT0009533	CALPERS	LG L1 4626 EE PPE 05/01/25	100000017886338 EE	101-0000-209.0106		1,129.06
05/09/2025	DFT0009534	CALPERS	LG L1 4626 ER PPE 05/01/25	100000017886338 ER	101-0000-209.0106		1,423.98

Payment Dates: 4/5/2025 - 5/9/2025

Expense Approval Report

Expense Approval Report						Payment Dates: 4/5/2025 - 5/9/2025
Payment Date	Payment Number	Vendor Name	Description (Item)	Payable Number	Account Number	Purchase Order Number Amount
05/09/2025	DFT0009535	CALPERS	MISC L1 470 EE PPE 05/01/25	100000017886221 EE	101-0000-209.0106	7,340.07
05/09/2025	DFT0009536	CALPERS	MISC L1 470 ER PPE 05/01/25	100000017886221 ER	101-0000-209.0106	8,984.79
05/09/2025	DFT0009537	CALPERS	SCP MEMBER PAID ARREARS TAXED PPE 05/01/25	PPE 05-01-2025 MAT	101-0000-209.0106	7.02
05/09/2025	DFT0009538	CALPERS	SCP ARSC POST-TAX PPE 05/01/25	PPE 05-01-2025 ARSCT	101-0000-209.0106	180.63
05/09/2025	DFT0009539	CALPERS	SCP SPM PRE-TAX PPE 05/01/25	PPE 05-01-2025 SPMTD	101-0000-209.0106	87.85
05/09/2025	DFT0009540	CALPERS	PERS SCP SPM TAXED PPE 05/01/25	PPE 05-01-2025 SPMT	101-0000-209.0106	395.55
05/02/2025	DFT0009541	LINCOLN FINANCIAL GROUP	LINCOLN STD MAY 2025 ACTIVE	4831007062 STD	101-0000-209.0121	2,271.15
05/02/2025	DFT0009541	LINCOLN FINANCIAL GROUP	LINCOLN STD MAY 2025 BENRUBI SEPT-APR BAL PAYOFF	4831007062 STD	101-0000-209.0121	-188.96
05/02/2025	DFT0009541	LINCOLN FINANCIAL GROUP	LINCOLN STD MAY 2025 SMITH RETRO ADJ IN DISPUTE	4831007062 STD	101-0000-209.0121	356.56
05/02/2025	DFT0009541	LINCOLN FINANCIAL GROUP	LINCOLN STD MAY 2025 COLAHAN EOE APRIL	4831007062 STD	101-1910-419.1104	24.25
05/02/2025	DFT0009541	LINCOLN FINANCIAL GROUP	LINCOLN STD MAY 2025 MORENO MAR-APR REFUND	4831007062 STD	101-3030-423.1104	-32.62
05/02/2025	DFT0009542	FIDELITY SECURITY LIFE INSU.	EYEMED VISION MAY 2025 ACTIVE	166795660	101-0000-209.0118	845.89
05/02/2025	DFT0009542	FIDELITY SECURITY LIFE INSU.	EYEMED VISION MAY 2025 GITMED COBRA A/R	166795660	101-0000-209.0118	8.41
05/02/2025	DFT0009542	FIDELITY SECURITY LIFE INSU.	EYEMED VISION MAY 2025 ARGUELLES COV CHANGE	166795660	101-0000-209.0118	7.57
05/02/2025	DFT0009542	FIDELITY SECURITY LIFE INSU.	EYEMED VISION MAY 2025 MORENO MAR REFUND	166795660	101-3030-423.1103	-15.98
05/02/2025	DFT0009542	FIDELITY SECURITY LIFE INSU.	EYEMED VISION MAY 2025 MORENO APR REFUND	166795660	101-3030-423.1103	-15.98
05/02/2025	DFT0009543	LINCOLN FINANCIAL GROUP	LINCOLN VOL LIFE MAY 2025 ACTIVE	4831007062 VOL	101-0000-209.0113	1,725.72
05/02/2025	DFT0009543	LINCOLN FINANCIAL GROUP	LINCOLN VOL LIFE MAY 2025 MORENO MAR-APR REFUND	4831007062 VOL	101-3030-423.1104	-23.20
05/09/2025	DFT0009545	STATE OF CALIFORNIA	STATE TAX W/H PP	8413753	101-0000-209.0105	12,712.81
05/09/2025	DFT0009546	STATE OF CALIFORNIA	SDI W/H PPE 05/01/25	8413760	101-0000-209.0115	411.28
05/09/2025	DFT0009547	INTERNAL REVENUE SERVICE	FED TAX W/H PPE 05/01/25	15273553 FED	101-0000-209.0102	32,903.09
05/09/2025	DFT0009548	INTERNAL REVENUE SERVICE	MEDICARE W/H PPE 05/01/25	15273553 MED	101-0000-209.0104	10,613.68
05/09/2025	DFT0009550	INTERNAL REVENUE SERVICE	SOCIAL SECURITY PPE 05/01/25	15273553 SS	101-0000-209.0104	42,605.54
						Grand Total: 3,307,848.04

Report Summary

Fund Summary

Fund		Payment Amount
101 - GENERAL FUND		2,197,031.53
202 - PROP "A" (TRANSNET) FUND		48,075.04
207 - RMRA		7,772.16
212 - SLESF (COPS) FUND		1,325.33
214 - MISCELLANEOUS GRANTS		836,211.01
303 - REDEV OBLIG RETIRE FUND		6,012.50
401 - CAPITAL IMPROVEMENT FUND		16,305.89
420 - PARKS MAJOR MAINTENAN CIP		70,033.60
501 - VEHICLE REPLACEMENT/MAINT		54,444.35
502 - RISK MANAGEMENT FUND		5,623.64
503 - TECHNOLOGY/COMMUNICATIONS		39,885.41
601 - SEWER ENTERPRISE FUND		25,127.58
	Grand Total:	3,307,848.04

Account Number	Account Name	Payment Amount
101-0000-209.0102	P/R FIT PAYABLE	110,932.09
101-0000-209.0104	P/R FICA PAYABLE	167,708.78
101-0000-209.0105	P/R STATE TAX LIABILITI	43,240.48
101-0000-209.0106	P/R PERS RETIREMENT P	211,961.19
101-0000-209.0107	P/R GARNISHMENT PAY	1,801.12
101-0000-209.0108	P/R EMPLOYEE ASSOC D	4,282.39
101-0000-209.0110	P/R DEFERRED COMP	37,997.27
101-0000-209.0111	P/R HEALTH INSURANCE	137,731.76
101-0000-209.0112	P/R DENTAL INSURANCE	5,712.70
101-0000-209.0113	P/R VOLUNTARY LIFE IN	2,505.55
101-0000-209.0114	P/R LONG-TERM DISABIL	2,540.35
101-0000-209.0115	P/R STD-PART-TIME	1,283.36
101-0000-209.0116	P/R LIFE INSURANCE	2,186.29
101-0000-209.0118	P/R VISION INSURANCE	861.87
101-0000-209.0119	P/R EDD UNEMPLOY IN	35,873.38
101-0000-209.0120	PARS EMPLOYEE CONTR	4,731.92
101-0000-209.0121	P/R-STD-FULL TIME	2,438.75
101-0000-209.0122	EDUCATIONAL SAVINGS	150.00
101-0000-209.0125	P/R FSA	1,156.48
101-0000-221.0102	DEVELOPER DEPOSITS	13,519.51
101-0000-221.0107	STATE GREEN BLDG FEE	2.00
101-0000-221.0110	WQIP-COST SHARE DEP	184,314.80
101-0000-322.7303	ELECTRICAL PERMITS	966.00
101-0000-344.7503	BUILDING MAPS/PUBLIC	8.00

Acc	ount Summary	
Account Number	Account Name	Payment Amount
101-0000-371.8309	SB 1186 DISABILITY ACC	264.80
101-1010-411.2705	UTILITIES-CELL PHONES	575.24
101-1010-411.2804	TRAVEL, TRAINING, MEE	13.96
101-1010-411.2808	COMMUNITY PROGRAMS	860.00
101-1010-411.2814	SUBSCRIBE & PUBLICATI	180.00
101-1010-411.3001	OFFICE SUPPLIES	56.84
101-1020-411.2101	TEMPORARY STAFFING	8,387.55
101-1020-411.2106	CONTRACTS-ELECTIONS	42,180.00
101-1020-411.2705	UTILITIES-CELL PHONES	103.95
101-1020-411.2804	TRAVEL, TRAINING, MEE	43.45
101-1020-411.2807	ADVERTISING	130.00
101-1110-412.2705	UTILITIES-CELL PHONES	23.71
101-1110-412.2812	MEMBERSHIP DUES	1,200.00
101-1110-412.2903	CONTINGENCY ACCOUNT	986.00
101-1110-412.3007	PROMOTIONAL MERCH	2,008.31
101-1130-412.2001	ATTORNEY SERVICES	315.00
101-1130-412.2006	PROFESSIONAL SERVICES	6,387.75
101-1130-412.2104	TECHNICAL SERVICES	549.00
101-1130-412.2705	UTILITIES-CELL PHONES	55.80
101-1130-412.2901	TRAINING & EDUCATION	804.45
101-1210-413.1103	SECTION 125 CAFETERIA	364.40
101-1210-413.2006	PROFESSIONAL SERVICES	2,182.50
101-1210-413.2101	TEMPORARY STAFFING	474.61
101-1210-413.2102	ADMINISTRATION CHAR	17,747.80
101-1210-413.2705	UTILITIES-CELL PHONES	86.09
101-1210-413.2812	MEMBERSHIP DUES	150.00
101-1210-413.3001	OFFICE SUPPLIES	90.72
101-1220-413.2001	ATTORNEY SERVICES	8,907.19
101-1220-413.2002	ATTORNEY SERVICES-OT	14,000.00
101-1220-413.3002	OPERATING SUPPLIES	14,000.00
101-1230-413.2102	ADMINISTRATION CHAR	10,918.94
101-1230-413.2705	UTILITIES-CELL PHONES	193.99
101-1230-413.2804	TRAVEL, TRAINING, MEE	142.24
101-1230-413.3001	OFFICE SUPPLIES	81.95
101-1910-419.1103	SECTION 125 CAFETERIA	918.68
101-1910-419.1104	LIFE INSURANCE	61.42
101-1910-419.2006	PROFESSIONAL SERVICES	453.90
101-1910-419.2022	PEST CONTROL SERVICE	353.00
101-1910-419.2023	SECURITY & ALARM	209.90
101-1910-419.2104	TECHNICAL SERVICES	10,573.12
101-1910-419.2701	GAS & ELECTRIC (SDG&E)	7,946.47
101-1910-419.2702	UTILITIES-WATER	5,022.15

Account Number Account Name 101-1910-419.2705 UTILITIES-CELL PHONES 101-1910-419.2801 MAINTENANCE & REPAIR 101-1910-419.3002 OPERATING SUPPLIES	Payment Amount 148.52 901.10 462.26 225.71 2,686.00 6,009.61
101-1910-419.2801 MAINTENANCE & REPAIR 101-1910-419.3002 OPERATING SUPPLIES	901.10 462.26 225.71 2,686.00
101-1910-419.3002 OPERATING SUPPLIES	462.26 225.71 2,686.00
	225.71 2,686.00
404 4040 440 2022 SMANU TOOLS/NON CCC	2,686.00
101-1910-419.3022 SMALL TOOLS/NON-CAP	•
101-1920-419.1103 SECTION 125 CAFETERIA	6,009.61
101-1920-419.2017 COPIER LEASES	•
101-1920-419.2705 UTILITIES-CELL PHONES	228.06
101-3010-421.2006 PROFESSIONAL SERVICES	708,691.11
101-3010-421.2125 RCS PROGRAM	2,773.00
101-3020-422.2006 PROFESSIONAL SERVICES	1,264.00
101-3020-422.2104 TECHNICAL SERVICES	5,964.24
101-3020-422.2125 RCS PROGRAM	1,062.00
101-3020-422.2705 UTILITIES-CELL PHONES	463.68
101-3020-422.2801 MAINTENANCE & REPAIR	15,903.77
101-3020-422.2804 TRAVEL, TRAINING, MEE	18.00
101-3020-422.2813 FEES & LICENSES	250.00
101-3020-422.2904 OTHER SERVICES & CHA	389.00
101-3020-422.3001 OFFICE SUPPLIES	6.80
101-3020-422.3002 OPERATING SUPPLIES	7,865.13
101-3030-423.1103 SECTION 125 CAFETERIA	-2,474.53
101-3030-423.1104 LIFE INSURANCE	-197.14
101-3030-423.2125 RCS PROGRAM	1,652.00
101-3030-423.2503 RENT-UNIFORMS	1,036.22
101-3030-423.2705 UTILITIES-CELL PHONES	446.23
101-3030-423.2804 TRAVEL, TRAINING, MEE	65.00
101-3030-423.3002 OPERATING SUPPLIES	341.94
101-3030-423.3005 MEDICAL SUPPLIES	128.56
101-3035-423.2704 UTILITIES-TELEPHONE	24.72
101-3040-424.2006 PROFESSIONAL SERVICES	15,732.50
101-3040-424.2016 PLAN CHECK SERVICES	36,713.43
101-3040-424.2705 UTILITIES-CELL PHONES	144.93
101-3050-425.2006 PROFESSIONAL SERVICES	94,822.00
101-3070-427.2705 UTILITIES-CELL PHONES	109.86
101-3070-427.2804 TRAVEL, TRAINING, MEE	500.00
101-5010-431.2006 PROFESSIONAL SERVICES	795.00
101-5010-431.2104 TECHNICAL SERVICES	3,700.00
101-5010-431.2123 TRAFFIC CONTROL	48,650.49
101-5010-431.2701 GAS & ELECTRIC (SDG&E)	18,636.47
101-5010-431.2705 UTILITIES-CELL PHONES	232.77
101-5010-431.2801 MAINTENANCE & REPAIR	8,119.24
101-5010-431.2813 FEES & LICENSES	5,600.12
101-5010-431.3002 OPERATING SUPPLIES	3,444.69

	Account Summary	
Account Number	Account Name	Payment Amount
101-5020-432.2503	RENT-UNIFORMS	2,701.48
101-5020-432.2705	UTILITIES-CELL PHONES	297.84
101-5020-432.2804	TRAVEL, TRAINING, MEE	390.00
101-5020-432.2811	PRINTING SERVICES	55.79
101-5020-432.2902	EMPLOYEE RECOGNITIO	1,454.25
101-5020-432.3002	OPERATING SUPPLIES	333.00
101-5040-434.2104	TECHNICAL SERVICES	1,241.28
101-5040-434.2904	OTHER SERVICES & CHA	186.00
101-5050-435.2104	TECHNICAL SERVICES	939.45
101-5050-435.2705	UTILITIES-CELL PHONES	21.48
101-5050-435.2801	MAINTENANCE & REPAIR	2,860.80
101-5050-540.2006	PROFESSIONAL SERVICES	11,130.90
101-6010-451.2107	CONTRACTS - RECREATI	933.80
101-6010-451.2701	GAS & ELECTRIC (SDG&E)	424.45
101-6010-451.2702	UTILITIES-WATER	665.33
101-6010-451.2705	UTILITIES-CELL PHONES	362.92
101-6014-451.2808	COMMUNITY PROGRAMS	635.75
101-6014-451.2814	SUBSCRIPTIONS	446.00
101-6016-451.2804	TRAVEL, TRAINING, MEE	350.00
101-6020-452.2101	TEMPORARY STAFFING	5,173.44
101-6020-452.2104	TECHNICAL SERVICES	2,725.00
101-6020-452.2701	GAS & ELECTRIC (SDG&E)	7,482.96
101-6020-452.2702	UTILITIES-WATER	6,587.69
101-6020-452.2705	UTILITIES-CELL PHONES	216.81
101-6020-452.2801	MAINTENANCE & REPAIR	149.24
101-6020-452.3002	OPERATING SUPPLIES	1,529.11
101-6030-453.2310	SENIOR PROGRAMS	1,410.00
101-6030-453.3002	OPERATING SUPPLIES	94.09
101-6040-454.2022	PEST CONTROL SERVICE	500.00
101-6040-454.2104	TECHNICAL SERVICES	7,491.08
101-6040-454.2705	UTILITIES-CELL PHONES	193.33
101-6040-454.3002	OPERATING SUPPLIES	10,600.85
202-5016-531.2006	PROFESSIONAL SERVICES	48,075.04
207-5000-532.2006	PROFESSIONAL SERVICES	7,772.16
212-3036-421.2006	PROFESSIONAL SERVICES	1,325.33
214-0000-202.0000	CONTRACT RETENTION	-8,416.75
214-1230-413.2006	PROFESSIONAL SERVICES	192,120.00
214-5000-532.2006	PROFESSIONAL SERVICES	576,834.22
214-5040-434.2904	OTHER SERVICES & CHA	3,466.26
214-5050-435.2006	PROFESSIONAL SERVICES	64,022.89
214-6010-451.2808	COMMUNITY PROGRAMS	5,369.25
214-6030-453.2310	SENIOR PROGRAMS	54.54

Account Summary

Account Number	Account Name	Payment Amount
214-6030-453.5003	IMPROVEMNTS NOT BUI	2,760.60
303-1250-413.2006	PROFESSIONAL SERVICES	1,012.50
303-1250-413.2904	OTHER SERVICES & CHA	5,000.00
401-0000-202.0000	CONTRACT RETENTION	-858.21
401-1920-419.5003	IMPROVEMNTS NOT BUI	17,164.10
420-5000-532.2006	PROFESSIONAL SERVICES	52,456.60
420-6020-552.2006	PROFESSIONAL SERVICES	17,577.00
501-1921-419.2104	TECHNICAL SERVICES	216.02
501-1921-419.2705	UTILITIES-CELL PHONES	29.47
501-1921-419.2813	FEES & LICENSES	2,166.70
501-1921-419.2815	VEHICLE OPERATE-FUEL	43,795.64
501-1921-419.2816	VEHICLE OPERATE-PARTS	7,636.47
501-1921-419.2904	OTHER SERVICES & CHA	220.00
501-1921-419.3002	OPERATING SUPPLIES	380.05
502-1922-419.2001	ATTORNEY SERVICES	2,822.27
502-1922-419.2819	PYMT OF WORK COMP C	138.78
502-1922-419.2904	OTHER SERVICES & CHA	2,662.59
503-1923-419.2006	PROFESSIONAL SERVICES	14,074.27
503-1923-419.2104	TECHNICAL SERVICES - I	4,356.22
503-1923-419.2704	UTILITIES-TELEPHONE	1,901.20
503-1923-419.2705	UTILITIES-CELL PHONES	258.37
503-1923-419.2804	TRAVEL, TRAINING, MEE	5,164.69
503-1923-419.2813	FEES & LICENSES	13,371.50
503-1923-419.3022	SMALL TOOLS/NON-CAP	759.16
601-5060-436.2006	PROFESSIONAL SERVICES	4,829.28
601-5060-436.2023	SECURITY & ALARM	1,030.95
601-5060-436.2701	GAS & ELECTRIC (SDG&E)	5,045.05
601-5060-436.2702	UTILITIES-WATER	1,082.43
601-5060-436.2705	UTILITIES-CELL PHONES	232.76
601-5060-436.2801	MAINTENANCE & REPAIR	730.13
601-5060-436.2809	POSTAGE & FREIGHT	3,586.45
601-5060-436.3002	OPERATING SUPPLIES	3,665.33
601-5060-536.2006	PROFESSIONAL SERVICES	4,925.20
	Grand Total:	3,307,848.04

Project Account Summary

Project Account Key	Payment Amount
None	2,047,606.50
1380-DEPOSIT	20.00
22-0069-DEP	50.00
22-0077-DEP	525.30

Project Account Summary

Project Account Key	Payment Amount
22-0097-DEP	562.38
22-0098-DEP	3,458.00
22-0119-DEP	469.68
23-0051-DEP	4,182.14
23-0066-DEP	1,051.88
24-0001-DEP	3,200.13
F25101-HVAC	17,164.10
GRT068-EXP	500.00
GRT076-P	64,022.89
GRT077-EXP	54.54
GRT077-P-GRANT	2,760.60
GRT080-EXP	127,504.00
GRT081-EXP	5,369.25
GRT084-EXP	3,466.26
GRT089-EXP	1,500.00
GRT091-13ST	51,146.00
GRT091-EXP	11,970.00
LWC002-P	3,527.79
LWC146-P	2,585.90
LWC327-EXP	777.00
LWC336-P	555.00
LWC353-P	851.00
LWC361-P	1,165.50
LWC363-P	2,267.27
P23101-C	6,577.00
P24101-EXP	52,456.60
P25101-EXP	11,000.00
S22101-CONST	432,675.31
S22101-RMRA	7,772.16
S22101-TRANSNET	48,075.04
S5101-EXP	45,000.00
SP1406-REV	264.80
SP2021-EXP	13.96
SP22101-SPORT	141,578.42
SP22101-SR	2,580.49
SP24104-EXP	300.00
SP24106-EXP	10.25
SP24112-EXP	860.00
SP2500-P	128,256.86
SP2501-P	67,188.84

Project Account Summary

Project Account Key Payment Amount

W23101-P 4,925.20 Grand Total: 3,307,848.04



May 21, 2025

ITEM TITLE: RECEIVE TREASURER'S REPORT FOR MARCH 2025. (0300-90)

ORIGINATING DEPARTMENT:

Finance

EXECUTIVE SUMMARY:

The City has funds invested by Chandler Asset Management, Local Area Investment Fund (LAIF), Chase (the City's operating account), a section 115 trust fund, and tax allocation reserve bonds. On a monthly basis a Treasurer's Report is submitted to the City Council listing cash flows and a summary of cash and investments. The attached Monthly Account Statement Report from Chandler Asset Management provides the investment analysis to include a portfolio summary, listing of assets, and monthly transactions. The attached Local Agency Investment Fund (LAIF) statement provides a listing of monthly transactions. Detailed investment information for LAIF can be found on the California State Treasurer's website (www.treasurer.ca.gov/pmia-laif/pmia).

RECOMMENDATION:

Staff recommends that the City Council receive and file the March 2025 Treasurer's Report.

OPTIONS:

Receive and file the March 2025 Treasurer's Report.

BACKGROUND/ANALYSIS:

In accordance with the City's Investment Policy and Government Code Section 53646, the City Treasurer or designee submits to the City Council a monthly investment report (Treasurer's Report) with transactions and holdings as detailed in the attached Chandler Asset Management and LAIF investment reports. The Chandler Asset Management Report discloses the following information about the risk characteristics of the City's portfolio:

- 1. An asset listing showing par value, cost and accurate and complete market value of each security, type of investment, issuer, and interest rate;
- 2. Monthly transactions for the period;
- 3. A one-page summary report that shows: a) average maturity of the portfolio and modified duration of the portfolio; b) maturity distribution of the portfolio; c) average portfolio credit quality; d) time-weighted total rate of return for the portfolio for the prior one month, three months, twelve months, year to date, and since inception compared to the Benchmark Index returns for the same periods;
- 4. A statement of compliance with investment policy, including a schedule of any transactions or holdings which do not comply with this policy or with the California Government Code, including a justification for the presence in the portfolio and a timetable for resolution;

5. A statement that the City has adequate funds to meet its cash flow requirements for the next six months.

All these categories are reflected on the attached Monthly Account Statement Report from Chandler Asset Management, the City's portfolio and investment management consultant. Details regarding LAIF investments can be found on the California State Treasurer website (www.treasurer.ca.gov/pmia-laif/pmia). The City has adequate funds to meet its cash flow requirements for the next six months.

ENVIRONMENTAL DETERMINATION:

Not a project as defined by CEQA.

FISCAL IMPACT:

The City has funds invested by Chandler Asset Management, Local Area Investment Fund (LAIF), Chase (the City's operating account), a section 115 trust fund, and tax allocation reserve bonds. As of the month ending March 31, 2025, the total market value of the City's investment portfolio equals \$37,581,683.25. The attached Treasurer's Report provides a statement of cash flows and cash and investments description.

ATTACHMENTS:

ATT 1 – 2025.03 Treasurer's Report

ATT 2 – 2025.03 Chandler Statement

ATT 3 – 2025.03 LAIF Statement



CITY OF IMPERIAL BEACH TREASURER'S REPORT Statement of Cash Flows For the Month Ended March 31, 2025

	Beginning Balance	Total Activity	Total Debits	Total Credits	Ending Balance
GENERAL FUND	·			·	
101 - GENERAL FUND	18,384,699.73	(1,832,548.92)	975,812.31	2,808,361.23	\$ 16,552,150.81
103 - M&A DA FUND	900,203.44	54,094.58	54,094.58	-	954,298.02
105 - PEG FUND	62,688.86	543.75	543.75	- <u>-</u>	63,232.61
OTHER GOVERNMENT FUNDS					17,569,681.44
201 - GAS TAX FUND	493,475.76	57,171.89	57,171.89	_	550,647.65
202 - PROP "A" (TRANSNET) FUND	38,849.77	(23,445.47)	343.71	23,789.18	15,404.30
207 - ROAD MTCE & REHAB (RMRA)	1,754,430.15	67,167.39	67,667.39	500.00	1,821,597.54
210 - CDBG-FEDERAL ASSISTANCE	(0.54)	-	-	-	(0.54)
212 - SLESF (COPS) FUND	70,901.47	2,916.29	19,597.28	16,680.99	73,817.76
214 - MISCELLANEOUS GRANTS FUND	681,008.92	(159,208.61)	280,379.32	439,587.93	521,800.31
401 - CAPITAL IMPROVEMENT FUND	908,605.34	(7,465.72)	8,155.25	15,620.97	901,139.62
420 - PARKS MAJOR MAINTENANCE CIP	1,139,200.82	(76,219.48)	14,950.34	91,169.82	1,062,981.34
420 - I ARRO MAIOR MAINTENANCE CIT	1,133,200.82	(70,213.40)	14,550.54	51,105.82	4,947,387.98
HOUSING AUTHORITY					
216 - HOUSING AUTHORITY	929,047.75	7,561.87	8,386.87	825.00	936,609.62
CHECTES OF A CENTLY					936,609.62
SUCCESSOR AGENCY 303 - REDEV OBLIG RETIRE FUND	748,726.37	(3,476.04)	6,836.69	10 212 72	745,250.33
303 - REDEV OBLIG RETIRE FOIND	740,720.37	(3,476.04)	0,830.09	10,312.73	745,250.33
INTERNAL SERVICES					743,230.33
501 - VEHICLE REPLACEMENT/MAINT	1,052,616.41	137,450.82	173,700.46	36,249.64	1,190,067.23
502 - RISK MANAGEMENT FUND	1,680,966.28	264,307.43	275,028.76	10,721.33	1,945,273.71
503 - TECHNOLOGY/COMMUNICATIONS	659,531.68	103,168.45	251,353.63	148,185.18	762,700.13
504 - FACILITY MAINT/REPLACEMENT	445,706.37	41,521.50	41,548.32	26.82	487,227.87
				·	4,385,268.94
SEWER FUND					
601 - SEWER ENTERPRISE FUND	5,630,209.24	(108,943.59)	192,283.16	301,226.75	
AGENCY FUNDS					5,521,265.65
715 - ASSESSMENT DIST. #63 FUND	128,959.29	1,164.12	1,164.12	-	130,123.41
720 - ASSESSMENT DIST. #64 FUND	32,868.14	296.70	296.70	_	33,164.84
725 - ASSESSMENT DIST. #66 FUND	185,970.30	1,678.76	1,678.76	-	187,649.06
730 - ASSESSMENT DIST. #68 FUND	110,489.05	997.39	997.39	_	111,486.44
735 - ASSESSMENT DIST. #71 FUND	17,775.73	160.46	160.46	-	17,936.19
	17,773.73	100.70	100.40	-	480,359.94
	GRAND TOTAL			_	\$ 34,585,823.90



CITY OF IMPERIAL BEACH TREASURER'S REPORT Statement of Cash Flows For the Month Ended March 31, 2025

	Beginning					
CASH DEPOSIT ACCOUNTS	Balance	Total Activity	Total Debits	Total Credits	E	nding Balance
Chase - Checking (Operating)	639,227.81	(463,483.20)	2,339,774.37	2,803,257.57	\$	175,744.61
Chandler Investments	23,722,991.11	92,376.77	92,376.77	-		23,815,367.88
LAIF	11,694,711.41	(1,100,000.00)	-	1,100,000.00		10,594,711.41
					\$	34,585,823.90
Operating Bank Reconciliation						
General Ledger Balance						175,744.61
Outstanding Checks/Deposits/Adjustments						\$1,011,058.16
Statement Balance						\$1,186,802.77
Chandler Asset Management Reconciliation						
General Ledger Balance						23,815,367.88
Cash Receivable Pending/Interest/Market Value/Oth	er Adjustments					447.84
Statement Balance					\$	23,815,815.72
LAIF Reconciliation						
General Ledger Balance						10,594,711.41
Interest/Market Value/Other Adjustments						-
Statement Balance					\$	10,594,711.41



CITY OF IMPERIAL BEACH TREASURER'S REPORT Cash and Investments As of March 31, 2025

					Interest/Yield		% of
Description		Cost Value		Market Value	to Maturity	Maturity Date	Portfolio
Cash and Cash Equivalents		44 406 000 77		44 406 000 77	0.0000/	,	2 240/
Chase Bank (statement balance)		\$1,186,802.77		\$1,186,802.77	0.000%	n/a	3.21%
LAIF		10,594,711.41		10,603,708.34	4.313%	n/a	28.66%
Investments							
Chandler Investments							
Asset-Backed Securities		1,570,221.96		1,579,096.66	4.460%	See Attached	4.25%
Federal Agencies		4,866,310.50		4,938,014.51	4.030%	See Attached	13.16%
Collater. Mortgage Obligation		1,943,242.93		1,982,216.72	4.280%	See Attached	5.26%
Cash/ Receivable		447.81		447.81	0.000%	See Attached	0.00%
Commercial Paper		-		-	0.000%	See Attached	0.00%
US Corporate		5,823,023.60		5,917,428.67	4.330%	See Attached	15.75%
Money Market Funds		98,772.07		98,772.07	3.970%	See Attached	0.27%
Negotiable CDs		-		-	0.000%	See Attached	0.00%
Supranational		615,157.20		628,365.94	4.020%	See Attached	1.66%
US Treasury		8,898,639.65		9,052,843.38	4.010%	See Attached	24.07%
Total Cash and Investments		\$35,597,329.90		\$35,987,696.87	4.144%		
PARS Section 115 Trust Fund							
Pension						,	
Portfolio Balance	\$	1,064,674.12	\$	1,222,016.41	0.000%	n/a	2.88%
OPEB Portfolio Balance	ċ	300,000.00	\$	369,765.34	0.000%	n/a	0.81%
FOI HOHO Balance	<u>\$</u> \$	1,364,674.12		1,591,781.75	0.000%	II/a	0.81%
	Ş	1,304,074.12	Ş	1,391,761.73			
Bond Reserves							
2020 Tax Allocation Revenue Bonds							
Cash Management		2,204.63		2,204.63	0.000%	n/a	0.01%
2022 Tax Allocation Revenue Bonds							
Cash Management		-		-	0.000%	n/a	0.00%
Total Bond Reserves	\$	2,204.63	\$	2,204.63			
Total Investment Portfolio	\$	36,964,208.65	\$	37,581,683.25			100.00%

I hereby certify that the investments are in compliance with the investment policy adopted by the City Council. The investment portfolio provides sufficient funds to meet the budgeted expenditures over the next six months. This report meets the requirements of Government Code Section 53646.

PREPARED BY:

Signature on file

Lily Flyte, Finance Director



CHANDLER ASSET MANAGEMENT | chandlerasset.com

or contact clientservice@chandlerasset.com

For questions about your account, please call (800) 317-4747,

Chandler Team:

MC	NTHLY ACCOUNT STA	ATEMENT		
City o	f Imperial Beach Account As of M	larch 31, 2025		

Custodian:

US Bank



City of Imperial Beach | Account | As of March 31, 2025

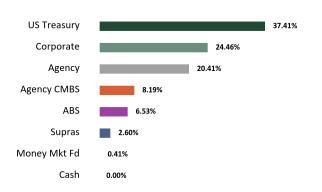
1.80
3.72%
4.38%
4.14%
AA+
2.07
1.84

Account Summary

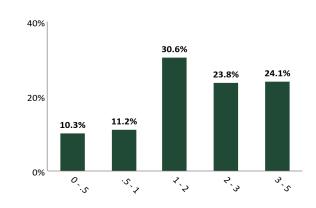
	End Values as of 02/28/2025	End Values as of 03/31/2025
Market Value	24,068,008.06	24,197,185.76
Accrued Interest	207,616.87	191,359.41
Total Market Value	24,275,624.93	24,388,545.17
Income Earned	81,959.04	86,217.00
Cont/WD	0.00	0.00
Par	24,175,525.25	24,279,300.26
Book Value	23,942,066.82	24,041,708.54
Cost Value	23,723,301.87	23,815,815.72

Top Issuers	
Government of The United States	37.41%
Federal Home Loan Banks	11.07%
Farm Credit System	8.32%
FHLMC	8.19%
BlackRock, Inc.	1.25%
Toyota Motor Corporation	1.22%
PACCAR Inc	1.19%
The Home Depot, Inc.	1.17%

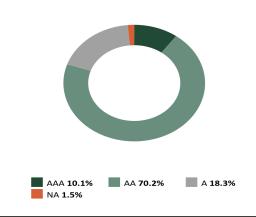
Sector Allocation



Maturity Distribution



Credit Quality (S&P)



Performance Review

Total Rate of Return**	1M	3M	YTD	1YR	2YRS	3YRS	5YRS	10YRS	Since Inception (08/01/13)
City of Imperial Beach	0.48%	1.68%	1.68%	5.63%	4.93%	3.46%	1.78%	1.83%	1.71%
Benchmark Return	0.47%	1.59%	1.59%	5.43%	4.18%	2.84%	1.16%	1.50%	1.40%
Secondary Benchmark Return	0.46%	1.61%	1.61%	5.55%	4.41%	2.99%	1.40%	1.65%	1.55%

^{*}The average credit quality is a weighted average calculation of the highest of S&P, Moody's and Fitch.

Execution Time: 04/03/2025 01:02:23 AM

Benchmark: ICE BofA 1-3 Year US Treasury Index Secondary Benchmark: ICE BofA 1-3 Year AAA-A US Corporate & Government Index

^{**}Periods over 1 year are annualized.

STATEMENT OF COMPLIANCE

Execution Time: 04/03/2025 01:02:23 AM



Max % (MV) 100.0 8.2 Compliant Aax Maturity (Years) 5.0 3.9 Compliant ASSET-BACKED SECURITIES (ABS) ASSET-BACKED SECURITIES (ABS) AAX % (MV) 20.0 6.5 Compliant Aax % (MV) 5.0 1.0 Compliant Aax Maturity (Years) 5 4 Compliant Aax Maturity (Years) 5 4 Compliant Aax % (MV) 0.0 0.0 Compliant Aax % (MV) 40.0 0.0 Compliant Aax % (MV) 40.0 0.0 Compliant Aax % (MV) 5.0 0.0 Compliant Aax % Issuer (MV) 5.0 0.0 Compliant Aax % Issuer (MV) 8.0 0.0 Compliant Aax % Issuer (MV) 8.0 0.0 Compliant Aax % Issuer (MV) 8.0 0.0 Compliant Aax % Maturity (Days) 8.0 0.0 Compliant Aax Maturity (Pars) 5.0 0.0 Compliant Aax % (MV) 8.0 0.0 Compliant Aax % Issuer (MV) 8.0 0.0 Compliant Aax % (MV) 8.0 0.0 Compliant	Rules Name	Limit	Actual	Compliance Status	Notes
As Maturity (Years) 5.0 3.9 Compliant ASSET-BACKED SECURITIES (ABS) Ass % (MV) 20.0 6.5 Compliant Ass Maturity (Years) 5.0 1.0 Compliant Ass Maturity (Years) 5.0 1.0 Compliant Ass Maturity (Years) 5.0 4 Compliant Ass Maturity (Years) 5.0 4 Compliant BANKERS' ACCEPTANCES Ass % (MV) 40.0 0.0 Compliant Ass Maturity (Days) 180 0.0 Compliant Ass Maturity (Days) 180 0.0 Compliant Ass Maturity (Pars) 0.0 0.0 Compliant Ass Maturity (Pars) 0.0 0.0 Compliant Ass Maturity (Pars) 0.0 0.0 Compliant CERTIFICATE OF DEPOSIT PLACEMENT SERVICE (CDARS) Ass % (MV) 30.0 0.0 Compliant DOLLATERALIZED TIME DEPOSITS (NON-NEGOTIABLE CD/TD) Ass % (MV) 20.0 0.0 Compliant Ass % (MV) 5.0 0.0 Compliant	AGENCY MORTGAGE SECURITIES (CMOS)				
ASSET-BACKED SECURITIES (ABS) Alax % (MV) 20.0 6.5 Compliant Alax % (MV) 5.0 1.0 Compliant Alax Maturity (Years) 5 4 Compliant Alax Maturity (Years) 5 4 Compliant Alax Maturity (Years) 5 4 Compliant Alax Maturity (MV) 0.0 0.0 Compliant BANKERS' ACCEPTANCES Alax % (MV) 40.0 0.0 Compliant Alax Maturity (Days) 180 0.0 Compliant Alax Maturity (Days) 180 0.0 Compliant Alax Maturity (Pars) 0.0 0.0 Compliant CERTIFICATE OF DEPOSIT PLACEMENT SERVICE (CDARS) Alax % (MV) 30.0 0.0 Compliant CERTIFICATE OF DEPOSITS (NON-NEGOTIABLE COLLATERALIZED TIME DEPOSITS (NON-NEGOTIABLE COLLATERALIZED TIME DEPOSITS (NON-NEGOTIABLE COMMERCIAL PAPER Alax % (MV) 5.0 0.0 Compliant Alax Maturity (Years) 5.0 0.0 Compliant Alax Maturity (Years) 5.0 0.0 Compliant Alax Maturity (Pars) 5.0 0.0 Compliant COMMERCIAL PAPER Alax % (MV) 25.0 0.0 Compliant Alax % (INV) 5.0 0.0 Compliant CORPORATE MEDIUM TERM NOTES Alax % (INV) 5.0 1.3 Compliant Alax % (INV) 5.0 1.3 Compliant Alax % (INV) 5.0 0.0 Compliant Alax % (INV) 5.0 0.0 Compliant Alax % (INV) 5.0 0.0 Compliant Alax Maturity (Years) 5 3 Compliant Alax Maturity (Years) 6 0.0 Compliant Alax Maturity (Years) 7 Compl	Max % (MV)	100.0	8.2	Compliant	
### Analy 1	Max Maturity (Years)	5.0	3.9	Compliant	
Ana X (Issuer (MV) 5.0 1.0 Compliant Ana X Maturity (Years) 5 4 Compliant Ana Maturity (Years) 5 4 Compliant Ana Maturity (Years) 5 4 Compliant Ana Maturity (Years) 6 0.0 0.0 Compliant Ana X (IMV) 40.0 0.0 Compliant Ana X (IMV) 5.0 0.0 Compliant Ana X (IMV) 5.0 0.0 Compliant Ana Maturity (Days) 180 0.0 Compliant Ana Maturity (Days) 180 0.0 Compliant Ana Maturity (Pars) 5.0 0.0 Compliant Ana X (IMV) 30.0 0.0 Compliant Ana X (IMV) 30.0 0.0 Compliant COLLATERALIZED TIME DEPOSITS (NON-NEGOTIABLE COLLATERALIZED TIME DEPOSITS (NON-NEGOTIABLE COLLATERALIZED TIME DEPOSITS (NON-NEGOTIABLE COMMERCIAL PAPER Ana X (IMV) 20.0 0.0 Compliant Ana X (ISSUER (IMV) 5.0 0.0 Compliant COMMERCIAL PAPER Ana X (IMV) 25.0 0.0 Compliant Ana X (ISSUER (IMV) 5.0 0.0 Compliant CORPORATE MEDIUM TERM NOTES Ana X (IMV) 30.0 24.5 Compliant Ana X (ISSUER (IMV) 5.0 1.3 Compliant Ana X (ISSUER (IMV) 5.0 1.3 Compliant Ana X (ISSUER (IMV) 5.0 0.0 Compliant Ana X (ISSUER (IMV) 5.0 0.0 Compliant CORPORATE MEDIUM TERM NOTES Ana X (INV) 5.0 1.3 Compliant Ana X (ISSUER (IMV) 5.0 0.0 Compliant Ana X (IMV) 5.0 0.0 0.0 Compliant	ASSET-BACKED SECURITIES (ABS)				
Alax Maturity (Years) 5 4 Compliant Alax Maturity (Years) 0.0 0.0 Compliant Alax Maturity (MV) 40.0 0.0 Compliant Alax (MV) 40.0 0.0 Compliant Alax Maturity (Days) 180 0.0 Compliant Alax Maturity (Days) 180 0.0 Compliant Alax Maturity (Days) 180 0.0 Compliant Alax (MV) 30.0 0.0 Compliant Alax (MV) 30.0 0.0 Compliant Alax Maturity (Years) 5.0 0.0 Compliant Alax (MV) 30.0 0.0 Compliant Alax (MV) 30.0 0.0 Compliant Alax (MV) 30.0 0.0 Compliant Alax (MV) 5.0 0.0 Compliant Alax (MV) 25.0 0.0 Compliant Alax (MV) 25.0 0.0 Compliant Alax (MV) 5.0 0.0 Compliant CORPORATE MEDIUM TERM NOTES Alax (MV) 5.0 1.3 Compliant Alax (MV) 5.0 0.0 Compliant Alax (MV) 5.0 0.0 Compliant Alax (MV) 5.0 0.0 Compliant CORPORATE MEDIUM TERM NOTES Alax (MV) 5.0 0.0 Compliant Alax (MV) 5.0 0.0 0.0 Compliant	Max % (MV)	20.0	6.5	Compliant	
Anin Rating (AA- by 1) 0.0 0.0 Compliant BANKERS' ACCEPTANCES Alax % (MV) 40.0 0.0 Compliant Alax % Issuer (MV) 5.0 0.0 Compliant Alax Maturity (Days) 180 0.0 Compliant Alax Maturity (Days) 0.0 Compliant Alax Maturity (Pars) 0.0 0.0 Compliant Alax Maturity (Years) 5.0 0.0 Compliant Alax Maturity (Years) 5.0 0.0 Compliant COLLATERALIZED TIME DEPOSITS (NON-NEGOTIABLE COMMERCIAL PAPER Alax % (MV) 5.0 0.0 Compliant Alax % Issuer (MV) 5.0 0.0 Compliant Alax % Issuer (MV) 5.0 0.0 Compliant Alax % Issuer (MV) 5.0 0.0 Compliant CORPORATE MEDIUM TERM NOTES Alax % (MV) 30.0 24.5 Compliant Alax % Issuer (MV) 5.0 1.3 Compliant Alax % Issuer (MV) 5.0 1.3 Compliant Alax Maturity (Years) 5 3 Compliant Alax Maturity (Years) 5 0.0 Compliant CORPORATE MEDIUM TERM NOTES Alax Maturity (Years) 5 0.0 Compliant Alax Maturity (Years) 5 0.0 Compliant CORPORATE MEDIUM TERM NOTES Alax Maturity (Years) 6 0.0 Compliant Alax Maturity (Years) 7 0.0 Compliant CORPORATE MEDIUM TERM NOTES Alax % (MV) 0.0 Compliant Alax Maturity (Years) 7 0.0 Compliant CORPORATE MEDIUM TERM NOTES Alax % (MV) 0.0 Compliant CORPORATE MEDIUM TERM NOTES Alax % (MV) 0.0 Compliant Alax Maturity (Years) 0.0 Compliant Alax Maturity (Years) 0.0 Compliant CORPORATE MEDIUM TERM NOTES Alax % (MV) 0.0 Compliant	Max % Issuer (MV)	5.0	1.0	Compliant	
### SANKERS' ACCEPTANCES ### ACCEPTANCE	Max Maturity (Years)	5	4	Compliant	
Alax % (MV) 40.0 0.0 Compliant Alax % Issuer (MV) 5.0 0.0 Compliant Alax Maturity (Days) 180 0.0 Compliant Alin Rating (A-1 by 1 or A- by 1) 0.0 0.0 Compliant CERTIFICATE OF DEPOSIT PLACEMENT SERVICE (CDARS) 30.0 0.0 Compliant Alax % (MV) 30.0 0.0 Compliant Alax Maturity (Years) 5.0 0.0 Compliant COLLATERALIZED TIME DEPOSITS (NON-NEGOTIABLE CD/TD) 5.0 0.0 Compliant Alax % (MV) 5.0 0.0 Compliant Alax % (MV) 5.0 0.0 Compliant Alax % (MV) 25.0 0.0 Compliant Alax % (MV) 5.0 0.0 Compliant Alax % (MV) 5.0 0.0 Compliant Alax % (MV) 30.0 24.5 Compliant Alax % (MV) 30.0 24.5 Compliant Alax % (MV) 30.0 24.5 Compliant Alax % (MV)	Min Rating (AA- by 1)	0.0	0.0	Compliant	
Max % Issuer (MV) 5.0 0.0 Compliant	BANKERS' ACCEPTANCES				
Adax Maturity (Days) 180 0.0 Compliant Ain Rating (A-1 by 1 or A- by 1) 0.0 0.0 Compliant CERTIFICATE OF DEPOSIT PLACEMENT SERVICE (CDARS) Description Compliant Alax % (MV) 30.0 0.0 Compliant Alax Maturity (Years) 5.0 0.0 Compliant COLLATERALIZED TIME DEPOSITS (NON-NEGOTIABLE CD/TD) Compliant Compliant Alax % (MV) 20.0 0.0 Compliant Alax % Issuer (MV) 5.0 0.0 Compliant Alax Maturity (Years) 5.0 0.0 Compliant COMMERCIAL PAPER COMPLIANT Compliant Compliant Alax % Issuer (MV) 5.0 0.0 Compliant Alax % Issuer (MV) 5.0 0.0 Compliant CORPORATE MEDIUM TERM NOTES Compliant Compliant Alax % Issuer (MV) 5.0 1.3 Compliant Alax % Issuer (MV) 5.0 1.3 Compliant Alax % Issuer (MV) 5.0 0.0 Compliant Alax % Issuer (MV) 5.0 0.0 Compliant <tr< td=""><td>Max % (MV)</td><td>40.0</td><td>0.0</td><td>Compliant</td><td></td></tr<>	Max % (MV)	40.0	0.0	Compliant	
Min Rating (A-1 by 1 or A- by 1)	Max % Issuer (MV)	5.0	0.0	Compliant	
### CERTIFICATE OF DEPOSIT PLACEMENT SERVICE (CDARS) ### Awa % (MV) ### 30.0 ### 30.0 ### COULATERALIZED TIME DEPOSITS (NON-NEGOTIABLE CD/TD) ### Awa % (MV) ### Awa % (MV) ### Awa % (MV) ### Awa % (Incompliant of the properties of the pro	Max Maturity (Days)	180	0.0	Compliant	
Max % (MV) 30.0 0.0 Compliant Max Maturity (Years) 5.0 0.0 Compliant COLLATERALIZED TIME DEPOSITS (NON-NEGOTIABLE CD/TD) Max % (MV) 20.0 0.0 Compliant Max % Issuer (MV) 5.0 0.0 Compliant Max Maturity (Years) 5.0 0.0 Compliant COMMERCIAL PAPER Max % (MV) 25.0 0.0 Compliant Max % Issuer (MV) 5.0 0.0 Compliant Max % Issuer (MV) 5.0 0.0 Compliant Max % Issuer (MV) 5.0 0.0 Compliant CORPORATE MEDIUM TERM NOTES Max % (MV) 30.0 24.5 Compliant Max % Issuer (MV) 5.0 1.3 Compliant Max % Issuer (MV) 5.0 0.0 Compliant CORPORATE MEDIUM TERM NOTES Max % (Issuer (MV) 5.0 1.3 Compliant Max % Issuer (MV) 5.0 0.0 Compliant Max % Issuer (MV) 5.0 0.0 Compliant Max % Issuer (MV) 5.0 0.0 Compliant Max Maturity (Years) 5 3 Compliant Max Maturity (Years) 5 3 Compliant CORPORATE DEPOSITS (NON-NEGOTIABLE CD/TD) Max % (MV) 20.0 0.0 Compliant	Min Rating (A-1 by 1 or A- by 1)	0.0	0.0	Compliant	
Max Maturity (Years) 5.0 0.0 Compliant	CERTIFICATE OF DEPOSIT PLACEMENT SERVICE (CDARS)				
COLLATERALIZED TIME DEPOSITS (NON-NEGOTIABLE CD/TD) Max % (MV) 20.0 0.0 Compliant Max % Issuer (MV) 5.0 0.0 Compliant Max Maturity (Years) 5.0 0.0 Compliant COMMERCIAL PAPER Max % (MV) 25.0 0.0 Compliant Max % Issuer (MV) 5.0 0.0 Compliant Max % Issuer (MV) 0.0 Compliant Min Rating (A-1 by 1 or A- by 1) 0.0 Compliant CORPORATE MEDIUM TERM NOTES Max % (MV) 30.0 24.5 Compliant Max % Issuer (MV) 5.0 1.3 Compliant Max % Issuer (MV) 5.0 1.3 Compliant Max Maturity (Years) 5 3 Compliant Max Maturity (Years) 5 3 Compliant CORPORATE MEDIUM TERM NOTES Max Maturity (Years) 5 0.0 Compliant Max Maturity (Years) 5 0.0 Compliant Max Maturity (Years) 5 0.0 Compliant CORPORATE MEDIUM TERM NOTES Max Maturity (Years) 5 0.0 Compliant Max Maturity (Years) 5 0.0 Compliant Max Maturity (Years) 0.0 Compliant CORPORATE MEDIUM TERM NOTES Max Maturity (Years) 0.0 Compliant Max Maturity (Years) 0.0 Compliant CORPORATE MEDIUM TERM NOTES Max Maturity (Years) 0.0 Compliant Max Maturity (Years) 0.0 Compliant CORPORATE MEDIUM TERM NOTES Max Maturity (Years) 0.0 Compliant Max Maturity (Years) 0.0 Compliant CORPORATE MEDIUM TERM NOTES Max Maturity (Years) 0.0 Compliant Max Maturity (Years) 0.0 Compliant CORPORATE MEDIUM TERM NOTES	Max % (MV)	30.0	0.0	Compliant	
### CD/TD) ###################################	Max Maturity (Years)	5.0	0.0	Compliant	
Max % Issuer (MV) 5.0 0.0 Compliant Max Maturity (Years) 5.0 0.0 Compliant COMMERCIAL PAPER Max % (MV) 25.0 0.0 Compliant Max % Issuer (MV) 5.0 0.0 Compliant Min Rating (A-1 by 1 or A- by 1) 0.0 Compliant CORPORATE MEDIUM TERM NOTES Max % (MV) 30.0 24.5 Compliant Max % Issuer (MV) 5.0 1.3 Compliant Max % Issuer (MV) 5.0 1.3 Compliant Max % Issuer (MV) 5.0 0.0 Compliant Max Maturity (Years) 5 3 Compliant Min Rating (A- by 1) 0.0 Compliant CORPORATE MEDIUM TERM COMPLIANT Max Maturity (Years) 5 0 0.0 Compliant Max Maturity (Years) 5 0.0 Compliant Max Maturity (Years) 0.0 Compliant COMPLIANT Max % (MV) 0.0 Compliant Max % (MV) 0.0 Compliant	COLLATERALIZED TIME DEPOSITS (NON-NEGOTIABLE CD/TD)				
Max Maturity (Years) 5.0 0.0 Compliant COMMERCIAL PAPER Max % (MV) 25.0 0.0 Compliant Max % Issuer (MV) 5.0 0.0 Compliant Min Rating (A-1 by 1 or A- by 1) 0.0 0.0 Compliant CORPORATE MEDIUM TERM NOTES Max % (MV) 30.0 24.5 Compliant Max % Issuer (MV) 5.0 1.3 Compliant Max % Issuer (MV) 5.0 1.3 Compliant Max Maturity (Years) 5 3 Compliant Min Rating (A- by 1) 0.0 0.0 Compliant CORPORATE MEDIUM TERM NOTES Max % (MV) 5.0 1.3 Compliant Max % Issuer (MV) 5.0 0.0 Compliant Max % Issuer (MV) 5.0 0.0 Compliant Max Maturity (Years) 5 3 Compliant Max Maturity (Years) 0.0 0.0 Compliant	Max % (MV)	20.0	0.0	Compliant	
COMMERCIAL PAPER Max % (MV) 25.0 0.0 Compliant Max % Issuer (MV) 5.0 0.0 Compliant Min Rating (A-1 by 1 or A- by 1) 0.0 0.0 Compliant CORPORATE MEDIUM TERM NOTES Max % (MV) 30.0 24.5 Compliant Max % Issuer (MV) 5.0 1.3 Compliant Max Maturity (Years) 5 3 Compliant Min Rating (A- by 1) 0.0 0.0 Compliant FDIC INSURED TIME DEPOSITS (NON-NEGOTIABLE CD/TD) Max % (MV) 20.0 0.0 Compliant	Max % Issuer (MV)	5.0	0.0	Compliant	
Max % (MV) 25.0 0.0 Compliant Max % Issuer (MV) 5.0 0.0 Compliant Min Rating (A-1 by 1 or A- by 1) 0.0 0.0 Compliant CORPORATE MEDIUM TERM NOTES Max % (MV) 30.0 24.5 Compliant Max % Issuer (MV) 5.0 1.3 Compliant Max Maturity (Years) 5 3 Compliant Min Rating (A- by 1) 0.0 0.0 Compliant FDIC INSURED TIME DEPOSITS (NON-NEGOTIABLE CD/TD) Compliant Compliant	Max Maturity (Years)	5.0	0.0	Compliant	<u> </u>
Max % Issuer (MV) 5.0 0.0 Compliant Min Rating (A-1 by 1 or A- by 1) 0.0 0.0 Compliant CORPORATE MEDIUM TERM NOTES Compliant Max % (MV) 30.0 24.5 Compliant Max % Issuer (MV) 5.0 1.3 Compliant Max Maturity (Years) 5 3 Compliant Min Rating (A- by 1) 0.0 0.0 Compliant FDIC INSURED TIME DEPOSITS (NON-NEGOTIABLE CD/TD) COMPLIANT Max % (MV) 20.0 0.0 Compliant	COMMERCIAL PAPER				
Min Rating (A-1 by 1 or A- by 1) CORPORATE MEDIUM TERM NOTES Max % (MV) 30.0 24.5 Compliant Max % Issuer (MV) 5.0 1.3 Compliant Max Maturity (Years) 5 3 Compliant Min Rating (A- by 1) Compliant	Max % (MV)	25.0	0.0	Compliant	
CORPORATE MEDIUM TERM NOTES Max % (MV) 30.0 24.5 Compliant Max % Issuer (MV) 5.0 1.3 Compliant Max Maturity (Years) 5 3 Compliant Min Rating (A- by 1) 0.0 0.0 Compliant FDIC INSURED TIME DEPOSITS (NON-NEGOTIABLE CD/TD) Max % (MV) 20.0 0.0 Compliant	Max % Issuer (MV)	5.0	0.0	Compliant	
Max % (MV) 30.0 24.5 Compliant Max % Issuer (MV) 5.0 1.3 Compliant Max Maturity (Years) 5 3 Compliant Min Rating (A- by 1) 0.0 0.0 Compliant FDIC INSURED TIME DEPOSITS (NON-NEGOTIABLE CD/TD) FDIC (MX) 20.0 0.0 Compliant	Min Rating (A-1 by 1 or A- by 1)	0.0	0.0	Compliant	
Max % Issuer (MV) Max Maturity (Years) 5 3 Compliant Min Rating (A- by 1) FOIC INSURED TIME DEPOSITS (NON-NEGOTIABLE CD/ FOID) Max % (MV) 20.0 0.0 Compliant Compliant Compliant Compliant Compliant Compliant	CORPORATE MEDIUM TERM NOTES				
Max Maturity (Years) 5 3 Compliant Min Rating (A- by 1) 0.0 0.0 Compliant FOIC INSURED TIME DEPOSITS (NON-NEGOTIABLE CD/ FD) Max % (MV) 20.0 0.0 Compliant	Max % (MV)	30.0	24.5	Compliant	
Min Rating (A- by 1) 0.0 0.0 Compliant FDIC INSURED TIME DEPOSITS (NON-NEGOTIABLE CD/ FD) Max % (MV) 20.0 0.0 Compliant	Max % Issuer (MV)	5.0	1.3	Compliant	
Min Rating (A- by 1) 0.0 0.0 Compliant FDIC INSURED TIME DEPOSITS (NON-NEGOTIABLE CD/ FD) Max % (MV) 20.0 0.0 Compliant	Max Maturity (Years)	5	3	Compliant	
FDIC INSURED TIME DEPOSITS (NON-NEGOTIABLE CD/FD) Max % (MV) 20.0 0.0 Compliant	Min Rating (A- by 1)	0.0	0.0		
· ,	FDIC INSURED TIME DEPOSITS (NON-NEGOTIABLE CD/TD)				
Max % Issuer (MV) 5.0 0.0 Compliant	Max % (MV)	20.0	0.0	Compliant	
	Max % Issuer (MV)	5.0	0.0	Compliant	

STATEMENT OF COMPLIANCE

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Rules Name	Limit	Actual	Compliance Status	Notes
Max Maturity (Years)	5	0.0	Compliant	
FEDERAL AGENCIES				
Max % (MV)	100.0	20.4	Compliant	
Max % Issuer (MV)	100.0	11.1	Compliant	
Max Callables (MV)	20.0	0.0	Compliant	
Max Maturity (Years)	5	4	Compliant	
LOCAL AGENCY INVESTMENT FUND (LAIF)				
Max Concentration (MV)	75.0	0.0	Compliant	
LOCAL GOVERNMENT INVESTMENT POOL (LGIP)				
Max % (MV)	100.0	0.0	Compliant	
Max % Issuer (MV)	10.0	0.0	Compliant	
MONEY MARKET MUTUAL FUNDS				
Max % (MV; Money Market Fund & Mutual Fund)	20.0	0.4	Compliant	
Max % Issuer (MV)	20.0	0.4	Compliant	
Min Rating (AAA by 2)	0.0	0.0	Compliant	
MORTGAGE-BACKED SECURITIES (NON-AGENCY)				
Max % (MV)	20.0	0.0	Compliant	
Max % Issuer (MV)	5.0	0.0	Compliant	
Max Maturity (Years)	5.0	0.0	Compliant	
Min Rating (AA- by 1)	0.0	0.0	Compliant	
MUNICIPAL SECURITIES				
Max % (MV)	30.0	0.0	Compliant	
Max % Issuer (MV)	5.0	0.0	Compliant	
Max Maturity (Years)	5.0	0.0	Compliant	
Min Rating (A- by 1)	0.0	0.0	Compliant	
MUTUAL FUNDS				
Max % (MV; Money Market Fund & Mutual Fund)	20.0	0.4	Compliant	
Max % Issuer (MV)	10.0	0.0	Compliant	
Min Rating (AAA by 2)	0.0	0.0	Compliant	
NEGOTIABLE CERTIFICATES OF DEPOSIT (NCD)				
Max % (MV)	30.0	0.0	Compliant	
Max % Issuer (MV)	5.0	0.0	Compliant	
Max Maturity (Years)	5	0.0	Compliant	
Min Rating (A-1 or A- by 1)	0.0	0.0	Compliant	

STATEMENT OF COMPLIANCE



Rules Name	Limit	Actual	Compliance Status	Notes
REPURCHASE AGREEMENTS				
Max % (MV)	100.0	0.0	Compliant	
Max % Issuer (MV)	5.0	0.0	Compliant	
Max Maturity (Years)	1.0	0.0	Compliant	
SRI PROHIBITED INVESTMENTS				
Prohibited Investment - Fossil Fuels	0.0	0.0	Compliant	
SUPRANATIONAL OBLIGATIONS				
Max % (MV)	30.0	2.6	Compliant	
Max % Issuer (MV)	10.0	1.0	Compliant	
Max Maturity (Years)	5	3	Compliant	
Min Rating (AA- by 1)	0.0	0.0	Compliant	
U.S. TREASURIES				
Max % (MV)	100.0	37.4	Compliant	
Max % Issuer (MV)	100.0	37.4	Compliant	
Max Maturity (Years)	5	4	Compliant	

RECONCILIATION SUMMARY



City of Imperial Beach | Account | As of March 31, 2025

Maturities / Calls	
Month to Date	0.00
Fiscal Year to Date	(4,440,000.00)
Principal Paydowns	
Month to Date	(46,597.12)
Fiscal Year to Date	(357,438.11)
Purchases	
Month to Date	1,454,243.38
Fiscal Year to Date	13,023,099.74
Sales	
Month to Date	(1,319,342.52)
Fiscal Year to Date	(7,655,730.70)
Interest Received	
Month to Date	96,140.33

606,143.75

(5,716.64) (17,404.62)

Accrual Activity Summary

	Month to Date	Fiscal Year to Date (07/01/2024)
Beginning Book Value	23,942,066.82	23,360,363.10
Maturities/Calls	0.00	(4,440,000.00)
Principal Paydowns	(46,597.12)	(357,438.11)
Purchases	1,454,243.38	13,023,099.74
Sales	(1,319,342.52)	(7,655,730.70)
Change in Cash, Payables, Receivables	139.69	(7,535.82)
Amortization/Accretion	12,050.77	121,384.62
Realized Gain (Loss)	(852.48)	(2,434.29)
Ending Book Value	24,041,708.54	24,041,708.54

Fair Market Activity Summary

	Month to Date	Fiscal Year to Date (07/01/2024)
Beginning Market Value	24,068,008.06	23,182,311.19
Maturities/Calls	0.00	(4,440,000.00)
Principal Paydowns	(46,597.12)	(357,438.11)
Purchases	1,454,243.38	13,023,099.74
Sales	(1,319,342.52)	(7,655,730.70)
Change in Cash, Payables, Receivables	139.69	(7,535.82)
Amortization/Accretion	12,050.77	121,384.62
Change in Net Unrealized Gain (Loss)	29,535.98	333,529.13
Realized Gain (Loss)	(852.48)	(2,434.29)
Ending Market Value	24,197,185.76	24,197,185.76

Fiscal Year to Date

Month to Date

Fiscal Year to Date

Purchased / Sold Interest

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Cusip	Security Description	Par Value/ Units	Purchase Date Purchase Yield	Cost Value Book Value		Market Value Accrued Int.	% of Port. Gain/Loss	Moody's/ S&P/ Fitch	Maturity Duration
ABS									
43815GAC3	HAROT 2021-4 A3 0.88 01/21/2026	2,047.02	11/16/2021 0.89%	2,046.59 2,046.94	99.66 4.86%	2,040.06 0.50	0.01% (6.88)	AAA/NA AAA	0.81 0.08
47789QAC4	JDOT 2021-B A3 0.52 03/16/2026	1,083.05	07/13/2021 0.52%	1,082.95 1,083.04	99.82 5.22%	1,081.10 0.25	0.00% (1.94)	AAA/NA AAA	0.96 0.04
89238JAC9	TAOT 2021-D A3 0.71 04/15/2026	2,294.64	11/09/2021 0.95%	2,294.60 2,294.64	99.71 4.86%	2,288.01 0.72	0.01% (6.63)	NA/AAA AAA	1.04 0.07
05602RAD3	BMWOT 2022-A A3 3.21 08/25/2026	9,027.34	05/10/2022 3.63%	9,026.87 9,027.21	99.68 4.55%	8,998.47 4.83	0.04% (28.74)	AAA/AAA NA	1.40 0.24
47787JAC2	JDOT 2022 A3 2.32 09/15/2026	9,609.55	03/10/2022 2.34%	9,607.43 9,608.91	99.48 4.16%	9,559.40 9.91	0.04% (49.51)	AAA/NA AAA	1.46 0.28
362554AC1	GMCAR 2021-4 A3 0.68 09/16/2026	3,093.60	10/13/2021 0.68%	3,093.52 3,093.59	99.47 4.91%	3,077.36 0.88	0.01% (16.23)	AAA/AAA NA	1.46 0.12
448977AD0	HART 2022-A A3 2.22 10/15/2026	17,227.16	03/09/2022 2.23%	17,226.50 17,226.99	99.56 4.39%	17,151.71 17.00	0.07% (75.28)	NA/AAA AAA	1.54 0.20
380146AC4	GMCAR 2022-1 A3 1.26 11/16/2026	3,672.28	01/11/2022 1.24%	3,671.97 3,672.21	99.47 4.55%	3,652.96 1.93	0.02% (19.25)	NA/AAA AAA	1.63 0.16
362585AC5	GMCAR 2022-2 A3 3.1 02/16/2027	13,146.27	04/05/2022 3.16%	13,143.52 13,145.42	99.49 4.67%	13,078.65 16.98	0.05%	AAA/AAA NA	1.88 0.33
43815JAC7	HAROT 2023-1 A3 5.04 04/21/2027	33,647.09	02/16/2023 5.09%	33,640.84 33,644.00	100.23 4.68%	33,723.46 47.11	0.14% 79.47	AAA/NA AAA	2.06 0.55
02582JJT8	AMXCA 2022-2 A 3.39 05/17/2027	110,000.00	05/17/2022 3.42%	109,975.67 109,998.58	99.84 4.72%	109,827.41 165.73	0.45% (171.17)	NA/AAA AAA	0.12 0.12
58768PAC8	MBART 2022-1 A3 5.21 08/16/2027	46,400.92	02/15/2023 5.03%	46,640.17 46,497.27	100.29 4.70%	46,536.46 107.44	0.19% 39.19	AAA/AAA NA	2.38 0.51
38012QAD0	GMALT 2024-3 A3 4.21 10/20/2027	65,000.00	09/24/2024 4.61%	64,992.31 64,993.56	99.77 4.42%	64,847.32 83.62	0.27% (146.25)	NA/AAA AAA	2.56 1.33
47800CAC0	JDOT 2023 A3 5.01 11/15/2027	60,653.74	02/22/2023	60,642.69 60,647.58	100.29 4.66%	60,829.57 135.06	0.25% 181.99	AAA/NA AAA	2.63 0.71
58770JAD6	MBALT 2024-A A3 5.32 01/18/2028	60,000.00	05/17/2024 5.73%	59,992.98 59,994.63	101.19 4.52%	60,716.10 141.87	0.25% 721.47	AAA/NA AAA	2.80 1.38
58769GAD5	MBALT 2024-B A3 4.23 02/15/2028	95,000.00	09/17/2024 4.24%	94,984.01 94,986.44	99.83 4.39%	94,836.43 178.60	0.39% (150.01)	NA/AAA AAA	2.88 1.36
362583AD8	GMCAR 2023-2 A3 4.47 02/16/2028	58,306.02	04/04/2023 4.51%	58,304.42 58,305.07	99.95 4.59%	58,276.76 108.60	0.24% (28.31)	AAA/AAA NA	2.88 0.66

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Cusip	Security Description	Par Value/ Units	Purchase Date Purchase Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody's/ S&P/ Fitch	Maturity Duration
36271VAD9	GMALT 2025-1 A3 4.66	100,000.00	02/05/2025	99,988.20	100.46	100,464.49	0.42%	NA/AAA	2.90
30271VAD3	02/21/2028	100,000.00	4.66%	99,988.71	4.43%	142.39	475.78	AAA	1.66
438123AC5	HAROT 2023-4 A3 5.67	75,000.00	11/01/2023	74,986.79	101.20	75,903.53	0.31%	AAA/NA	3.22
436123AC3	06/21/2028	73,000.00	5.74%	74,990.78	4.66%	118.13	912.74	AAA	1.11
89239FAD4	TAOT 2023-D A3 5.54	60,000.00	11/07/2023	59,993.53	101.51	60,903.55	0.25%	NA/AAA	3.38
032331AD4	08/15/2028	00,000.00	6.30%	59,995.41	4.40%	147.73	908.14	AAA	1.25
161571HT4	CHAIT 2023-1 A 5.16 09/15/2028	245,000.00	09/07/2023	244,932.09	101.13	247,775.36	1.02%	NA/AAA	3.46
1013/11114	CHAIT 2023-1 A 3.10 03/13/2028	243,000.00	5.17%	244,953.06	4.39%	561.87	2,822.30	AAA	1.37
096919AD7	BMWOT 2024-A A3 5.18	105,000.00	06/04/2024	104,984.05	101.24	106,299.49	0.44%	AAA/AAA	3.91
030313AD7	02/26/2029	103,000.00	5.24%	104,986.77	4.40%	90.65	1,312.72	NA	1.47
05522RDJ4	BACCT 2024-1 A 4.93	120,000.00	06/06/2024	119,993.27	101.31	121,570.64	0.50%	AAA/AAA	4.12
03322NDJ4	05/15/2029	120,000.00	4.93%	119,994.38	4.32%	262.93	1,576.26	NA	1.97
47800DAD6	JDOT 2025 A3 4.23 09/17/2029	115,000.00	03/04/2025	114,992.77	99.92	114,909.40	0.47%	AAA/NA	4.47
47600DAD6	JDO1 2023 A3 4.23 09/17/2029	113,000.00	5.09%	114,992.86	4.30%	311.14	(83.46)	AAA	2.38
0060244D7	BMWOT 2025-A A3 4.56	160,000.00	02/04/2025	159,984.24	100.47	160,748.98	0.66%	AAA/AAA	4.49
096924AD7	09/25/2029	160,000.00	4.56%	159,984.69	4.37%	121.60	764.29	NA	2.02
				1,570,221.96	100.57	1,579,096.66	6.53%		3.15
Total ABS		1,570,208.68	4.74%	1,570,152.75	4.46%	2,777.45	8,943.91		1.34
AGENCY									
242500577	FEDERAL NATIONAL MORTGAGE	252 222 22	03/07/2022	238,280.00	98.46	246,157.59	1.02%	AAA/AA	0.40
3135G05X7	ASSOCIATION 0.375 08/25/2025	250,000.00	1.76%	248,648.40	4.28%	93.75	(2,490.81)	AA	0.39
242250072	FEDERAL FARM CREDIT BANKS	1 000 000 00	08/19/2024	998,060.00	99.98	999,811.93	4.13%	AAA/AA	0.64
3133ERPX3	FUNDING CORP 4.25 11/19/2025	1,000,000.00	4.42%	999,012.98	4.27%	15,583.33	798.95	AA	0.61
2422500116	FEDERAL FARM CREDIT BANKS	250.000.00	08/09/2023	249,425.00	100.67	251,662.56	1.04%	AAA/AA	1.37
3133EPSW6	FUNDING CORP 4.5 08/14/2026	250,000.00	4.58%	249,737.68	3.99%	1,468.75	1,924.88	AA	1.31
2420414/T02	FEDERAL HOME LOAN BANKS	1 000 000 00	09/13/2023	994,820.00	100.88	1,008,769.39	4.17%	AAA/AA	1.45
3130AWTQ3	4.625 09/11/2026	1,000,000.00	4.81%	997,497.68	3.99%	2,569.44	11,271.71	AA	1.38
242047015	FEDERAL HOME LOAN BANKS	250 000 00	12/27/2023	255,720.00	101.50	253,759.62	1.05%	AAA/AA	1.70
3130AXQL5	4.875 12/11/2026	250,000.00	4.04%	253,281.45	3.95%	3,723.96	478.17	AA	1.59
21222155	FEDERAL HOME LOAN BANKS		06/26/2024	500,765.00	101.52	507,622.92	2.10%	AAA/AA	2.20
3130B1EF0	4.625 06/11/2027	500,000.00	4.57%	500,567.90	3.89%	7,065.97	7,055.02	AA	2.05
2420414:22:	FEDERAL HOME LOAN BANKS 4.0	400 000 55	07/06/2023	391,388.00	100.25	401,000.67	1.66%	AAA/AA	3.19
3130AWC24	06/09/2028	400,000.00	4.49%	394,413.71	3.91%	4,977.78	6,586.96	AA	2.93
			00/07/2022		101.48	507,420.47	2.10%	AAA/AA	3.44
3130AWTR1	FEDERAL HOME LOAN BANKS	500,000.00	09/07/2023	497,450.00	101.40	307,420.47	2.10/0	$\wedge \wedge \wedge / \wedge \wedge$	J.77

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Cusip	Security Description	Par Value/ Units	Purchase Date Purchase Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody's/ S&P/ Fitch	Maturity Duration
3133EPWK7	FEDERAL FARM CREDIT BANKS	250,000.00	10/12/2023	247,682.50	101.62	254,058.02	1.05%	AAA/AA	3.48
	FUNDING CORP 4.5 09/22/2028		4.71%	248,367.60	3.99%	281.25	5,690.43	AA	3.19
3133ERAK7	FEDERAL FARM CREDIT BANKS FUNDING CORP 4.375 04/10/2029	500,000.00	04/22/2024 4.71%	492,720.00 494,097.30	101.55 3.95%	507,751.35 10,390.63	2.10% 13,654.05	AAA/AA AA	4.03 3.59
Total Agency		4,900,000.00	4.43%	4,866,310.50 4,883,871.66	100.78 4.03%	4,938,014.51 47,552.43	20.41% 54,142.86		2.03 1.88
AGENCY CMBS									
3137BKRJ1	FHMS K-047 A2 3.329 05/25/2025	74,280.20	05/19/2022 3.04%	74,709.64 74,292.21	99.69 3.98%	74,047.10 206.07	0.31% (245.11)	AAA/AA AAA	0.15 0.15
	FHMS K-052 A2 3.151		02/10/2023	231,788.82	99.15	238,176.47	0.98%	AAA/AA	0.65
3137BMTX4	11/25/2025	240,224.85	4.54%	238,401.30	4.49%	630.79	(224.83)	AAA	0.49
3137BNGT5	FHMS K-054 A2 2.745 01/25/2026	235,366.65	02/15/2023 4.64%	223,497.19 232,243.11	98.64 4.40%	232,171.83 538.40	0.96% (71.28)	AAA/AA AAA	0.82 0.72
3137BQYS0	FHMS K-056 A2 2.525 05/25/2026	250,000.00	02/08/2023 4.30%	236,826.17 245,563.80	98.11 4.31%	245,274.50 526.04	1.01% (289.30)	AAA/AA AAA	1.15 0.98
3137BSP72	FHMS K-058 A2 2.653 08/25/2026	250,000.00	01/31/2023 4.11%	237,910.16 245,382.16	97.75 4.26%	244,373.93 552.71	1.01% (1,008.23)	AAA/AA AAA	1.40 1.31
3137BVZ82	FHMS K-063 A2 3.43 01/25/2027	250,000.00	02/08/2023	242,861.33 246,778.03	98.53 4.24%	246,324.05 714.58	1.02% (453.98)	AAA/AA AAA	1.82 1.60
3137FBBX3	FHMS K-068 A2 3.244	250,000.00	05/12/2023	242,705.08	97.84	244,611.50	1.01%	AAA/AA	2.40
	08/25/2027		3.98% 05/24/2023	245,956.23 211,440.63	4.16% 97.65	675.83 214,840.93	(1,344.73)	AAA/AA	2.20
3137FETN0	FHMS K-073 A2 3.35 01/25/2028	220,000.00	4.27%	214,870.50	4.22%	614.17	(29.57)	AAA/AA	2.54
3137FLMV3	FHMS K-090 A2 3.422 02/25/2029	250,000.00	03/27/2025 4.36%	241,503.91 241,509.97	96.96 4.26%	242,396.40 712.92	1.00% 886.43	AAA/AAA AA	3.91 3.53
Total Agency CMBS		2,019,871.70	4.25%	1,943,242.93 1,984,997.31	98.14 4.28%	1,982,216.72 5,171.51	8.19% (2,780.59)		1.80 1.61
							., -1		
CASH									
CCYUSD	Receivable	447.81	0.00%	447.81 447.81	1.00 0.00%	447.81 0.00	0.00% 0.00	AAA/AAA AAA	0.00 0.00
Total Cash		447.81	0.00%	447.81 447.81	1.00 0.00%	447.81 0.00	0.00% 0.00		0.00

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Cusip	Security Description	Par Value/ Units	Purchase Date Purchase Yield	Cost Value Book Value		Market Value Accrued Int.	% of Port. Gain/Loss	Moody's/ S&P/ Fitch	Maturity Duration
CORPORATE									
69371RR73	PACCAR FINANCIAL CORP 2.85 04/07/2025	70,000.00	03/31/2022 2.86%	69,981.80 69,999.90	99.97 4.49%	69,980.14 964.25	0.29% (19.76)	A/A NA	0.02 0.02
87612EBL9	TARGET CORP 2.25 04/15/2025	150,000.00	02/17/2022 2.08%	150,739.50 150,000.00	99.90 4.82%	149,847.39 1,556.25	0.62% (152.61)	A/A A	0.04 0.04
06406RBC0	BANK OF NEW YORK MELLON CORP 3.35 04/25/2025	110,000.00	04/19/2022 3.35%	109,984.60 109,999.66	99.89 4.91%	109,880.70 1,596.83	0.45% (118.96)	AA/A AA	0.07 0.07
438516CB0	HONEYWELL INTERNATIONAL INC 1.35 06/01/2025	150,000.00	03/09/2022 2.30%	145,542.00 149,769.15	99.42 4.82%	149,133.34 675.00	0.62% (635.81)	A/A A	0.17 0.17
594918BJ2	MICROSOFT CORP 3.125 11/03/2025	250,000.00	01/27/2023 4.27%	242,652.50 248,423.97	99.39 4.18%	248,470.91 3,211.81	1.03% 46.93	AAA/AAA NA	0.59 0.57
92826CAD4	VISA INC 3.15 12/14/2025	200,000.00	02/09/2023 4.50%	192,858.00 198,226.58	99.23 4.27%	198,456.65 1,872.50	0.82% 230.07	AA/AA NA	0.71 0.68
713448FQ6	PEPSICO INC 4.55 02/13/2026	45,000.00	02/13/2023 4.57%	44,973.90 44,992.41	100.21 4.30%	45,093.65 273.00	0.19% 101.24	A/A NA	0.87 0.76
037833BY5	APPLE INC 3.25 02/23/2026	250,000.00	02/01/2023 4.27%	242,755.00 247,870.65	99.14 4.24%	247,848.69 857.64	1.02% (21.96)	AAA/AA NA	0.90 0.87
00440EAV9	CHUBB INA HOLDINGS LLC 3.35 05/03/2026	200,000.00	03/09/2023 5.09%	190,024.00 196,547.10	98.92 4.37%	197,843.34 2,754.44	0.82% 1,296.23	A/A A	1.09 1.04
89236TJK2	TOYOTA MOTOR CREDIT CORP 1.125 06/18/2026	150,000.00	01/11/2023 4.55%	133,867.50 144,291.78	96.29 4.30%	144,428.75 482.81	0.60% 136.98	A/A A	1.22 1.18
74340XBU4	PROLOGIS LP 3.25 06/30/2026	200,000.00	01/27/2023 4.42%	192,662.00 197,320.39	98.65 4.37%	197,292.59 1,643.06	0.82% (27.80)	A/A NA	1.25 1.20
857477CD3	STATE STREET CORP 5.272 08/03/2026	100,000.00	07/31/2023 5.27%	100,000.00 100,000.00	101.13 4.39%	101,129.36 849.38	0.42% 1,129.36	AA/A AA	1.34 1.20
69371RS56	PACCAR FINANCIAL CORP 5.05 08/10/2026	215,000.00	08/03/2023 5.07%	214,892.50 214,951.35	101.07 4.23%	217,300.87 1,538.15	0.90% 2,349.52	A/A NA	1.36 1.29
06428CAA2	BANK OF AMERICA NA 5.526 08/18/2026	250,000.00	09/12/2023 5.54%	249,922.50 249,963.46	101.61 4.31%	254,020.61 1,650.13	1.05% 4,057.15	AA/A AA	1.38 1.23
437076CV2	HOME DEPOT INC 4.95 09/30/2026	80,000.00	11/27/2023 5.04%	79,824.80 79,907.05	101.05 4.22%	80,836.32 11.00	0.33% 929.28	A/A A	1.50 1.35
61690U7W4	MORGAN STANLEY BANK NA 5.882 10/30/2026	250,000.00	10/31/2023 5.87%	250,077.50 250,040.03	102.21 4.42%	255,527.80 6,167.93	1.06% 5,487.77	AA/A AA	1.58 1.39
713448FW3	PEPSICO INC 5.125 11/10/2026	90,000.00	11/08/2023 5.13%	89,975.70 89,986.96	101.38 4.23%	91,238.35 1,806.56	0.38% 1,251.39	A/A NA	1.61 1.43



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Cusip	Security Description	Par Value/ Units	Purchase Date Purchase Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody's/ S&P/ Fitch	Maturity Duration
89115A2V3	TORONTO-DOMINION BANK 5.264 12/11/2026	115,000.00	12/04/2023 5.26%	115,000.00 115,000.00	101.35 4.42%	116,552.84 1,849.71	0.48% 1,552.84	A/A AA	1.70 1.58
24422EXF1	JOHN DEERE CAPITAL CORP 4.5 01/08/2027	250,000.00	01/18/2024 4.52%	249,852.50 249,911.72	100.58 4.15%	251,460.29 2,593.75	1.04% 1,548.57	A/A A	1.77 1.67
78016HZT0	ROYAL BANK OF CANADA 4.875 01/19/2027	215,000.00	01/10/2024 4.88%	214,946.25 214,967.73	100.90 4.35%	216,929.07 2,096.25	0.90% 1,961.34	A/A AA	1.80 1.69
17275RBQ4	CISCO SYSTEMS INC 4.8 02/26/2027	250,000.00	03/01/2024 4.78%	250,167.50 250,105.38	101.20 4.13%	253,007.40 1,166.67	1.05% 2,902.02	A/AA NA	1.91 1.72
857477CL5	STATE STREET CORP 4.993 03/18/2027	160,000.00	03/13/2024 4.99%	160,000.00 160,000.00	101.30 4.29%	162,087.56 288.48	0.67% 2,087.56	AA/A AA	1.96 1.78
665859AW4	NORTHERN TRUST CORP 4.0 05/10/2027	150,000.00	10/13/2022 5.00%	143,916.00 147,190.03	99.55 4.23%	149,319.28 2,350.00	0.62% 2,129.25	A/A A	2.11 1.97
14913UAL4	CATERPILLAR FINANCIAL SERVICES CORP 5.0 05/14/2027	250,000.00	05/17/2024 4.93%	250,490.00 250,348.13	101.59 4.21%	253,970.24 4,756.94	1.05% 3,622.11	A/A A	2.12 1.96
437076DB5	HOME DEPOT INC 4.875 06/25/2027	200,000.00	4.94%	199,626.55 199,722.04	101.41 4.21%	202,812.29 2,600.00	0.84% 3,090.24	A/A A	2.24 2.00
09290DAH4	BLACKROCK INC 4.6 07/26/2027	300,000.00	07/23/2024 4.57%	300,240.00 300,183.89	100.79 4.24%	302,360.21 2,491.67	1.25% 2,176.32	AA/AA NA	2.32 2.09
023135BC9	AMAZON.COM INC 3.15 08/22/2027	250,000.00	07/10/2024 4.73%	238,730.00 241,316.23	97.79 4.13%	244,467.98 853.13	1.01% 3,151.74	A/AA AA	2.39 2.27
89236TKJ3	TOYOTA MOTOR CREDIT CORP 4.55 09/20/2027	150,000.00	06/20/2024 4.89%	148,485.00 148,847.78	100.49 4.34%	150,732.99 208.54	0.62% 1,885.21	A/A A	2.47 2.31
91324PDE9	UNITEDHEALTH GROUP INC 2.95 10/15/2027	240,000.00	07/30/2024 4.60%	228,345.60 230,774.01	96.78 4.30%	232,264.88 3,264.67	0.96% 1,490.87	A/A A	2.54 2.38
57636QBA1	MASTERCARD INC 4.1 01/15/2028	250,000.00	09/19/2024 3.76%	252,557.50 252,139.55	99.81 4.17%	249,514.03 2,163.89	1.03% (2,625.52)	AA/A NA	2.79 2.59
46647PEU6	JPMORGAN CHASE & CO 4.915 01/24/2029	250,000.00	 4.92%	249,932.90 249,936.83	100.95 4.70%	252,377.20 2,286.84	1.04% 2,440.37	A/A AA	3.82 2.58
06368MJG0	BANK OF MONTREAL 5.004 01/27/2029	120,000.00	01/22/2025 5.01%	120,000.00 120,000.00	101.04 4.71%	121,242.97 1,067.52	0.50% 1,242.97	A/A AA	3.83 2.59
Total Corporate		5,910,000.00	4.62%	5,823,023.60 5,872,733.79	100.15 4.33%	5,917,428.67 57,948.79	24.46% 44,694.89		1.72 1.53

MONEY MARKET FUND

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Cusip	Security Description	Par Value/ Units	Purchase Date Purchase Yield	Cost Value Book Value	Mkt Price Mkt YTM	Market Value Accrued Int.	% of Port. Gain/Loss	Moody's/ S&P/ Fitch	Maturity Duration
31846V203	FIRST AMER:GVT OBLG Y	98,772.07	 3.97%	98,772.07 98,772.07	1.00 3.97%	98,772.07 0.00	0.41% 0.00	AAA/AAA AAA	0.00
Total Money			3.37/0	98,772.07	1.00	98,772.07	0.41%	AAA	0.00
Market Fund		98,772.07	3.97%	98,772.07	3.97%	0.00	0.00		0.00
SUPRANATIONA									
4581X0EK0	INTER-AMERICAN DEVELOPMENT BANK 4.5 05/15/2026	150,000.00	06/27/2023 4.53%	149,884.50 149,954.75	100.44 4.09%	150,663.04 2,550.00	0.62% 708.29	AAA/AAA NA	1.12 1.07
45950KDF4	INTERNATIONAL FINANCE CORP 4.375 01/15/2027	230,000.00	11/29/2023 4.49%	229,250.20 229,568.34	100.62 4.01%	231,419.65 2,124.79	0.96% 1,851.31	AAA/AAA NA	1.79 1.69
459058KT9	INTERNATIONAL BANK FOR RECONSTRUCTION AND DEVELOPM 3.5 07/12/2028	250,000.00	09/28/2023 4.82%	236,022.50 240,403.99	98.51 3.99%	246,283.26 1,920.14	1.02% 5,879.27	AAA/AAA NA	3.28 3.04
Total Supranational		630,000.00	4.63%	615,157.20 619,927.07	99.75 4.02%	628,365.94 6,594.93	2.60% 8,438.87		2.22 2.07
US TREASURY									
91282CEH0	UNITED STATES TREASURY 2.625 04/15/2025	1,000,000.00	04/12/2024 5.12%	975,937.50 999,077.05	99.93 4.36%	999,314.03 12,115.38	4.13% 236.98	AAA/AA AA	0.04 0.04
912828ZT0	UNITED STATES TREASURY 0.25 05/31/2025	250,000.00	10/14/2021 0.78%	245,244.14 249,784.48	99.33 4.34%	248,326.82 209.48	1.03% (1,457.65)	AAA/AA AA	0.17 0.16
91282CAB7	UNITED STATES TREASURY 0.25 07/31/2025	250,000.00	12/02/2021 4.30%	242,753.91 249,343.73	98.66 4.32%	246,648.44 103.59	1.02% (2,695.29)	AAA/AA AA	0.33 0.33
9128285C0	UNITED STATES TREASURY 3.0 09/30/2025	250,000.00	05/05/2022 2.99%	250,097.66 250,014.30	99.40 4.23%	248,507.81 20.49	1.03% (1,506.49)	AAA/AA AA	0.50 0.49
9128285J5	UNITED STATES TREASURY 3.0 10/31/2025	250,000.00	06/09/2022 3.05%	249,580.08 249,927.64	99.32 4.20%	248,289.06 3,149.17	1.03% (1,638.57)	AAA/AA AA	0.59 0.56
9128286S4	UNITED STATES TREASURY 2.375 04/30/2026	350,000.00	01/27/2023 3.84%	334,496.09 344,849.46	98.25 4.05%	343,868.16 3,490.33	1.42% (981.30)	AAA/AA AA	1.08 1.04
9128282A7	UNITED STATES TREASURY 1.5 08/15/2026	350,000.00	01/27/2023 3.83%	323,175.78 339,606.39	96.71 3.98%	338,501.95 652.62	1.40% (1,104.44)	AAA/AA AA	1.38 1.34
91282CLS8	UNITED STATES TREASURY 4.125 10/31/2026	1,000,000.00	11/06/2024 4.29%	996,953.13 997,564.19	100.25 3.96%	1,002,500.00 17,320.44	4.14% 4,935.81	AAA/AA AA	1.59 1.49
912828U24	UNITED STATES TREASURY 2.0 11/15/2026	250,000.00	01/27/2023 3.79%	234,355.47 243,301.66	96.97 3.95%	242,422.00 1,892.27	1.00% (879.66)	AAA/AA AA	1.63 1.56

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Cusip	Security Description	Par Value/ Units	Purchase Date Purchase Yield	Cost Value Book Value		Market Value Accrued Int.	% of Port. Gain/Loss	Moody's/ S&P/ Fitch	Maturity Duration
91282CEF4	UNITED STATES TREASURY 2.5	250.000.00	10/21/2022	231,025.39	97.34	243,359.50	1.01%	AAA/AA	2.00
	03/31/2027		4.27%	241,450.87	3.90%	17.08	1,908.63	AA	1.92
91282CKJ9	UNITED STATES TREASURY 4.5	250,000.00	05/21/2024	249,287.11	101.15	252,880.86	1.05%	AAA/AA	2.04
	04/15/2027		4.60%	249,498.69	3.91%	5,192.31	3,382.17	AA	1.89
91282CEW7	UNITED STATES TREASURY 3.25	250,000.00	10/13/2022	239,277.34	98.66	246,640.75	1.02%	AAA/AA	2.25
	06/30/2027	<u>, </u>	4.26%	244,876.12	3.88%	2,042.47	1,764.63	AA	2.13
91282CFH9	UNITED STATES TREASURY 3.125	250,000.00	01/20/2023	245,068.36	98.23	245,566.41	1.01%	AAA/AA	2.42
	08/31/2027	<u> </u>	3.59%	247,412.43	3.90%	679.35	(1,846.02)	AA	2.29
91282CFM8	UNITED STATES TREASURY 4.125	1,000,000.00	10/11/2023	979,570.31	100.58	1,005,820.31	4.16%	AAA/AA	2.50
	09/30/2027		4.70%	987,141.56	3.88%	112.70	18,678.75	AA	2.35
9128283F5	UNITED STATES TREASURY 2.25	275,000.00	11/26/2024	259,832.03	95.93	263,806.64	1.09%	AAA/AA	2.63
	11/15/2027	<u> </u>	4.25%	261,582.72	3.90%	2,341.68	2,223.92	AA	2.49
91282CGT2	UNITED STATES TREASURY 3.625	475,000.00	03/06/2025	469,452.15	99.27	471,548.83	1.95%	AAA/AA	3.00
	03/31/2028		4.03%	469,575.99	3.88%	47.05	1,972.84	AA	2.81
9128284V9	UNITED STATES TREASURY 2.875	500,000.00	02/09/2024	473,593.75	96.77	483,867.19	2.00%	AAA/AA	3.38
	08/15/2028	<u> </u>	4.17%	480,235.42	3.90%	1,786.95	3,631.77	AA	3.17
9128285M8	UNITED STATES TREASURY 3.125	400,000.00	03/18/2024	378,906.25	97.36	389,437.50	1.61%	AAA/AA	3.63
	11/15/2028	<u> </u>	4.39%	383,591.00	3.91%	4,730.66	5,846.50	AA	3.34
91282CES6	UNITED STATES TREASURY 2.75	250,000.00	09/27/2024	241,708.98	95.51	238,779.30	0.99%	AAA/AA	4.17
	05/31/2029		3.53%	242,599.39	3.93%	2,304.26	(3,820.09)	AA	3.85
91282CLC3	UNITED STATES TREASURY 4.0	400,000.00	10/30/2024	398,062.50	100.26	401,046.88	1.66%	AAA/AA	4.33
	07/31/2029		4.30%	398,232.34	3.93%	2,651.93	2,814.54	AA	3.92
91282CFJ5	UNITED STATES TREASURY 3.125	250,000.00	12/18/2024	238,095.70	96.74	241,845.70	1.00%	AAA/AA	4.42
	08/31/2029		4.25%	238,803.71	3.94%	679.35	3,041.99	AA	4.06
91282CFT3	UNITED STATES TREASURY 4.0	350,000.00	02/07/2025	344,791.02	100.22	350,779.30	1.45%	AAA/AA	4.59
	10/31/2029		4.33%	344,942.09	3.95%	5,878.45	5,837.20	AA	4.08
91282CFY2	UNITED STATES TREASURY 3.875	300,000.00	03/18/2025	297,375.00	99.70	299,085.94	1.24%	AAA/AA	4.67
	11/30/2029		4.08%	297,394.87	3.95%	3,896.29	1,691.06	AA	4.18
				8,898,639.65	98.96	9,052,843.38	37.41%		2.20
Total US Treasury		9,150,000.00	4.16%	9,010,806.09	4.01%	71,314.31	42,037.29		2.04
				23,815,815.72	99.28	24,197,185.76	100.00%		2.07
Total Portfolio		24,279,300.26	4.38%	24,041,708.54	4.14%	191,359.41	155,477.23		1.80
Total Market		· ·				,			
Value + Accrued						24,388,545.17			

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Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Price	Acq/Disp Yield	Amount	Interest Pur/ Sold	Total Amount	Gain/Loss
ACQUISITIONS										
Purchase	03/04/2025	31846V203	308.12	FIRST AMER:GVT OBLG Y	1.000	3.99%	(308.12)	0.00	(308.12)	0.00
Purchase	03/07/2025	91282CGT2	475,000.00	UNITED STATES TREASURY 3.625 03/31/2028	98.832	4.03%	(469,452.15)	(7,474.07)	(476,926.22)	0.00
Purchase	03/10/2025	31846V203	10,937.50	FIRST AMER:GVT OBLG Y	1.000	3.97%	(10,937.50)	0.00	(10,937.50)	0.00
Purchase	03/11/2025	47800DAD6	115,000.00	JDOT 2025 A3 4.23 09/17/2029	99.994	5.09%	(114,992.77)	0.00	(114,992.77)	0.00
Purchase	03/17/2025	31846V203	5,174.85	FIRST AMER:GVT OBLG Y	1.000	3.95%	(5,174.85)	0.00	(5,174.85)	0.00
Purchase	03/17/2025	31846V203	20,820.44	FIRST AMER:GVT OBLG Y	1.000	3.95%	(20,820.44)	0.00	(20,820.44)	0.00
Purchase	03/18/2025	31846V203	3,994.40	FIRST AMER:GVT OBLG Y	1.000	3.95%	(3,994.40)	0.00	(3,994.40)	0.00
Purchase	03/19/2025	91282CFY2	300,000.00	UNITED STATES TREASURY 3.875 11/30/2029	99.125	4.08%	(297,375.00)	(3,481.11)	(300,856.11)	0.00
Purchase	03/20/2025	31846V203	3,412.50	FIRST AMER:GVT OBLG Y	1.000	3.95%	(3,412.50)	0.00	(3,412.50)	0.00
Purchase	03/20/2025	31846V203	719.93	FIRST AMER:GVT OBLG Y	1.000	3.95%	(719.93)	0.00	(719.93)	0.00
Purchase	03/21/2025	31846V203	4,726.71	FIRST AMER:GVT OBLG Y	1.000	3.95%	(4,726.71)	0.00	(4,726.71)	0.00
Purchase	03/24/2025	31846V203	5,625.00	FIRST AMER:GVT OBLG Y	1.000	3.95%	(5,625.00)	0.00	(5,625.00)	0.00
Purchase	03/25/2025	31846V203	22,060.36	FIRST AMER:GVT OBLG Y	1.000	3.94%	(22,060.36)	0.00	(22,060.36)	0.00
Purchase	03/25/2025	31846V203	3,645.12	FIRST AMER:GVT OBLG Y	1.000	3.94%	(3,645.12)	0.00	(3,645.12)	0.00
Purchase	03/28/2025	31846V203	249,494.62	FIRST AMER:GVT OBLG Y	1.000	3.97%	(249,494.62)	0.00	(249,494.62)	0.00
Purchase	03/31/2025	3137FLMV3	250,000.00	FHMS K-090 A2 3.422 02/25/2029	96.602	4.36%	(241,503.91)	(712.92)	(242,216.83)	0.00
Total Purchase			1,470,919.55				(1,454,243.38)	(11,668.10)	(1,465,911.48)	0.00
TOTAL ACQUISITIONS			1,470,919.55				(1,454,243.38)	(11,668.10)	(1,465,911.48)	0.00
DISPOSITIONS										
Sale	03/04/2025	31846V203	(6.03)	FIRST AMER:GVT OBLG Y	1.000	3.99%	6.03	0.00	6.03	0.00
Sale	03/07/2025	31846V203	(222,111.84)	FIRST AMER:GVT OBLG Y	1.000	3.99%	222,111.84	0.00	222,111.84	0.00
Sale	03/07/2025	31846V203	(2,015.78)	FIRST AMER:GVT OBLG Y	1.000	3.99%	2,015.78	0.00	2,015.78	0.00
Sale	03/07/2025	3130AUU36	(250,000.00)	FEDERAL HOME LOAN BANKS 4.125 03/13/2026	99.932	4.30%	249,830.00	(4,984.38)	254,814.38	247.97
Sale	03/11/2025	31846V203	(91,867.77)	FIRST AMER:GVT OBLG Y	1.000	3.97%	91,867.77	0.00	91,867.77	0.00

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Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Price	Acq/Disp Yield	Amount	Interest Pur/ Sold	Total Amount	Gain/Loss
Sale	03/19/2025	912828ZF0	(250,000.00)	UNITED STATES TREASURY 0.5 03/31/2025	99.887	0.63%	249,716.80	(583.79)	250,300.59	(272.39)
Sale	03/19/2025	31846V203	(50,555.52)	FIRST AMER:GVT OBLG Y	1.000	3.95%	50,555.52	0.00	50,555.52	0.00
Sale	03/28/2025	912828ZL7	(250,000.00)	UNITED STATES TREASURY 0.375 04/30/2025	99.645	0.66%	249,111.33	(383.29)	249,494.62	(825.34)
Sale	03/31/2025	31846V203	(204,127.45)	FIRST AMER:GVT OBLG Y	1.000	3.97%	204,127.45	0.00	204,127.45	0.00
Total Sale			(1,320,684.39)				1,319,342.52	(5,951.46)	1,325,293.98	(849.76)
TOTAL DISPOSITIONS			(1,320,684.39)				1,319,342.52	(5,951.46)	1,325,293.98	(849.76)
OTHER TRANSACTIONS										
Coupon	03/01/2025	3137BKRJ1	0.00	FHMS K-047 A2 3.329 05/25/2025		3.04%	247.02	0.00	247.02	0.00
Coupon	03/01/2025	3137FBBX3	0.00	FHMS K-068 A2 3.244 08/25/2027		3.98%	675.83	0.00	675.83	0.00
Coupon	03/01/2025	3137BSP72	0.00	FHMS K-058 A2 2.653 08/25/2026		4.11%	552.71	0.00	552.71	0.00
Coupon	03/01/2025	3137BVZ82	0.00	FHMS K-063 A2 3.43 01/25/2027		4.21%	714.58	0.00	714.58	0.00
Coupon	03/01/2025	3137FETN0	0.00	FHMS K-073 A2 3.35 01/25/2028		4.27%	614.17	0.00	614.17	0.00
Coupon	03/01/2025	3137BQYS0	0.00	FHMS K-056 A2 2.525 05/25/2026		4.30%	526.04	0.00	526.04	0.00
Coupon	03/01/2025	3137BMTX4	0.00	FHMS K-052 A2 3.151 11/25/2025		4.54%	637.35	0.00	637.35	0.00
Coupon	03/01/2025	3137BNGT5	0.00	FHMS K-054 A2 2.745 01/25/2026		4.64%	539.62	0.00	539.62	0.00
Coupon	03/08/2025	3130AWTR1	0.00	FEDERAL HOME LOAN BANKS 4.375 09/08/2028		4.49%	10,937.50	0.00	10,937.50	0.00
Coupon	03/11/2025	3130AWTQ3	0.00	FEDERAL HOME LOAN BANKS 4.625 09/11/2026		4.81%	23,125.00	0.00	23,125.00	0.00
Coupon	03/15/2025	47789QAC4	0.00	JDOT 2021-B A3 0.52 03/16/2026		0.52%	1.11	0.00	1.11	0.00

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Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Price Acq/Disp Yield	Amount	Interest Pur/ Sold	Total Amount	Gain/Loss
Coupon	03/15/2025	44935FAD6	0.00	HART 2021-C A3 0.74 05/15/2026	0.75%	0.39	0.00	0.39	0.00
Coupon	03/15/2025	89238JAC9	0.00	TAOT 2021-D A3 0.71 04/15/2026	0.95%	2.20	0.00	2.20	0.00
Coupon	03/15/2025	448977AD0	0.00	HART 2022-A A3 2.22 10/15/2026	2.23%	38.79	0.00	38.79	0.00
Coupon	03/15/2025	47787JAC2	0.00	JDOT 2022 A3 2.32 09/15/2026	2.34%	20.74	0.00	20.74	0.00
Coupon	03/15/2025	47800CAC0	0.00	JDOT 2023 A3 5.01 11/15/2027	3.39%	266.24	0.00	266.24	0.00
Coupon	03/15/2025	02582JJT8	0.00	AMXCA 2022-2 A 3.39 05/17/2027	3.42%	310.75	0.00	310.75	0.00
Coupon	03/15/2025	58769GAD5	0.00	MBALT 2024-B A3 4.23 02/15/2028	4.24%	334.88	0.00	334.88	0.00
Coupon	03/15/2025	05522RDJ4	0.00	BACCT 2024-1 A 4.93 05/15/2029	4.93%	493.00	0.00	493.00	0.00
Coupon	03/15/2025	58768PAC8	0.00	MBART 2022-1 A3 5.21 08/16/2027	5.03%	218.69	0.00	218.69	0.00
Coupon	03/15/2025	161571HT4	0.00	CHAIT 2023-1 A 5.16 09/15/2028	5.17%	1,053.50	0.00	1,053.50	0.00
Coupon	03/15/2025	58770JAD6	0.00	MBALT 2024-A A3 5.32 01/18/2028	5.73%	266.00	0.00	266.00	0.00
Coupon	03/15/2025	89239FAD4	0.00	TAOT 2023-D A3 5.54 08/15/2028	6.30%	277.00	0.00	277.00	0.00
Coupon	03/16/2025	362554AC1	0.00	GMCAR 2021-4 A3 0.68 09/16/2026	0.68%	2.35	0.00	2.35	0.00
Coupon	03/16/2025	380146AC4	0.00	GMCAR 2022-1 A3 1.26 11/16/2026	1.24%	4.89	0.00	4.89	0.00
Coupon	03/16/2025	362585AC5	0.00	GMCAR 2022-2 A3 3.1 02/16/2027	3.16%	38.35	0.00	38.35	0.00
Coupon	03/16/2025	362583AD8	0.00	GMCAR 2023-2 A3 4.47 02/16/2028	4.51%	229.26	0.00	229.26	0.00
Coupon	03/18/2025	857477CL5	0.00	STATE STREET CORP 4.993 03/18/2027	4.99%	3,994.40	0.00	3,994.40	0.00

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Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Acq/Disp Price Yield	Amount	Interest Pur/ Sold	Total Amount	Gain/Loss
Coupon	03/20/2025	38012QAD0	0.00	GMALT 2024-3 A3 4.21 10/20/2027	4.61%	228.04	0.00	228.04	0.00
Coupon	03/20/2025	36271VAD9	0.00	GMALT 2025-1 A3 4.66 02/21/2028	4.66%	491.89	0.00	491.89	0.00
Coupon	03/20/2025	89236TKJ3	0.00	TOYOTA MOTOR CREDIT CORP 4.55 09/20/2027	4.89%	3,412.50	0.00	3,412.50	0.00
Coupon	03/21/2025	43815GAC3	0.00	HAROT 2021-4 A3 0.88 01/21/2026	0.89%	2.49	0.00	2.49	0.00
Coupon	03/21/2025	43815JAC7	0.00	HAROT 2023-1 A3 5.04 04/21/2027	5.09%	153.37	0.00	153.37	0.00
Coupon	03/21/2025	438123AC5	0.00	HAROT 2023-4 A3 5.67 06/21/2028	5.74%	354.38	0.00	354.38	0.00
Coupon	03/22/2025	3133EPWK7	0.00	FEDERAL FARM CREDIT BANKS FUNDING CORP 4.5 09/22/2028	4.71%	5,625.00	0.00	5,625.00	0.00
Coupon	03/25/2025	05602RAD3	0.00	BMWOT 2022-A A3 3.21 08/25/2026	3.63%	28.90	0.00	28.90	0.00
Coupon	03/25/2025	3137BMTX4	0.00	FHMS K-052 A2 3.151 11/25/2025	4.54%	635.97	0.00	635.97	0.00
Coupon	03/25/2025	096924AD7	0.00	BMWOT 2025-A A3 4.56 09/25/2029	4.56%	871.47	0.00	871.47	0.00
Coupon	03/25/2025	096919AD7	0.00	BMWOT 2024-A A3 5.18 02/26/2029	5.18%	453.25	0.00	453.25	0.00
Coupon	03/25/2025	05593AAC3	0.00	BMWLT 2023-1 A3 5.16 11/25/2025	5.43%	3.87	0.00	3.87	0.00
Coupon	03/30/2025	437076CV2	0.00	HOME DEPOT INC 4.95 09/30/2026	5.04%	1,980.00	0.00	1,980.00	0.00
Coupon	03/31/2025	9128285C0	0.00	UNITED STATES TREASURY 3.0 09/30/2025	2.99%	3,750.00	0.00	3,750.00	0.00
Coupon	03/31/2025	91282CGT2	0.00	UNITED STATES TREASURY 3.625 03/31/2028	4.03%	8,609.38	0.00	8,609.38	0.00
Coupon	03/31/2025	91282CEF4	0.00	UNITED STATES TREASURY 2.5 03/31/2027	4.40%	3,125.00	0.00	3,125.00	0.00
Coupon	03/31/2025	91282CFM8	0.00	UNITED STATES TREASURY 4.125 09/30/2027	4.70%	20,625.00	0.00	20,625.00	0.00

TRANSACTION LEDGER

Execution Time: 04/03/2025 01:02:23 AM



City of Imperial Beach | Account | As of March 31, 2025

Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Acq/Disp Price Yield	Amount	Interest Pur/ Sold	Total Amount	Gain/Loss
Total Coupon			0.00			96,472.87	0.00	96,472.87	0.00
Custody Fee	03/25/2025	CCYUSD	(104.17)	Cash		(104.17)	0.00	(104.17)	0.00
Total Custody Fee			(104.17)			(104.17)	0.00	(104.17)	0.00
Dividend	03/31/2025	31846V203	0.00	FIRST AMER:GVT OBLG Y	3.97%	447.81	0.00	447.81	0.00
Total Dividend			0.00			447.81	0.00	447.81	0.00
Management Fee	03/07/2025	CCYUSD	(2,015.78)	Cash		(2,015.78)	0.00	(2,015.78)	0.00
Total Management Fee			(2,015.78)			(2,015.78)	0.00	(2,015.78)	0.00
Principal Paydown	03/01/2025	3137BKRJ1	14,761.94	FHMS K-047 A2 3.329 05/25/2025	3.04%	14,761.94		14,761.94	0.00
Principal Paydown	03/01/2025	3137BMTX4	1,974.26	FHMS K-052 A2 3.151 11/25/2025	4.54%	1,974.26		1,974.26	(0.00)
Principal Paydown	03/01/2025	3137BNGT5	531.24	FHMS K-054 A2 2.745 01/25/2026	4.64%	531.24		531.24	0.00
Principal Paydown	03/15/2025	47789QAC4	1,475.62	JDOT 2021-B A3 0.52 03/16/2026	0.52%	1,475.62		1,475.62	0.00
Principal Paydown	03/15/2025	44935FAD6	626.16	HART 2021-C A3 0.74 05/15/2026	0.75%	626.16		626.16	(0.00)
Principal Paydown	03/15/2025	89238JAC9	1,416.22	TAOT 2021-D A3 0.71 04/15/2026	0.95%	1,416.22		1,416.22	0.00
Principal Paydown	03/15/2025	448977AD0	3,739.90	HART 2022-A A3 2.22 10/15/2026	2.23%	3,739.90		3,739.90	0.00
Principal Paydown	03/15/2025	47787JAC2	1,119.32	JDOT 2022 A3 2.32 09/15/2026	2.34%	1,119.32		1,119.32	0.00
Principal Paydown	03/15/2025	47800CAC0	3,115.43	JDOT 2023 A3 5.01 11/15/2027	3.39%	3,115.43		3,115.43	(0.00)
Principal Paydown	03/15/2025	58768PAC8	3,969.47	MBART 2022-1 A3 5.21 08/16/2027	5.03%	3,969.47		3,969.47	(0.00)
Principal Paydown	03/16/2025	362554AC1	1,047.78	GMCAR 2021-4 A3 0.68 09/16/2026	0.68%	1,047.78		1,047.78	0.00
Principal Paydown	03/16/2025	380146AC4	987.35	GMCAR 2022-1 A3 1.26 11/16/2026	1.24%	987.35		987.35	(0.00)
Principal Paydown	03/16/2025	362585AC5	1,700.12	GMCAR 2022-2 A3 3.1 02/16/2027	3.16%	1,700.12		1,700.12	(0.00)

TRANSACTION LEDGER

Execution Time: 04/03/2025 01:02:23 AM



City of Imperial Beach | Account | As of March 31, 2025

Transaction Type	Settlement Date	CUSIP	Quantity	Security Description	Acq/Disp Price Yield	Amount	Interest Pur/ Sold	Total Amount	Gain/Loss
Principal Paydown	03/16/2025	362583AD8	3,239.78	GMCAR 2023-2 A3 4.47 02/16/2028	4.51%	3,239.78		3,239.78	(0.00)
Principal Paydown	03/21/2025	43815GAC3	1,346.08	HAROT 2021-4 A3 0.88 01/21/2026	0.89%	1,346.08		1,346.08	0.00
Principal Paydown	03/21/2025	43815JAC7	2,870.39	HAROT 2023-1 A3 5.04 04/21/2027	5.09%	2,870.39		2,870.39	(0.00)
Principal Paydown	03/25/2025	05602RAD3	1,777.63	BMWOT 2022-A A3 3.21 08/25/2026	3.63%	1,777.63		1,777.63	(0.00)
Principal Paydown	03/25/2025	05593AAC3	901.15	BMWLT 2023-1 A3 5.16 11/25/2025	5.43%	901.15		901.15	(0.00)
Total Principal									
Paydown			46,599.84			46,599.84		46,599.84	0.00
TOTAL OTHER TRANSACTIONS			44,479.89			141,400.57	0.00	141,400.57	0.00

California State Treasurer Fiona Ma, CPA

Local Agency Investment Fund P.O. Box 942809 Sacramento, CA 94209-0001 (916) 653-3001 April 14, 2025

LAIF Home PMIA Average Monthly Yields

CITY OF IMPERIAL BEACH

CITY TREASURER 825 IMPERIAL BEACH BLVD IMPERIAL BEACH, CA 91932

Tran Type Definitions

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Account Number:

March 2025 Statement

Effective Date	Transaction Date	Tran Type	Confirm Number	Web Confirr Numbe		Amount
3/13/2025	3/13/2025	RW	1769521	1730088	LILY FLYTE	-600,000.00
3/27/2025	3/27/2025	RW	1769916	1730473	LILY FLYTE	-500,000.00
Account S	<u>bummary</u>					
Total Depo	osit:			0.00	Beginning Balance:	11,694,711.41
Total With	drawal:		-1,100	.000.00	Ending Balance:	10,594,711.41



May 21, 2025

ITEM TITLE: RESOLUTION NO. 2025-021 & SA-25-96 APPROVING AN AGREEMENT FOR PROFESSIONAL AUDIT SERVICES FOR CITY OF IMPERIAL BEACH, INCLUDING ITS COMPONENT PUBLIC AGENCIES, WITH ROGERS, ANDERSON, MALODY & SCOTT, LLP FOR FISCAL YEARS 2025-26 THROUGH 2027-28. (0310-05)

ORIGINATING DEPARTMENT:

Finance

EXECUTIVE SUMMARY:

City Council Resolution No. 2025-021 and Imperial Beach Successor Agency Resolution SA-25-96 recommends approval of an agreement for Professional Audit Services with Rogers, Anderson, Malody & Scott, LLP (RAMS) to provide audit services for the City of Imperial Beach and Imperial Beach Successor Agency for Fiscal Years 2025–26 through 2027–28, with optional extensions through 2029–30. RAMS has served as the City's auditor since 2021 and brings valuable institutional knowledge, consistency, and efficiency to the audit process. The proposed agreement outlines a not-to-exceed cost structure and includes all required audit services in compliance with state and federal standards. Approval by the County Oversight Board will also be sought for the Successor Agency's portion of the agreement.

RECOMMENDATION:

Staff recommends the adoption of Resolution No. 2025-021 and Resolution SA-25-96 authorizing the City Manager or designee to execute a professional services agreement with Rogers, Anderson, Malody & Scott, LLP for independent auditing services for fiscal years 2025-26 through 2027-28, with the option for each of the two subsequent fiscal years.

OPTIONS:

- Approve Resolution No. 2025-021 and Resolution SA-25-96
- Reject the resolutions and provide direction to the City Manager

BACKGROUND/ANALYSIS:

Annually, the City issues various audited financial and compliance reports. An independent audit is critical to financial success to ensure municipal funds are properly accounted for, that the fiscal condition of the City is clearly expressed to the City Council and residents, and that all financial documents are accurate and compliant. These audits fulfill state, federal, and other regulatory requirements while also providing transparency to the public. In accordance with auditing standards, the City's independent auditors conduct these reviews to obtain reasonable assurance that the financial statements are free of material misstatement and report their findings in the Independent Auditor's Report.

Since 2021 Rogers, Anderson, Malody & Scott, LLP (RAMS) has been providing annual auditing services for the City of Imperial Beach and the Successor Agency. Pursuant to Government Code section 12410.6(b) adopted in 2013, RAMS has rotated the lead audit partner. Staff recommend maintaining continuity with the current auditor for the upcoming fiscal years based on several key considerations:

- 1. Institutional Knowledge: RAMS has developed a strong understanding of the City's financial systems, internal controls, and reporting practices through their prior work. This reduces the learning curve and allows for a more efficient and focused audit process.
- 2. Consistency and Accuracy: Retaining the same auditor promotes consistency in financial reporting and auditing standards. It helps ensure that financial statements are evaluated using a consistent methodology, making year-over-year comparisons more meaningful and reliable.
- 3. Efficiency and Cost-Effectiveness: Given their familiarity with the City's operations and financial records, RAMS can conduct audits more efficiently, potentially reducing staff time and associated costs.
- 4. Strong Working Relationship: A continued relationship fosters improved communication and collaboration between City staff and the auditors, which supports smoother audits and faster issue resolution.
- 5. Proven Performance: RAMS has consistently delivered thorough, professional, and compliant audit services. Their continued engagement supports the City's commitment to transparency and sound financial management.

The agreement for Professional Audit Services with RAMS is structured as a tri-party agreement among the City, the Successor Agency, and RAMS ("Consultant"). It provides audit services for Fiscal Years 2025-26, 2026-27, and 2027-28. If the City and Successor Agency choose to exercise their extension options as outlined in Section 4 of the Agreement, the term would be extended to include Fiscal Years 2028-29 and 2029-30.

The scope of services states, in general terms, that the Consultant will conduct an examination of the financial statements and records of the following:

- (1) the City and its component public agencies, including and without limitation, the Housing Authority of the City of Imperial Beach, and the Imperial Beach Public Financing Authority; and
- (2) the Successor Agency, for compliance with generally accepted accounting principles (GAAP) as established by the Governmental Accounting Standards Board (GASB), for each of the above referenced years.

The agreement provides that the Consultant will be compensated for work completed, in the not-to-exceed ("NTE") amounts listed below, for the fiscal year audits of the City's and Successor Agency's financial statements for basic services rendered under the Agreement:

	FY 25-26	FY 26-27	FY 27-28	FY 28-29*	FY 29-30*
CITY	\$48,950	\$52,060	\$52,060	\$55,100	\$55,100
SA	\$2,000	\$2,100	\$2,200	\$2,300	\$2,300
NTE	\$50,950	\$54,160	\$54,160	\$57,400	\$57,400

^{*}Compensation payable to the Consultant for FY 28-29 and FY 29-30 described above are each first subject to the City's and Successor Agency's exercise of their options to extend the term of the Agreement for the above-mentioned fiscal years.

The consultant will be compensated for additional services only upon prior written approval of the City or Successor Agency.

The proposed audit fee for Fiscal Year 2025–26 is \$50,950, an increase from the previous fee of \$46,650. The increases reflect modest year-over-year adjustments to account for inflation, rising labor costs, and evolving audit and reporting requirements. These structured increases allow for cost predictability over the term of the agreement while ensuring the City continues to receive high-quality, compliant, and efficient audit services.

Upon the Successor Agency's approval of the Agreement with the Consultant, staff will seek the County Oversight Board's approval of the Successor Agency entering into the agreement. The costs to be paid by the Successor Agency for its required audit work under the agreement will be included by the Successor Agency on each applicable annual ROPS.

ENVIRONMENTAL DETERMINATION:

Not a project as defined by CEQA.

FISCAL ANALYSIS: Fees for auditing services will be included in the appropriate budget year:

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FY 2025/26 = $50,950 (for FY 2024/25 audit)
FY 2026/27 = $54,160 (for FY 2025/26 audit)
FY 2027/28 = $54,160 (for FY 2026/27 audit)
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FY 2028/29 = \$57,400 (for FY 2027/28 audit) (if subsequent year is

approved)

FY 2029/30 = \$57,400 (for FY 2028/29 audit) (if subsequent year is

approved),

ATTACHMENTS:

ATT 1 – City Council Resolution No. 2025-021 ATT 2 – Successor Agency Resolution SA-25-96

RESOLUTION NO. 2025-021

RESOLUTION OF THE CITY OF IMPERIAL BEACH, CALIFORNIA APPROVING AN AGREEMENT FOR PROFESSIONAL AUDIT SERVICES FOR THE CITY OF IMPERIAL BEACH, INCLUDING ITS COMPONENT PUBLIC AGENCIES, WITH ROGERS, ANDERSON, MALODY & SCOTT, LLP AND AUTHORIZING THE CITY MANAGER OF THE CITY OF IMPERIAL BEACH TO SIGN THE AGREEMENT

WHEREAS, the City of Imperial Beach ("City") is required by State law to complete an annual audit of its records and activities. Certain component public agencies of the City, such as the Housing Authority of the City of Imperial Beach, are also required by State law to complete an annual audit of their records and activities; and

WHEREAS, Rogers, Anderson, Malody & Scott, LLP is a qualified certified public accounting firm and is highly experienced in completing audits of governmental financial statements; and

WHEREAS, Rogers, Anderson, Malody & Scott, LLP has served as the City's independent auditor since 2021, providing consistent and reliable audit services and demonstrating a strong understanding of the City's financial operations; and

WHEREAS, continuing with the same audit firm promotes institutional knowledge, audit efficiency, and consistency in financial reporting, which benefits both the City Council and the public through clear, accurate, and timely financial disclosures; and

WHEREAS, the agreement for Professional Audit Services with Rogers, Anderson, Malody & Scott, LLP provides for audit services work for each of the following fiscal years: Fiscal Year 2025-26, Fiscal Year 2026-27, and Fiscal Year 2027-28, and if the City exercises its rights and options to extend the term as described in Section 4 of the Agreement, for Fiscal Year 2028-29 and Fiscal Year 2029-30, respectively.

NOW, **THEREFORE**, **BE IT RESOLVED** by the City Council of the City of Imperial Beach as follows:

- 1. The foregoing recitals are true and correct and are a substantive part of this Resolution.
- 2. The City Council of the City hereby approves the agreement for Professional Audit Services with Rogers, Anderson, Malody & Scott, LLP to provide audit services for the City of Imperial Beach, including its component public agencies, for Fiscal Year 2025-26, Fiscal Year 2026-27, and Fiscal Year 2027-28, and if the City exercises its rights and options to extend the term as described in Section 4 of the Agreement, for Fiscal Year 2028-29 and Fiscal Year 2029-30, respectively. The City Council of the City further authorizes the City Manager or designee of the City to execute the agreement.
- 3. The City Council of the City hereby declares that the agreement for Professional Audit Services with Rogers, Anderson, Malody & Scott, LLP shall be enforceable as to the City upon execution by the City Manager or designee of the City of Imperial Beach and that approval and/or execution by the Imperial Beach Redevelopment Agency Successor Agency shall have no effect on such agreement as it pertains to the City.
- 4. This Resolution shall take effect upon the date of its adoption.

Resolution No. 2025-021 Page 2 of 2

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Imperial Beach at its meeting held on the 21st day of May 2025, by the following vote:

AYES: COUNCILMEMBERS: NOES: COUNCILMEMBERS: ABSENT: COUNCILMEMBERS:

	PALOMA AGUIRRE, MAYOR
ATTEST:	
TAGOLIELINE M. KELLY, MMO	
JACQUELINE M. KELLY, MMC CITY CLERK	

RESOLUTION NO. SA-25-96

RESOLUTION OF THE IMPERIAL BEACH REDEVELOPMENT AGENCY SUCCESSOR AGENCY APPROVING AN AGREEMENT FOR PROFESSIONAL AUDIT SERVICES FOR THE SUCCESSOR AGENCY WITH ROGERS, ANDERSON, MALODY & SCOTT, LLP AND AUTHORIZING THE EXECUTIVE DIRECTOR OF THE SUCCESSOR AGENCY TO SIGN THE AGREEMENT

WHEREAS, the City Council of the City of Imperial Beach ("City") adopted Resolution No. 2012-7136 on January 5, 2012, pursuant to Health and Safety Code Part 1.85, electing for the City to serve as the successor agency to the former Imperial Beach Redevelopment Agency upon the dissolution of the former Redevelopment Agency on February 1, 2012 under AB x1 26 ("Successor Agency"); and

WHEREAS, the Successor Agency is required by State law to complete an annual audit of its records and activities; and

WHEREAS, Rogers, Anderson, Malody & Scott, LLP is a qualified certified public accounting firm and is highly experienced in completing audits of governmental financial statements; and

WHEREAS, Rogers, Anderson, Malody & Scott, LLP has served as the City's independent auditor since 2021, providing consistent and reliable audit services and demonstrating a strong understanding of the City's financial operations; and

WHEREAS, continuing with the same audit firm promotes institutional knowledge, audit efficiency, and consistency in financial reporting, which benefits both the City Council and the public through clear, accurate, and timely financial disclosures; and

WHEREAS, the agreement for Professional Audit Services with Rogers, Anderson, Malody & Scott, LLP provides for audit services work for each of the following fiscal years: Fiscal Year 2025-26, Fiscal Year 2026-27, and Fiscal Year 2027-28, and if the City exercises its rights and options to extend the term as described in Section 4 of the Agreement, for Fiscal Year 2028-29 and Fiscal Year 2029-30, respectively.

NOW, THEREFORE, BE IT RESOLVED by the Imperial Beach Redevelopment Agency Successor Agency, as follows:

- 1. The foregoing recitals are true and correct and are a substantive part of this Resolution.
- 2. The Successor Agency Board of Directors hereby approves the agreement for Professional Audit Services with Rogers, Anderson, Malody & Scott, LLP to provide audit services for the Imperial Beach Redevelopment Agency Successor Agency for Fiscal Year 2025-26, Fiscal Year 2026-27, and Fiscal Year 2027-28, and if the City exercises its rights and options to extend the term as described in Section 4 of the Agreement, for Fiscal Year 2028-29 and Fiscal Year 2029-30, respectively. The City Council of the City further authorizes the City Manager or designee of the City to sign the Agreement.
- 3. This Resolution shall take effect upon the date of its adoption.

Resolution No. SA-25-96 Page 2 of 2

PASSED, APPROVED, AND ADOPTED by the Imperial Beach Redevelopment Agency Successor Agency at its meeting held on the 21ST day of May 2025, by the following vote:

AYES: NOES: ABSENT:	BOARDMEMBERS: BOARDMEMBERS: BOARDMEMBERS:		
		PALOMA AGUIRRE, CHAIRPERSON	
ATTEST: JACQUELINE			

SECRETARY



May 21, 2025

ITEM TITLE: RESOLUTION NO. 2025-024 APPROVING A PROFESSIONAL SERVICES AGREEMENT FOR LANDSCAPE MAINTENANCE SERVICES. (0940-10)

ORIGINATING DEPARTMENT:

Public Works

EXECUTIVE SUMMARY:

Resolution No. 2025-024 authorizes the City Manager to execute a three-year professional services agreement with two one-year extensions for a total of five-years with Aztec Landscaping, Inc. for Palm Avenue, Old Palm Avenue, and Imperial Beach Boulevard Landscape Maintenance Services. This contract also includes the monthly maintenance of 12 storm drain easements. If awarded, the new contract would be effective May 22, 2025 through May 21, 2028 with the opportunity of up to two one-year extensions for a possible total contract duration of 5-years–expiration May 21, 2030. The contract also includes an annual Consumer Price Index (CPI) adjustment each fiscal year.

RECOMMENDATION:

Adopt Resolution No. 2025-024 which authorizes the City Manager or designee to execute up to a five-year professional services agreement with Aztec Landscaping, Inc. for Landscape Maintenance Services throughout the City.

OPTIONS:

- Adopt Resolution No. 2025-024; or
- Provide direction to the City Manager to take a specific action; or
- Request additional information and an additional report.

BACKGROUND/ANALYSIS:

This resolution would renew the City's Landscape Maintenance contract for Palm Avenue (Old Highway 75), Old Palm Avenue, Imperial Beach Boulevard and includes the monthly maintenance of 12 storm drain easements.

Aztec would be conducting weekly maintenance of Palm Avenue and Old Palm Avenue and Imperial Beach Boulevard, which includes litter and weed removal. Three times a year, Aztec would be cutting back overgrown vegetation and fertilize shrubs and groundcover. On a monthly basis, Aztec would be maintaining the 12 storm drain easements within the City.

Pursuant to City of Imperial Beach Municipal Code Chapter 3.04.190, the City may purchase supplies, services and equipment by contract, arrangement and agreement by cooperative purchasing programs when the administering agency has made its purchasing contract in a competitive manner.

In March of 2024, the City of Chula Vista issued a competitive solicitation for complete landscape maintenance for selected Parkways and Medians. After a review of the proposals by the City of Chula Vista, Aztec Landscaping, Inc. was determined to be the lowest responsible bidder and a contract was awarded to Aztec Landscaping, Inc. The Aztec Landscaping, Inc. scope of work and rates for the City Landscape Maintenance Services are provided as Attachment 2.

For the City's Landscape Maintenance Program, piggybacking on a larger city's contract generally affords better pricing based on their aggregate contract volume. For several years, Aztec Landscaping, Inc. has continued to provide quality service to the City throughout the duration of its contract. Staff recommends authorizing the City Manager or designee to execute a three-year contract with two, one-year optional extensions with Aztec Landscaping, Inc. for a base bid amount of \$131,750.88 per year with an annual CPI adjustment.

ENVIRONMENTAL DETERMINATION:

This project is categorically exempt in accordance with CEQA article 15301. (h) – Maintenance of existing landscaping, native growth and water supply reservoirs.

FISCAL IMPACT:

This maintenance project is funded through the Streets Division and Storm Water Division O&M 2-year budget (FY26 & FY27)

Contract Budget:

TOTAL		\$131,750.88
(12-Storm Drain Easements)	an 101 0000 100.2001	<u>φ ο 1,020.00</u>
Storm Water Department, Maintenance & Rep.	air 101-5050-435 2801	\$ 34,320.00
(Palm Avenue, Old Palm Avenue and In		ψ 07, 100.00
Street Department, Maintenance & Repair	101-5010-431.2801	\$ 97,430.88

ATTACHMENTS:

- 1. Resolution No. 2025-024
- 2. Aztec Landscaping, Inc. Proposal dated May 15, 2025

RESOLUTION NO. 2025-024

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF IMPERIAL BEACH, CALIFORNIA, APPROVING A PROFESSIONAL SERVICES CONTRACT FOR LANDSCAPE MAINTENANCE SERVICES

WHEREAS, this resolution renews the City's Landscape Maintenance contract for Palm Avenue (Old Highway 75), Old Palm Avenue, Imperial Beach Boulevard and includes the monthly maintenance of 12 storm drain easements; and

WHEREAS, pursuant to City of Imperial Beach Municipal Code Chapter 3.04.190, the City may purchase supplies, services and equipment by contract, arrangement and agreement by cooperative purchasing programs when the administering agency has made its purchasing contract in a competitive manner; and

WHEREAS, for the City's Landscape Maintenance Program, piggybacking on a larger city's contract generally affords better pricing based on their aggregate contract volume; and

WHEREAS, over the past several years, Aztec Landscaping, Inc. has continued to provide quality service to the City throughout the duration of its contract; and

WHEREAS, Staff recommends authorizing the City Manager or designee to execute a three-year contract with two, one-year optional extensions to Aztec Landscaping, Inc. for a base bid amount of \$131,750.88 per year with an annual CPI adjustment.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Imperial Beach as follows:

- 1. The above recitals are true and correct.
- 2. The maintenance work shall be performed in the manner and form and in compliance with the requirements as set forth in the specifications for the project.
- 3. The City Manager or designee is authorized to sign an agreement and purchase order with Aztec Landscaping, Inc.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Imperial Beach at its meeting held on the 21st day of May 2025, by the following vote:

AYES: COUNCILMEMBERS: NOES: COUNCILMEMBERS: ABSENT: COUNCILMEMBERS:

ATTEST:	PALOMA AGUIRRE, MAYOR
JACQUELINE M. KELLY, MMC	



May 15, 2025

City of Imperial Beach Attn: Bobbi Otero, Senior Management Analyst Garth Larson, Grounds and Facilities Supervisor 495 10th Street Imperial Beach, CA 91932

Re: City of Imperial Beach Landscape Maintenance Program

Thank you for the opportunity to continue to providing the City of Imperial Beach with Landscape Maintenance Services for State Route 75, Imperial Beach Boulevard, and Storm Drain Maintenance. Our shared goal remains to deliver the highest quality landscape maintenance program to the City and its residents, just as we have proudly done over the past several years.

As we approach Fiscal Year 2025-2026, Aztec Landscaping, Inc. (AZTEC), we propose to provide Landscape Maintenance during these next 5 years under a "piggyback" approach on the City of Chula Vista's current contract. We have been under contract with the City of Chula Vista for well over 8 years and our current contract is on its third term.

We agree to offer the same unit prices based on the City of Chula Vista Cooperative Purchasing Provision, Base Bid Option 1, Mode II, and Task Description Category 1: Parkways & Medians. Scope of Work to include State Route 75 Median, extending from east city limits (approx. 32.583877, -117.103912) to city limits north city limits (approx. 32.588788, -117.122202). Also, to include Palm Ave (Old Palm) from east limits (7th Street & Palm Ave) to west limits (3rd Street & Palm Ave) including center medians and right of ways and Imperial Beach Boulevard. Also, to include monthly maintenance of twelve (12) storm drains at various locations within the City. This would be a three-year contract with two, one-year extensions for a total of five years and with the understanding CPI be added each year upon renewal. AZTEC will abide by all terms and conditions as per City of Chula Vista's current contract.

Base Bid Option 1 - Mode II Category 1 Parkways & Medians

Task	Frequency
Supervisor Inspection	26
Irrigation System Inspection	
Maintenance and Repair	52
Litter Removal	52
Weed Removal	52
Sidewalks Curbs and Gutters	52
Edging	12
Pruning shrubs and groundcover	3
Fertilization Complete	3
Pest Control	As Needed



Landscape Maintenance for State Route 75 Median, Palm Ave including center medians and right of ways

- -State Route 75 Median/Palm Ave \$4,521.59 x 12 months = \$54,259.08
- -IB Enhancement Project \$3,597.65 x 12 months = \$43,171.80

Storm Drains Monthly Maintenance - \$ 2,860.80 per month x 12 months = \$ 34,320.00 per year

Annual Maintenance for Cost for Landscape and Storm Drains - \$ 131,750.88 per year

We look forward to a continued successful partnership and providing the City of Imperial Beach with the best Landscape Maintenance Program for State Route 75, Imperial Beach Boulevard, and Storm Drain Maintenance. Should you have any questions or need additional information, please contact me at (619) 572-4016.

Best Regards,

Rafael Aguilar CEO



May 21, 2025

ITEM TITLE: RESOLUTION NO. 2025-025 AUTHORIZING THE RENEWAL OF THE PRIDE INDUSTRIES AGREEMENT FOR FISCAL YEAR 2026/2027. (0920-20)

ORIGINATING DEPARTMENT:

Public Works

EXECUTIVE SUMMARY:

Adoption of Resolution No. 2025-025 (Attachment 1) will authorize the continuation of services from Pride Industries for beach cleanup support within Tidelands area of responsibility. Pride Industries' mission is to bring together businesses and workers with developmental disabilities.

RECOMMENDATION:

Staff recommends that the City Council adopt Resolution No. 2025-025 approving a one-year agreement with Pride Industries for beach cleanup services within the Tidelands area at a cost not to exceed \$50,000 with an option of renewal for up to one additional year.

OPTIONS:

- Adopt Resolution No. 2025-025 renewing the annual maintenance contract with Pride Industries for up to two years; or
- Reject Resolution No. 2025-025 terminating the annual maintenance contract with Pride Industries; or
- Request additional information and an additional report.

BACKGROUND/ANALYSIS:

In July 1999, the City Council authorized an agreement with "Partnerships with Industry" (PWI) to provide limited maintenance services in the Tidelands area. This agreement has been renewed annually since that date.

In May 2021, City Staff received notice that PWI would be merging with Pride Industries on July 1, 2021. The services received by the City were not affected by this merger.

Pride Industries desires to continue the agreement with the City of Imperial Beach and presented the City with the proposed agreement for FY 2026/2027 (Attachment 1). The Pride Industries salary rate is based on the prevailing wage for this skill level. The services provided by Pride Industries have proven to be very beneficial to the City and Staff recommends the program be continued for the next fiscal year.

ENVIRONMENTAL DETERMINATION:

Not a project as defined by CEQA.

FISCAL IMPACT:

The cost of the agreement for FY 2026/2027 is not-to-exceed \$50,000 for one year and the option to renew for up to an additional year. The program will be funded within the approved FY 2026/2027 Operations & Maintenance budget.

ATTACHMENTS:

ATT. 1 - Resolution No. 2025-025

RESOLUTION NO. 2025-025

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF IMPERIAL BEACH, CALIFORNIA, AUTHORIZING THE RENEWAL OF THE PRIDE INDUSTRIES AGREEMENT FOR FISCAL YEAR 2026/2027

WHEREAS, in July 1999, the City Council authorized an agreement with Partnerships With Industry (PWI) to provide limited maintenance services in the Tidelands area; and

WHEREAS, this agreement has been renewed annually since that date; and

WHEREAS, in May 2021 City Staff received notice that PWI would be merging with Pride Industries on July 1, 2021. The services received by the City were not affected by this merger; and

WHEREAS, the current agreement expires June 30, 2025; and

WHEREAS, over the years Pride Industries has been a fundamental partner in keeping the Tidelands areas clean while providing an inclusive, diverse, and rewarding work environment for people with disabilities; and

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of Imperial Beach as follows:

1. The above recitals are true and correct.

AVEC. COLINCII MEMBEDO.

2. Authorize the City Manager or designee to enter into an agreement with Pride Industries with a not to exceed of \$50,000 for one year and the option to renew for up to an additional year.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Imperial Beach at its meeting held on the 21st day of May 2025, by the following vote:

NOES:	COUNCILMEMBERS: COUNCILMEMBERS:	
ATTEST:		PALOMA AGUIRRE, MAYOR
JACQUELINE I	M. KELLY, MMC	

May 21, 2025

ITEM TITLE: REGULAR COASTAL PERMIT, DESIGN REVIEW, SITE PLAN REVIEW, AND CEQA CATEGORICAL EXEMPTION SECTION 15302 TO CONSTRUCT A NEW SPLASH PAD FACILITY AT THE I.B. PORTWOOD PIER PLAZA (APN 625-330-08-00 & 625-330-09-00 & 625-330-10-00). USE-25-0007. MF 1661(0920-20)

ORIGINATING DEPARTMENT:

Community Development

EXECUTIVE SUMMARY:

The San Diego Unified Port District has applied demolish an existing playground and area perimeter wall and construct a new splash pad facility including equipment an enclosure, landscape areas, and ADA upgrades increase access to the public restrooms and showers, at the Imperial Beach Portwood Pier Plaza (APN 625-330-08-00 & 625-330-09-00 & 625-330-10-00) in the PF (Public Facility) Zone and City of



Imperial Beach jurisdictional boundary.

RECOMMENDATION:

That the City Council adopt Resolution 2025-026 approving Regular Coastal Permit (CP-25-0003), Design Review Case (DRC-25-0002), Site Plan Review (SPR-25-0002), and categorical exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15302 Replacement or Reconstruction of existing structures for the removal of an existing playground and construction of a new splash pad facility, equipment enclosure, landscape areas, and ADA upgrades at the Imperial Beach Portwood Pier Plaza (APN 625-330-08-00 & 625-330-09-00 & 625-330-10-00) in the PF (Public Facility) Zone.

RATIONALE:

The project should contribute favorably to the Imperial Beach Portwood Pier Plaza and would comply with the purpose of the Public Facility (PF) Zone, which is to designate land devoted to

public facilities and utilities, including designation for parks and lands utilized for public recreational purposes.

OPTIONS:

In addition to adopting staff's recommendations, the City Council can:

- Approve the project with modifications by the City Council; or
- Disapprove the project and deny the requested permits by making specific findings for denial; or
- Continue the Public Hearing to a specific future meeting to allow staff to provide additional information upon which a decision can be rendered.

BACKGROUND/ANALYSIS:

Since 2020, the Imperial Beach Pier has been the focus of a series of enhancements aimed at revitalizing this important public space. Recent improvements have included the addition of shade canopies, new wood railing, and artistic elements along the pier. The next phase of this ongoing initiative involves the replacement of an existing playground with a new, publicly accessible splash pad featuring engaging water play elements, including illuminated ground-level jets. The design also incorporates new seat walls, concrete paving, a dedicated equipment enclosure, and a complementary landscape area. This new amenity directly aligns with the purpose of the Public Facilities Zone.

In addition to the splash pad, upcoming work would include ADA upgrades to increase access to the public restrooms and showers at the west end of the Portwood Pier commercial building, involving concrete replacement, updated rinse-off showers, and new planting areas.

Public Access During Construction

Construction of the splash pad is scheduled to commence in early January 2026 with an anticipated completion date in December 2026. Importantly, access to both the beach and the pier would be maintained throughout the construction period. The contractor would confine their activities to a clearly demarcated project work zone, which would be secured with temporary chain-link fencing, as detailed in Attachment 3. The applicant has explicitly stated that the construction work zone would not impede public access to the beach and pier, ensuring continued enjoyment of these areas.

Landscaping

Existing palm trees located to the east of the future splash pad would be carefully protected and remain in place. The project proposes new landscaping installations to the north and west of the splash pad area. This would include a diverse selection of plants and grasses specifically chosen for their suitability to the coastal environment. Additionally, strategically placed boulders would be incorporated into the landscape design, adding visual interest and a natural element to the space.

Lighting

The design thoughtfully integrates lighting with timers, offering the ability to power down the fixtures as needed. As part of the overall project, a single downlight emitting a warm, 2700 Kelvin glow is proposed, which would integrate with the existing plaza ambiance.

The splash pad water jet would feature multi-color RGB lights, which would only illuminate when the splash pad jets are active. This ensures they operate solely when the water is flowing, a safety and design consideration, as other overhead lighting would be present. Moreover, the controls for these dynamic lights are programmable and can be switched off as desired.

Concerning construction lights, typical construction is planned to take place during daylight hours when supplemental construction lighting is generally unnecessary.

ENVIRONMENTAL DETERMINATION:

This project may be categorically exempted from the California Environmental Quality Act (CEQA) requirements according to CEQA Guidelines Sections 15302 Replacement or Reconstruction of existing structures where the new structure would be located on the same site as the structure replaced and would have substantially the same purpose and capacity as the structure replaced.

COASTAL JURISDICTION:

This project is located in the coastal zone as defined by the California Coastal Act of 1976. The City Council public hearing will serve as the required coastal permit hearing and the City Council will consider the findings under the California Coastal Act. Pursuant to the City of Imperial Beach Zoning Ordinance Section 19.87.050, review of the proposal will consider whether the proposed development satisfies the required findings prior to the approval and issuance of a Coastal Development Permit. The project is located in the Appeal Jurisdiction of the California Coastal Commission as indicated on the Local Coastal Program Post Certification and Appeal Jurisdiction Map and, as such, it is appealable to the California Coastal Commission under Section 30603(a) of the California Public Resources Code.

FISCAL IMPACT:

There is no fiscal impact associated with the project.

ATTACHMENTS:

Attachment 1 – Resolution Number 2025-026

Attachment 2 - Project Plans

Attachment 3 – Construction Fencing and Public Access

Attachment 4 - Plant Palette

Attachment 5 - Concept Materials Board

RESOLUTION NO. 2025-026

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF IMPERIAL BEACH, CALIFORNIA, APPROVING REGULAR COASTAL PERMIT (CP-25-0003), DESIGN REVIEW CASE (DRC-25-0002), SITE PLAN REVIEW (SPR-25-0002), AND CATEGORICAL EXEMPTION PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES SECTION 15302 CLASS 2 (REPLACEMENT OR RECONSTRUCTION OF EXISTING STRUCTURES) FOR THE REMOVAL OF AN EXISTING PLAYGROUND AND CONSTRUCTION OF A NEW SPLASH PAD FACILITY AT THE IMPERIAL BEACH PORTWOOD PIER PLAZA (625-330-08-00 & 625-330-09-00 & 625-330-10-00) IN THE PUBLIC FACILITY ZONE. USE-25-0007.

WHEREAS, on May 21, 2025, the City Council of the City of Imperial Beach held a duly advertised and noticed public hearing to consider the merits of approving or denying an application for a Regular Coastal Permit (CP-25-0003), Design Review Case (DRC-24-0002), Site Plan Review (SPR-25-0002) and categorical exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15302 Class 2 (Replacement of Reconstruction of Existing Structures) to replace an existing playground and construct a new splash pad facility including an equipment enclosure, landscape areas, and ADA upgrades to increase access to the public restrooms and showers, at the Imperial Beach Portwood Pier Plaza (APN 625-330-08-00 & 625-330-09-00 & 625-330-10-00) in the PF (Public Facility) Zone; and

WHEREAS, the project designation of a new publicly accessible splash pad in the PF, Public Facility, Zone is consistent with the Local Coastal Plan/General Plan; and

WHEREAS, the City Council finds that the project complies with the Land Use and Housing Elements of the General Plan; and

WHEREAS, the City Council finds that the project complies with the requirements of the California Environmental Quality (CEQA) as the project is categorically exempt pursuant to CEQA Guidelines 15302 Class 2 (Replacement or Reconstruction of existing structures); and

WHEREAS, the City Council further offers the following findings in support of its decision to conditionally approve the project:

REGULAR COASTAL PERMIT (IBMC § 19.87.050):

1. The proposed development conforms to the certified local coastal plan including coastal land use policies.

The General Plan/Local Coastal Plan designates the site as PF, Public Facility, Zone. The purpose of the public facilities zone is to designate land devoted to public facilities and utilities. This designation includes public schools, parks, civic and public parking facilities. All lands under public or quasi-public ownership and lands utilized for public recreational purposes may be zoned in the public facilities classification. The project site is located in the appealable coastal zone and the proposed development complies with the land use designation of the General Plan/Local Coastal Plan.

2. For all development seaward of the nearest public highway to the shoreline, the proposed development meets standards for public access and recreation of Chapter Three of the 1976 Coastal Act and regulations promulgated thereunder.

The parcels of land (625-330-08-00 & 625-330-09-00 & 625-330-10-00) are located between the seaward of the first public road. The proposed project meets standards for

public access and recreation of Chapter Three of the 1976 Coastal Act and regulations promulgated thereunder, which prioritizes maximizing public access and recreational opportunities in the coastal zone. The proposed splash pad shall be publicly accessible and shall not impede access to the beach shoreline or pier.

3. The proposed development meets the minimum criteria set forth in the City of Imperial Beach Zoning Ordinance, the City's Minimum Landscape Planting and Irrigation Standards, and the City's Design Guidelines, as applicable.

The project complies with the minimum criteria set forth in the City of Imperial Beach Zoning Ordinance, the City's Minimum Landscape Planting and Irrigation Standards, and the City's Design Guidelines.

4. The proposed development meets minimum criteria set forth in Sections 19.81.060, 19.82.050., 19.83.120., 19.84.050., and 19.86.100., of this title for site plans, conditional use permits, design review, variances, zoning classification and rezonings.

The proposed development meets the minimum criteria set forth in Sections 19.81.060, , and 19.83.110 (Section 19.83.120 is no longer applicable) for a site plan review, and design review subject to the findings provided within this Resolution. Sections 19.82.050, 19.84.050 and 19.86.100 are not applicable because the project does not require a variance or zoning classification/rezoning.

5. For all development involving the construction of a shoreline protective device, a mitigation fee shall be collected which shall be used for each sand replenishment purposes. The mitigation fee shall be deposited in an interest-bearing account designated by the Executive Director of the California Coastal Commission and the city manager of Imperial Beach in lieu of providing sand to replace the sand a beach area that would be lost due to the impacts of any proposed protective structure.

The proposed project does not necessitate the construction of a shoreline protection device and would not have an impact on the sand in any beach area. Therefore, a mitigation fee is not required for the project.

6. This project complies with the California Environmental Quality Act.

This project is categorically exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Article 19 Sections 15302 Class 2 (Replacement of Reconstruction of Existing Structures). The City has prepared a Categorical Exemption per the CEQA requirements for this project and the Notice of Exemption will be filed with the County Clerk in compliance with CEQA.

7. Public Notice requirements, pursuant to Zoning Ordinance Section 19.87.090, of the Coastal Development Project have been satisfied.

The project description and the date of the City Council public hearing were sent to property owners within 300 feet and occupants within 100 feet of the subject site on May 8, 2025, and a public hearing notice was published in the Imperial Beach Eagle & Times newspaper on May 8, 2025.

DESIGN REVIEW/SITE PLAN REVIEW (IBMC § 19.81.060):

8. The proposed use does not have any detrimental effect upon the general health, safety and convenience of persons residing or working in the neighborhood, or is not detrimental or injurious to the value of the property and improvements in the neighborhood.

The project will provide a new publicly accessible splash pad in a public plaza that would provide recreational opportunities to residents of the City of Imperial Beach. The project would not have a detrimental effect on the general health, welfare, safety and convenience of persons residing or working in the neighborhood because it is consistent with the development standards and zoning designation of the site. The development would not be injurious to the value of the property and improvements in the neighborhood because it represents an improvement of the existing conditions of the property. This could improve property values and stimulate growth in the area.

9. The proposed use does not adversely affect the General Plan or the Local Coastal Plan.

The proposed splash pad does not adversely affect the General Plan/Local Coastal Plan because the site is designated as Public Facility (PF) Zone, providing for the designation of land devoted to public facilities and utilities. The project site is located in an appealable coastal zone and complies with the land use designation of the General Plan/Local Coastal Plan.

10. The proposed use is compatible with other existing and proposed uses in the neighborhood.

The site is bordered by residential and public facility zones to the west, mixed-use zones to the west, and public facilities are located to the south. The splash pad is compatible with other existing and proposed uses in the neighborhood because it complies with the development standards and zoning designation and would provide publicly available recreational opportunities that would serve the community.

11. The location, site layout and design of the proposed use orients the proposed structures to streets, driveways, sunlight, wind and other adjacent structures and uses in a harmonious manner.

The proposed splash pad would be located in a manner that would provide harmonious access throughout the site and be compatible with the surrounding structures and uses in the neighborhood. The recreational facility would be accessed from Seacoast Drive, and would provide landscape screening for the residential structures to the west.

12. The combination and relationship of one proposed use to another on the site is properly integrated.

The proposed project would be properly integrated within a compatible commercial center. The design style and the choice of building materials properly integrate the hotel and commercial space within the commercial site.

13. Access to and parking for the proposed use does not create any undue traffic problem.

The project does not require vehicular egress and ingress.

14. All other applicable provisions of the Zoning Code are complied with.

The project is consistent with the General Plan and the Zoning development standards for the site.

15. Any other considerations as the Community Development Department deem necessary to preserve the health, safety and convenience of the City in general.

Standard and applicable conditions of approval have been included with the Resolution to further ensure that the health, safety, welfare, and convenience of the City in general is preserved.

16. Public Notice requirements, pursuant to Zoning Ordinance Section 19.81.050, have been satisfied.

The project description and the date of the City Council public hearing were sent to property owners within 300 feet and occupants within 100 feet of the subject site on May 8, 2025. A public hearing notice was published in the Imperial Beach Eagle & Times newspaper on May 8, 2025.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Imperial Beach that the above-listed findings and recitals are true and correct and are incorporated by reference and Regular Coastal Permit (CP-25-0003), Design Review Case (DRC-25-0002), Site Plan Review (SPR-25-0002), and categorical exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15302 (Replacement of Reconstruction of Existing Structures) to construct one new splash pad at the Imperial Beach Portwood Pier Plaza (APN 625-330-08-00 & 625-330-09-00 & 625-330-10-00) in the PF (Public Facility) Zone are hereby approved subject to the following:

CONDITIONS OF APPROVAL:

- Approval of Regular Coastal Permit (CP-25-0003), Design Review Case (DRC-25-1. 0002), Site Plan Review (SPR-25-0002), and categorical exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15302 Class 2 (Replacement of Reconstruction of Existing Structures) to replace an existing playground and construct a new splash pad facility including an equipment enclosure, landscape areas, and ADA upgrades to increase access to the public restrooms and showers, at the Imperial Beach Portwood Pier Plaza (APN 625-330-08-00 & 625-330-09-00 & 625-330-10-00) in the PF (Public Facility) Zone is valid for one year from the effective date following final action by the City Council (10 working days following final action) and shall expire at the end of business on June 9, 2026, unless vested with substantial construction or use of the property in reliance on an approved building permit. Approvals of the Regular Coastal Permit (CP-25-0003), Design Review Case (DRC-25-0002), Site Plan Review (SPR-25-0002), and categorical exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15302 Class 2 (Replacement of Reconstruction of Existing Structures) shall run coterminous.
- 2. The site shall be developed in substantial compliance with the plans dated May 5, 2025, on file at the Community Development Department, or as otherwise amended and approved, and the conditions contained herein.
- 3. The applicant is required to obtain all required permits and project approvals as required by any Municipal Codes, Building Codes, Fire Codes, Model Codes, State Codes and City Ordinances adopted by the City of Imperial Beach to the satisfaction of the City.

- 4. This project is subject to all Municipal Codes, Model Codes, State Codes, and City Ordinances adopted by the City of Imperial Beach.
- 5. All stormwater requirements must comply with the most recent Municipal Storm Water Permit.
- 6. All landscaping must comply with the State's model water efficient landscape ordinance; the landscape architect must indicate on the plans that these requirements shall be met.
- 7. The applicant should provide materials with a manufacturer's longevity guarantee, and all materials should be suitable for the coastal environment and adequately maintained. The materials must be shown on the building permit plans.
- 8. The city and the Port District shall have a separate maintenance agreement that specifies the responsibilities for maintaining the new splash pad and landscape areas.
- 9. Applicant shall minimize the required number of parking spaces at the staging area to the absolute minimum necessary.
- 10. The removal and relocation of trees shall be subject to authorization by the city.
- 11. Applicant shall create and submit for approval a traffic control plan that includes necessary signage and personnel (flaggers, etc.).
- 12. Applicant shall develop a public access plan that ensures continuous access to all coastal resources for the public.
- 13. Obtain any necessary building permits (Building, Plumbing, Mechanical, Electrical, Grading etc.) for this project.
- 14. For any work to be performed in the street or alley, submit a traffic control plan for approval by Public Works Director a minimum of 5 working days in advance of street work. Traffic control plan is to be per Regional Standard Drawings or CALTRANS Traffic Control Manual.
- 15. The applicant shall be responsible for informing the public of the traffic conditions existing within the construction area at all times by placement of appropriate warning and advisory signs. The applicant shall also provide and maintain all traffic control and safety items. Barricades and any other delineation in the right of way shall be required and maintained by applicant for the duration of the right of way improvements. Applicant assumes sole and complete responsibility for the job and site conditions during the course of construction, including safety of all persons and property. This requirement shall apply continuously twenty-four (24) hours per day and shall not be limited to normal work hours.
- 16. For any project that proposes work within the public right-of-way or public space a Temporary Encroachment Permit (TEP) shall be applied for and approved either prior to or concurrent with issuance of the building permit required for the project.
- 17. Two days prior to any excavation, "Dig-Alert" (800) 227-2600 shall be notified to locate all known underground utilities. The Developer or Developer's representative shall read, understand, and accept the conditions listed herein and shall, within 30 days, return a signed statement to the Community Development Department accepting said conditions.

Appeal Process under the California Code of Civil Procedure (CCP): The time within which judicial review of a City Council decision must be sought is governed by Section 1094.6 of the CCP. A right to appeal a City Council decision is governed by CCP Section 1094.5 and Chapter 1.18 of the Imperial Beach Municipal Code.

PROTEST PROVISION: The 90-day period in which any party may file a protest, pursuant to Government Code Section 66020, of the fees, dedications or exactions imposed on this development project begins on the date of the final decision.

BE IT FURTHER RESOLVED by the City Council of the City of Imperial Beach:

1. That the foregoing recitals are true and correct.

COUNCILMEMBERS:

COUNCIL MEMBERS:

AYES:

CITY CLERK

2. That the Regular Coastal Permit (CP-25-0003), Design Review Case (DRC-25-0002), Site Plan Review (SPR-25-0002), and categorical exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15302 (Replacement of Reconstruction of Existing Structures) are approved for the replacement of an existing playground and construction a new splash pad facility including an equipment enclosure, landscape areas, and ADA upgrades, at the Imperial Beach Portwood Pier Plaza (APN 625-330-08-00 & 625-330-09-00 & 625-330-10-00) in the PF (Public Facility) Zone contingent upon the Developer's compliance with the conditions set forth in this Resolution.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Imperial Beach at its meeting held on the 21st day of May 2025, by the following vote:

ABSENT:	COUNCILMEMBERS:	
ATTEST:		PALOMA AGUIRRE, MAYOR
JACQUELINE M. F	KELLY, MMC	

VICINITY MAP NATIONAL CITY CHULA \VISTA [] imperial BEACH NO SCALE

MONUMENTATION NOTE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MONUMENTATION AND/OR POINTS SHALL BE REFERENCED AND REPLACED WITH APPROPRIATE MONUMENTATION BY A LICENSED LAND SURVEYOR OR A REGISTERED CIVIL ENGINEER AUTHORIZED T PRACTICE LAND SURVEYING. A CORNER RECORD OR A RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED BY THE LICENSED LAND SURVEYOR OR THE REGISTERED CIVIL ENGINEER AS REQUIRED BY THE LAND SURVEYOR'S ACT (BUSINESS AND PROFESSIONS CODE 8771

BENCH MARK

THE BENCH MARK FOR THIS MAP IS THE PORT OF SAN DIEGO GPS CONTROL F SDUPD-055. A 3" BRASS DISC STAMPED "PORT OF SAN DIEGO GPS CONTROL LS 6000" IN A CONCRETE BAND, FOOT OF IMPERIAL BEACH BLVD. BETWEEN TWO TRASH RECEPTACLES. ELEV. = 18.988 MLLW

BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS MAP IS THE CALIFORNIA COORDINATE SYSTEM 83 ZONE 6. NAD 83. 1991.35 EPOCH AS DETERMINED LOCALLY BETWEEN STATIONS SDUPD-055 AND SDUPD-056 PER RECORD OF SURVEY 17055. SAID BEARING BEING IN TERMS OF CCS83 ZONE 6. I.E.

QUOTED BEARINGS FROM REFERENCE MAPS OR DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.

DATE OF SURVEY

SITE TOPOGRAPHY PROVIDED BY A FIELD SURVEY BY LAND SURVEYING CONSULTANTS, INC. DATE OF SURVEY: SEPTEMBER 24, 2024.

"DECLARATION OF RESPONSIBLE CHARGE"

I HEREBY DECLARE THAT I AM THE LANDSCAPE ARCHITECT OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE PORT OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS THE LANDSCAPE ARCHITECT OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

JEFFREY T. BARR SCHMIDT DESIGN GROUP, INC. 1310 ROSECRANS ST, SUITE G SAN DIEGO, CA 92106 PHONE: (619) 236-1462

SIGNATURE JEFFREY T. BARR REGISTRATION NO: 5209 (EXP. 12/31/2025)

SPLASH PAD AT PORTWOOD PIER PLAZA

IMPERIAL BEACH, CALIFORNIA

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A PERMIT TO EXCAVATE WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT AT 1-800-422-4133 TWO WORKING DAYS BEFORE YOU DIG.

GENERAL NOTES

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL SUBSTRUCTURES, WHETHER SHOWN HEREON OR NOT, AND PROTECT THEM FROM DAMAGE. THE EXPENSE OF REPAIR OR REPLACEMENT OF SAID SUBSTRUCTURES SHALL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO ENFORCE SAFETY MEASURES OR REGULATIONS
- LOCATION AND ELEVATION OF ALL EXISTING IMPROVEMENTS WITHIN THE AREA OF WORK SHALL BE CONFIRMED BY FIELD MEASUREMENT PRIOR TO CONSTRUCTION OF NEW WORK. CONTRACTOR WILL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
- ALL WORK TO CONFORM TO THE CONTRACT SPECIFICATIONS, "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" 2021 EDITION WITH SUPPLEMENTS (GREENBOOK), CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2021 EDITION, UNLESS NOTED OTHERWISE.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 AM AND 3:30 PM EACH DAY, MONDAY THROUGH FRIDAY, AND NO GRADING OR EARTH MOVING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SATURDAYS, SUNDAYS OR PORT OF SAN DIEGO HOLIDAYS WITHOUT APPROVAL BY THE PORT CONSTRUCTION MANAGER OR INSPECTOR.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES TO PROTECT EXISTING IMPROVEMENTS.
- ALL WORK SHALL BE ACCOMPLISHED IN CONFORMANCE WITH APPLICABLE CITY OF IMPERIAL BEACH ORDINANCES AND STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR POTHOLING PRIOR TO START OF CONSTRUCTION TO VERIFY ALL ELEVATIONS OF UNDERGROUND UTILITIES, INCLUDING IRRIGATION AND LOW VOLTAGE ELECTRICAL
- 10. THE CONTRACTOR WILL BE PROVIDED WITH ELECTRONIC TOPOGRAPHIC SURVEY AND CONSTRUCTION PLANS FOR DEVELOPMENT OF A CERTIFIED HORIZONTAL CONTROL PLAN TO BE PREPARED BY A LAND SURVEYOR AND SUBMITTED TO THE RESIDENT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONSTRUCTION STAKING THROUGHOUT THE DURATION OF THE PROJECT IN COMPLIANCE WITH THE PLANS AND CERTIFIED HORIZONTAL CONTROL PLAN.

DISCRETIONARY APPROVAL NOTES

- FOR ANY WORK TO BE PERFORMED IN THE STREET OR ALLEY, THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN FOR APPROVAL BY PUBLIC WORKS DIRECTOR A MINIMUM OF 5 WORKING DAYS IN ADVANCE OF STREET WORK. TRAFFIC CONTROL PLAN IS TO BE PER REGIONAL STANDARD DRAWINGS OR CALTRANS TRAFFIC CONTROL MANUAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INFORMING THE PUBLIC OF THE TRAFFIC CONDITIONS EXISTING WITHIN THE CONSTRUCTION AREA AT ALL TIMES BY PLACEMENT OF APPROPRIATE WARNING AND ADVISORY SIGNS. THE CONTRACTOR SHALL ALSO PROVIDE AND MAINTAIN ALL TRAFFIC CONTROL AND SAFETY ITEMS. BARRICADES AND ANY OTHER DELINEATION IN THE RIGHT OF WAY SHALL BE REQUIRED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF ANY RIGHT OF WAY IMPROVEMENTS. CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB AND SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY TWENTY-FOUR (24) HOURS PER DAY AND SHALL NOT BE LIMITED TO NORMAL WORK HOURS.

CITY OF IMPERIAL BEACH GENERAL NOTES

SEE SHEET T-1.1

EGGER SDUPD-056 DOLPHIN BAY HIGHLANDS PALM AVE **PACIFIC IMPERIAL OCEAN** BEACH SDUPD-023/\ **ELM AVE ELM AVE** IMPERIAL BEACH PIER **EVERGREEN AVE** VETERANS IMPERIAL BEACH PARK **CHARTER SCHOOL** SDUPD-055 IMPERIAL BEACH BLVD ONEONTA TIJUANA SLOUGH ELEMENTARY NATIONAL WILDLIFE SCHOOL REFUGE **GROVE AVE**

REMEDIAL EARTHWORK

PROJECT NO. SD834

OWNER: PORT OF SAN DIEGO

PROJECT DIRECTORY

LOCATION MAP

LANDSCAPE ARCHITECT: SCHMIDT DESIGN GROUP, INC. CONTACT: JENN MONTGOMERY, JT BARR PHONE: (619) 236-1462 EMAIL: JMONTGOMERY@SCHMIDTDESIGN.COM EMAIL: JTBARR@SCHMIDTDESIGN.COM

CIVIL ENGINEER: LEPPERT ENGINEERING CORP. **CONTACT: MARTY OHMSTEDE** PHONE: (858) 597-2001 EXT. 109 EMAIL: MARTY@LEPPERTENGINEERING.COM

ELECTRICAL ENGINEER: ALAGIA ENGINEERING **CONTACT: NEAL ALAGIA** PHONE: (858) 602 6996 EMAIL: ALAGIAENGINEERING@GMAIL.COM

GROUP DELTA CONTACT: SAMUEL NARVESON PHONE: (858) 536-1000 EMAIL: SAMUELN@GROUPDELTA.COM PER GEOTECH REPORT BY GROUP DELTA, DATED OCTOBER 25, 2024

REMEDIAL EARTHWORK - SURFACE IMPROVEMENTS

REMEDIAL EARTHWORK IS REQUIRED BELOW THE PROPOSED SURFACE IMPROVEMENTS TO REMOVE EXISTING FILLS AND REPLACE THEM WITH NON-EXPANSIVE COMPACTED FILL. REMEDIAL EARTHWORK SHALL CONSIST OF REMOVING THE UPPER TWO FEET OF SOIL UNDERLYING THE PROPOSED SURFACE IMPROVEMENTS. REMOVALS SHALL EXTEND TWO FEET OR MORE LATERALLY OUTSIDE THE PLAN LIMITS OF PROPOSED SURFACE IMPROVEMENTS. WHERE FEASIBLE.

PROJECT SITE:

CONSULTANT

SCHMIDT

DESIGN

GROUP

THE PROJECT IMPROVEMENTS ARE

LOCATED ON SEACOAST DRIVE AT

EVERGREEN AVE, 1 BLOCK NE OF THE

START OF THE IMPERIAL BEACH PIER

THE RESULTANT REMOVAL BOTTOM SURFACE SHOULD THEN BE SCARIFIED TO A DEPTH OF 12 INCHES, MOISTURE CONDITIONED AND COMPACTED. IF COMPETENT OLD PARALIC DEPOSITS ARE EXPOSED AT THE RESULTANT REMOVAL BOTTOM SURFACE, THE SCARIFICATION AND RECOMPACTION RECOMMENDATION MAY BE WAIVED. THE EXCAVATION SHOULD THEN BE FILLED UP TO FINISH SUBGRADE ELEVATIONS WITH NON-EXPANSIVE (EXPANSION INDEX OF 20 OR LESS) COMPACTED FILL.

WORK TO BE DONE

WORK TO BE DONE SHALL BE ACCORDING TO THESE DRAWINGS 18-2025-01 AND SPECIFICATION 2025-02 OF THE SAN DIEGO UNIFIED PORT DISTRICT. THE WORK INCLUDES BUT IS NOT LIMITED TO THE REMOVAL OF AN EXISTING PLAYGROUND AREA AND REPLACED WITH A NEW SPLASH PAD. NEW SEAT WALLS, CONCRETE PAVING, SPLASH PAD EQUIPMENT ENCLOSURE, AND LANDSCAPE AREAS WILL BE PROVIDED TO COMPLEMENT THE SPLASH PAD. IN ADDITION TO THESE IMPROVEMENTS, ADA UPGRADES WILL INCREASE ACCESS TO THE PUBLIC RESTROOMS AND SHOWERS LOCATED AT THE WEST END OF THE PORTWOOD PIER COMMERCIAL BUILDING. CONCRETE REPLACEMENT, UPDATED RINSE-OFF SHOWERS, AND PLANTING AREAS WILL BE BE INCLUDED.

TITLE SHEET & SHEET INDEX

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T-1.2	3	EXISTING CONDITIONS PHOTOS
C-0.1	4	CIVIL COVER SHEET
C-0.2	5	EXISTING CONDITIONS AND DEMOLITION
C-0.3	6	PRECISE GRADING AND DRAINAGE PLAN
C-0.4	7	PRIVATE UTILITY PLAN
C-0.5	8	EROSION CONTROL PLAN
LC-1.0	9	LANDSCAPE CONSTRUCTION LEGEND AND NOTES
LC-1.1	10	LANDSCAPE CONSTRUCTION PLAN
LC-2.0	11	LANDSCAPE CONSTRUCTION DETAILS
LC-2.1	12	LANDSCAPE CONSTRUCTION DETAILS
LC-2.2	13	LANDSCAPE CONSTRUCTION DETAILS
E-1.0	14	ELECTRICAL SITE PLAN
E-1.1	15	TITLE 24 CALCULATIONS
E-1.2	16	TITLE 24 CALCUALTIONS
E-2.0	17	ELECTRICAL SINGLE LINE DIAGRAM AND SCHEDULES
LID-1.0	18	IRRIGATION DEMOLITION LEGEND AND NOTES
LID-1.1	19	IRRIGATION DEMOLITION PLAN
LI-1.0	20	LANDSCAPE IRRIGATION LEGEND AND NOTES
LI-1.1	21	LANDSCAPE IRRIGATION PLAN
LP-1.0	22	LANDSCAPE PLANTING LEGEND AND NOTES
LP-1.1	23	LANDSCAPE PLANTING PLAN
LP-2.0	24	LANDSCAPE PLANTING DETAILS
A-1.1	25	SPLASH PAD GENERAL INFORMATION
A-1.2	26	SPLASH PAD SITE PLAN
A-1.3	27	SPLASH PAD LAYOUT
A-1.4	28	SPLASH PAD CONCRETE PLAN
A-1.5	29	SPLASH PAD CONCRETE SECTION AND DETAILS
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A-1.7	31	SPLASH PAD SUPPLY PIPING PLAN
A-1.8	32	SPLASH PAD DRAIN PIPING PLAN
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A-1.12	36	SPLASH PAD MECHANICAL PLAN
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A-1.15	39	SPLASH PAD PRODUCT INFORMATION AND INSTALL DETAIL
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ADDITIVE ALTERNATES

- ADDITIVE ALTERNATE 1 SPLASH PAD MECHANICAL ENCLOSURE ART, DIGIFUSE ART PANELS WITH SURF-THEMED GRAPHICS: LANDSCAPE CONSTRUCTION LEGEND ITEM
- ADDITIVE ALTERNATE 2 SPLASH PAD INTEGRATED LIGHTING. LED LIGHTED JETS WITH MULTICOLOR SETTINGS AND DMX CONTROL; LANDSCAPE CONSTRUCTION LEGEND ITEM 27A. SEE SHEET 35.
- ADDITIVE ALTERNATE 3: LITHOCRETE SUBSTITUTION FOR STANDARD SPLASH PAD CONCRETE PER CALLOUTS 29A & 30A. SEE SHEET LC-1.0.

CITY OF IMPERIAL BEACH, CALIFORNIA **ENGINEERING DEPARTMENT**

SHEET 01 OF 40 SHEETS

FOR CITY ENGINEER DATE **APPROVED** DATE FILMED DESCRIPTION SDG ORIGINAL CONTRACTOR DATE STARTED DATE COMPLETED **INSPECTOR**

RECORD DRAWING

REVIEWED BY:

PROJECT MANAGER/ENGINEER

THIS DRAWING MAY BE A REDUCED SCALE PRINT OF THE ORIGINAL DRAWING. UTILIZE GRAPHIC SCALES VERIFY IF DRAWING IS A REDUCTION, AND ADJUST SCALES ACCORDINGLY TO TH GRAPHIC SCALES SHOWN.

DATE

PEC NO. 2025-02 WBS NO. BC-0004-01 ROJECT ENGINEER ONTRACTOR NSTRUCTION STARTED ONSTRUCTION COMPLETED DATE / APPROVE



SDG PRJ# 24-408 PROJECT MANAGE

LIC. CA 2138 | NV 219 | AZ 34139

SCHMIDTDESIGN.COM

619.236.1462

1310 Rosecrans St., Suite G, San Diego, CA 92106

SAN DIEGO UNIFIED PORT DISTRICT

DATE 5/5/2025 NO. **T-1.0** SPLASH PAD AT PORTWOOD PIER PLAZA HEET 01 of **40** IB-2025-01 TITLE SHEET AND SHEET INDEX

100% CONSTRUCTION DOCUMENTS

CONSTRUCTION. AT&T SCHMIDT DESIGN 000 GROUP 1310 Rosecrans St., Suite G, San Diego, CA 92106 619.236.1462 LIC. CA 2138 | NV 219 | AZ 34139 SCHMIDTDESIGN.COM

CITY OF IMPERIAL BEACH GENERAL NOTES

1. THE APPROVAL OF THE PLANS BY THE CITY OF IMPERIAL BEACH DOES NOT AUTHORIZE THE CONTRACTOR TO VIOLATE ANY FEDERAL, STATE, OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES, INCLUDING BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT OF 1973 AND AMENDMENTS THERETO (16 USC SECTION i 1531 ET. SEQ.).

2. IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER TO BE ISSUED BEFORE A 'PERMIT TO EXCAVATE WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE 1-800-227-2600, TWO DAYS BEFORE YOU DIG.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS, WHICH ARE DISTURBED, OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, SUCH MONUMENTS SHALL BE REPLACED WITH APPROPRIATE MONUMENTS BY A LAND SURVEYOR OR AN AUTHORIZED CIVIL ENGINEER. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT. IF ANY VERTICAL CONTROL BENCHMARKS ARE TO BE DISTURBED OR DESTROYED, THE CITY OF IMPERIAL BEACH PUBLIC WORKS DIRECTOR (ERIC MINICILLI) MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE

4. PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PRE-CONSTRUCTION MEETING WITH THE CITY OF IMPERIAL BEACH PUBLIC WORKS DEPARTMENT (619) 423-8311

5. CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT GRADING AND OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD, REGIONAL WATER CONTROL BOARD SAN DIEGO REGION AND THE CITY OF IMPERIAL BEACH MUNICIPAL CODE AND STORM WATER STANDS MANUAL.

6. ISSUANCE OF THE CITY'S NOTICE TO PROCEED SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE, OR OTHER AGENCIES. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES OF ANY APPLICABLE STATE/FEDERAL AGENCY.

7. AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE ENGINEER OR INSPECTOR AND APPROVED BY THE ENGINEER OR INSPECTOR PRIOR TO ACCEPTANCE OF THE PROJECT BY THE CITY OF IMPERIAL BEACH.

8. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED IN WRITING BY THE PUBLIC WORKS DIRECTOR AND THE CHANGE IS REQUIRED BY THE CITY

9. WEAKENED PLANE JOINTS ARE REQUIRED EVERY 5 FEET EACH WAY AND SHALL BE IN ACCORDANCE WITH REGIONAL STANDARD DRAWING G-09 AND THESE PLANS. EXPANSION JOINTS ARE REQUIRED AT CURB RETURNS ADJACENT TO STRUCTURES AND EVERY 45 FEET AND SHALL BE IN ACCORDANCE WITH REGIONAL STANDARD DRAWING G-10 AND THESE PLANS. THEY SHALL BE PLACED IN A STRAIGHT LINE, COMPLETELY THOUGH THE CONCRETE TO THE SUBGRADE AND TO EACH EDGE OF PAVING. CONCRETE SHALL BE CURED IN ACCORDANCE WITH THE 2015 STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK).

10. WHEN PERFORMING EXCAVATION WORK, CARE MUST BE TAKEN NOT TO ALLOW ANY DEBRIS TO ENTER ANY EXISTING SANITARY SEWER MANHOLES OR STORM DRAINS. CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DEBRIS THAT HAS ENTERED MANHOLES AND STORM DRAINS FROM HIS CONSTRUCTION AND WILL HAVE TO REMOVE

11. CONTRACTOR SHALL COORDINATE HIS SCHEDULE WITH THE CITY OF IMPERIAL BEACH PUBLIC WORKS AND EDCO DISPOSAL (619) 287-7555 FOR TRASH COLLECTION IN CONJUNCTION WITH CONSTRUCTION

12. FOR UTILITY TRENCH BACKFILL BENEATH STRUCTURES, PAVEMENTS AND HARDSCAPE SHALL BE COMPACTED TO AT LEAST 90% RELATIVE COMPACTION. THE TOP 12 INCHES OF SUBGRADE BENEATH PAVEMENTS SHALL BE COMPACTED TO AT LEAST 95%.

13. CONTRACTOR SHALL LOCATE ALL UTILITIES WITHIN LIMITS OF WORK PRIOR TO CONSTRUCTION. FOR LOCATIONS OF UTILITIES CONTACT: COX CABLE TV 1-800-262-1122

SAN DIEGO GAS & ELECTRIC CO.

1-800-411-7343 1-800-288-2020 CALIFORNIA AMERICAN WATER CO. 1-619-446-5700 IMPERIAL BEACH PUBLIC WORKS (SEWER) 1-619-423-8311

CONSULTANT

14. THE CONTRACTOR SHALL NOTIFY THE SAN DIEGO GAS AND ELECTRIC COMPANY AND THE PACIFIC TELEPHONE AND TELEGRAPHY COMPANY, AT&T AND COX. CALAM PRIOR TO STARTING WORK NEAR COMPANY FACILITIES AND SHALL COORDINATE THEIR WORK WITH COMPANY REPRESENTATIVES. FOR LOCATION OF ELECTRIC CABLES, GAS PIPING, WATER LINES, AND TELEPHONE CABLES, AND APPURTENANCES CONTACT UNDERGROUND SERVICE ALERT: 1-800-422-4133 ALSO, REFER TO CITY STANDARDS.

15. THE CONTRACTOR SHALL NOTIFY THE CITY OF IMPERIAL BEACH PUBLIC WORKS DEPARTMENT INSPECTOR 48 HOURS PRIOR TO STARTING WORK SO THAT INSPECTION MAYBE PROVIDED. (TELEPHONE NUMBER:

619-423-8311) 16. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2015 EDITION OF STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION,

2015 THE SAN DIEGO REGIONAL STANDARD DRAWINGS (SDRSD). 17. PAVEMENT SECTIONS SHOWN ARE TO BE VERIFIED BY "R" VALUE TESTS (TEST METHOD NO. CALIFORNIA 301) AND PAVEMENT DESIGN REPORT, TO BE SUBMITTED BY SOILS ENGINEER, FOR CITY ENGINEER'S

18. ALL METALS PLACED IN THE GROUND SHALL BE IN ENCASED 6 INCHES OF NEUTRAL SAND.

APPROVAL.

19. CONSTRUCTION EXPANSIONS JOINTS IN CURB AND GUTTER AT RETURNS AND AT DRIVEWAY INTERSECTIONS ARE REQURED PER SDRSD G-9 AND G-10.

20. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED BEFORE CONSTRUCTION OF CURBS, CROSS GUTTERS, OR SURFACING OF THE STREETS AND SHALL BE MARKED FOR EASY LOCATION. THE ENGINEER OF WORK SHALL CERTIFY ALL IMPROVEMENTS TO WITHIN 0.1 FEET OF THE DESIGN.

21. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AN EXCAVATION PERMIT FROM THE DIVISION OF INDUSTRIAL SAFETY AND ADHERE TO ALL PROVISIONS OF THE STATE CONSTRUCTION SAFETY ORDERS.

22. SOILS REPORTS ON ALL TRENCHES SHALL BE SUBMITTED TO THE ENGINEER OF WORK AND THE CITY ENGINEER BY THE SOILS ENGINEER OF RECORD, WHICH CERTIFIES THAT TRENCH BACKFILL WAS COMPACTED AS DIRECTED BY THE SOILS ENGINEER IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS AND CITY OF IMPERIAL BEACH SPECIFICATIONS AND GRADING ORDINANCE. 23. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CURRENT

STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION TRAFFIC CONTROL MANUAL AND SUPPLEMENTS (CALTRANS TRAFFIC CONTROL MANUAL); AND TRAFFIC CONTROL WARNING SIGNS, LIGHTS, AND DEVICES SHALL CONFORM TO THE 2010 CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CALIFORNIA MUTCD 2010, INCLUDING REVS. 1 AND 2 OF THE FHWA'S MUTCD 2003), DEPARTMENT OF TRANSPORTATION, DIVISION OF TRAFFIC OPERATIONS. THE CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLAN, FOR APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS, 48 HOURS PRIOR TO START OF CONSTRUCTION.

24. CENTERLINE MONUMENTS SHALL BE INSTALLED AT THE EC AND BC OF ALL CURVES, AT THE CENTERLINE INSTERSECTION OF ALL STREETS WHERE MANHOLES ALLOW, AT THE RADIUS POINT OF CONCENTRIC CULS-DE-SAC, AND AT THE ANGLE POINT OF OFFSET CULS-DE-SAC, PER SDRSD M-10 AND M-11.

25. ALL EXISITING IMPROVEMENTS INCLUDING CURBS AND GUTTERS, SIDEWALKS, ASPHALT CONCRETE OR P.C.C. PAVING, WHICH ARE BEING JOINED OR MATCHED IN CONNECTION WITH THIS PROJECT, SHALL BE JOINED OR MATCHED IN A MANNER SATISFACTORY TO THE CITY PUBLIC WORKS DIRECTOR, INCLUDING NECESSARY SAW-CUTTING, REMOVAL, REPLACEMENT, AND CAPPING.

26. ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING-UP, REPAIR, ARRIVAL, DEPARTURE, OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT, AND ANY OTHER ASSOCIATED EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY; AND, NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SATURDAYS OR SUNDAYS OR LEGAL HOLIDAYS, UNLESS WAIVED BY THE PUBLIC WORKS DIRECTOR.

27. PATCHING OF SIDEWALK IS NOT PERMITTED.

28. DAMAGED, GOUGED, BROKEN, OR GRAFFITI-MARKED SECTIONS OF CURBS, GUTTERS, OR SIDEWALKS SHALL BE REMOVED OR REPLACED. 29. A MINIMUM REPLACEMENT SECTION TO BE AT LEAST EQUAL TO SCORE

MARK (TYPICALLY 5 FEET X 5 FEET) FOR SIDEWALKS EXCEEDING 5 FEET WIDTH, REPLACEMENT IS TO BE FULL WIDTH SQUARED TO THE NEXT SCORE MARK.

30. ALL VALVE CANS AND RISERS ON THE CITY'S OPERATIONAL SYSTEM WILL BE RAISED TO GRADE, INCLUDING COMPACTION AROUND THE RISER AND PAVING AROUND VALVE CAN, WITHIN 48 HOURS AFTER PAVEMENT HAS BEEN PLACED. THIS INCLUDES VALVE CANS AND RISERS ON THE EXISTING SYSTEM AND ON ALL NEW SYSTEMS THAT ARE TIED INTO THE CITY'S EXISTING SYSTEM.

31. ALL SEWER MANHOLES ON THE CITY'S OPERATIONAL SYSTEM WILL BE RAISED TO GRADE WITHIN 48 HOURS AFTER FINAL LIFT OF PAVEMENT HAS BEEN PLACED. THIS INCLUDES MANHOLES ON THE EXISTING SYSTEM AND ON ALL NEW SYSTEMS THAT ARE TIED INTO THE CITY'S EXISTING SYSTEM.

CITY OF IMPERIAL BEACH, CALIFORNIA **ENGINEERING DEPARTMENT**

SHEET 02 OF 40 SHEETS

FOR CITY ENGINEER	FOR CITY ENGINEER						
DESCRIPTION	BY	APPROVED	DATE	FILMED			
ORIGINAL	SDG						
CONTRACTOR		DATE STARTED _					
INSPECTOR		DATE COMPLETE	D				
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PEC NO. 2025-02 wвs но. **BC-0004-01**

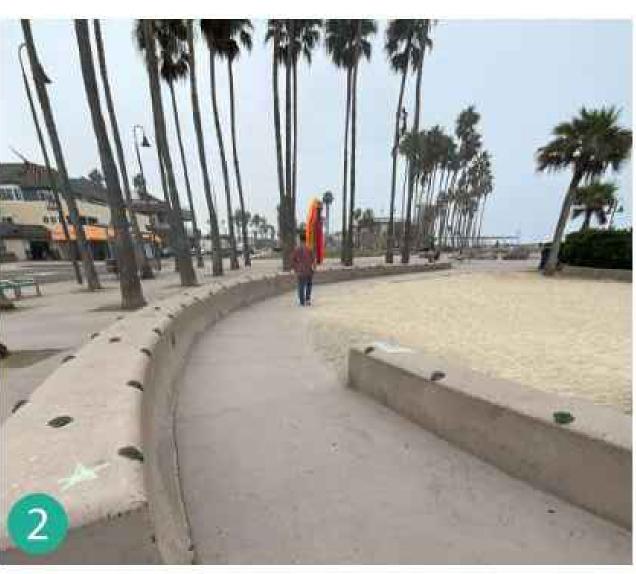


SDG PRJ# 24-408 IM JJ CC

SAN DIEGO UNIFIED PORT DISTRICT DATE **5/5/2025** /E NO. **T-1 1** SPLASH PAD AT PORTWOOD PIER PLAZA IB-2025-01 CITY OF IMPERIAL BEACH GENERAL NOTES

100% CONSTRUCTION DOCUMENTS

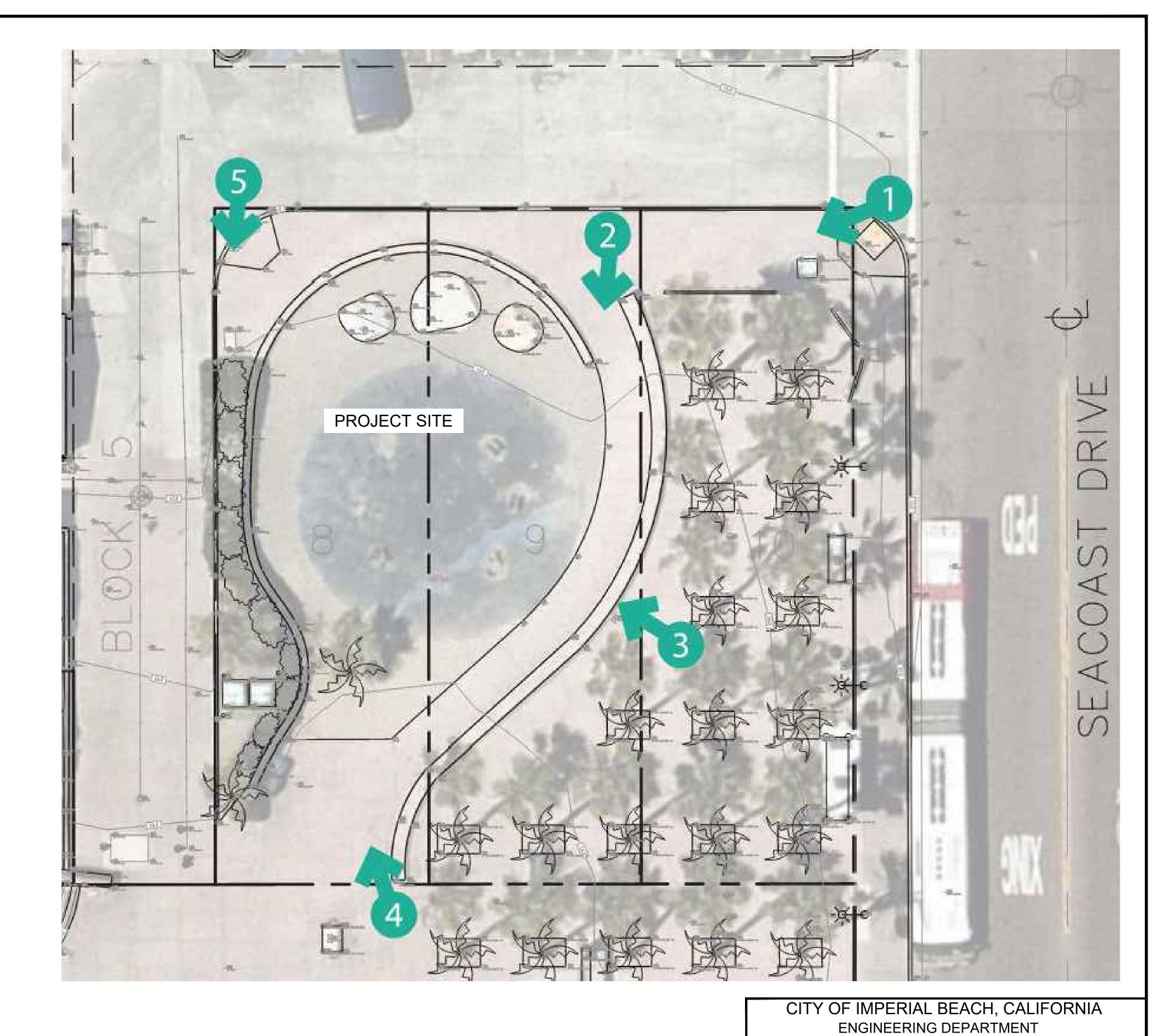


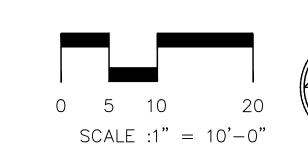














CONSULTANT

SHEET 03 OF 40 SHEETS FOR CITY ENGINEER DATE APPROVED DATE FILMED DESCRIPTION ORIGINAL SDG CONTRACTOR DATE STARTED _ DATE COMPLETED_ INSPECTOR DATE **5/5/2025**

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1	PROJECT ENGINEER		
1	CONTRACTOR		
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	CONSTRUCTION STARTED		
	CONSTRUCTION COMPLETED		
	COST INSPECTOR	REVISIONS	DATE / APPROVED
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SAN DIEGO UNIFIED PORT DISTRICT	
	,
SPLASH PAD AT PORTWOOD PIER PLAZA	
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EXISTING CONDITIONS PHOTOS

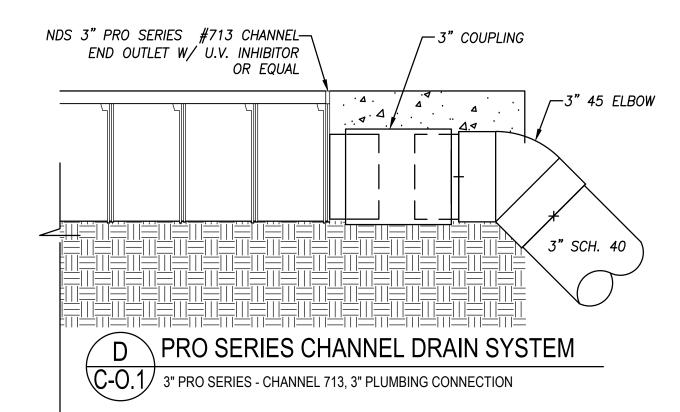
SPECIAL NOTES:

THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTION TO THE CONTRACTOR BY THE ENGINEER OF WORK.

- 1. NEITHER THE OWNER, NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- 2. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- 3. BEFORE EXCAVATION FOR THIS CONTRACT, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES WITH THE APPROPRIATE UTILITY COMPANY. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES AS SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINE SHOWN AND ANY OTHER NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- 4. ALL DAMAGE THERETO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AND AT THE EXPENSE OF THE CONTRACTOR. LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS TO BE MET BY NEW CONSTRUCTION SHALL BE VERIFIED BY FIELD MEASUREMENT PRIOR TO CONSTRUCTION.

GENERAL NOTES:

- 1. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF IMPERIAL BEACH DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES, INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT OF 1973 AND AMENDMENTS THERETO (16 USC SECTION 1531 ET.SEQ.)
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY CONSTRUCTION. IF DESTROYED, A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
- 3. IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE 1-800-422-4133, TWO DAYS BEFORE YOU DIG.
- 4. CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD AND THE CITY OF IMPERIAL BEACH MUNICIPAL CODE AND STORM WATER STANDARDS MANUAL.



DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE CIVIL ENGINEER OF WORK FOR THE CIVIL IMPROVEMENT PLANS, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE PORT OF SAN DIEGO AND THE CITY OF IMPERIAL BEACH IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS A CIVIL ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR CIVIL PROJECT DESIGN.

ME, AS A CIVIL ENGINEER OF WORK,	OF MT	KESPUNSIBILITIES I	FUR CIVIL PRO	JECT DESIGN.	
Sheppert			_4/	17/25	
JOHN D. LEPPERT	RCE NO.	26283		DATE	
		NOTE	SPEC NO	2025-02	WDS

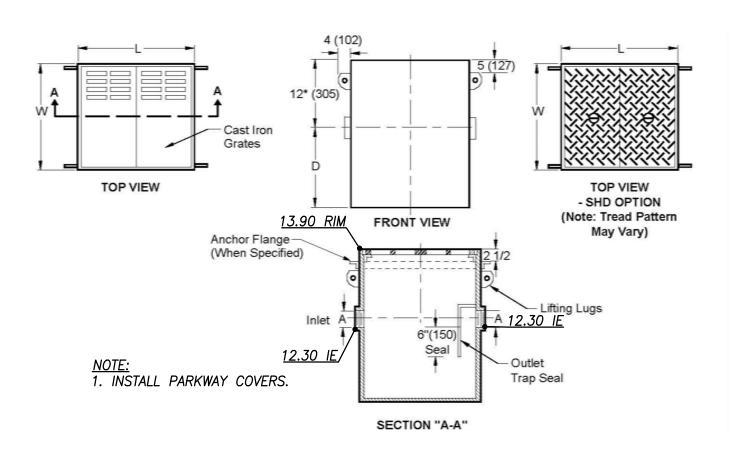
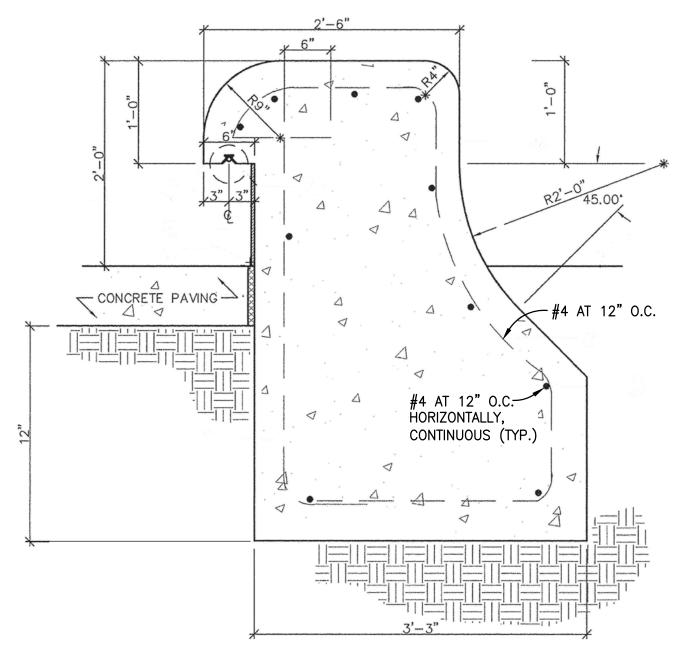


Fig. No.	Flow G.P.M. (Max)	A (Pipe Size)	L	w	D	Capacity (Static) Gals	No. of 12 x 24 Grates
8811-20	20	04 (100)	24 5/8 (631)	24 5/8 (631)	26 (660)	60	2
8811-50	50	04 (100)	48 5/8 (1235)	24 5/8 (631)	26 (660)	120	4
8811-150	150	04 (100)	48 5/8 (1235)	49 (1245)	38 (965)	360	8
8811-250	250	06 (150)	72 5/8 (1844)	49 (1245)	39 (990)	540	12
8811-350	350	06 (150)	96 5/8 (2454)	49 (1245)	45 (1143)	855	16
8811-500	500	06 (150)	120 5/8 (3063)	49 (1245)	51 (1295)	1200	20

A SAND INTERCEPTOR C-0.1 JAY R. SMITH MGF. CO. MODEL NO. 8811-50 (OR EQUAL)





CONCRET

MODIFIED 6" CURB (ZERO CURB)

NO SCALE

CONCRETE SHALL BE 520-C-2500

C-0.1

SOURCE CONTROL BMP'S SOURCE CONTROL REQUIREMENT APPLIED? \blacksquare YES \square NO \square N/A SC-1 PREVENTION OF ILLICIT DISCHARGES INTO THE MS4 \blacksquare YES \square NO \square N/A SC-2 STORM DRAIN STENCILING OR SIGNAGE ■ YES □ NO □ N/A SC-3 PROTECT OUTDOOR MATERIALS STORAGE AREAS FROM RAINFALL. RUN-ON.RUNOFF. AND WIND DISPERSAL SC-4 PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS \blacksquare YES \square NO \square N/A FROM RAINFALL. RUN-ON. RUNOFF. AND WIND DISPERSAL SC-5 PROTECT TRASH STORAGE AREAS FROM RAINFALL, \blacksquare YES \square NO \square N/A RUN-ON, RUNOFF, AND WIND DISPERSAL SC-6 ADDITIONAL BMPS BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS ON-SITE STORM DRAIN INLETS ■ YES □ NO □ N/A INTERIOR FLOOR DRAINS AND ELEVATOR SHAFT SUMP PUMPS YES NO N/A □ YES □ NO ■ N/A INTERIOR PARKING GARAGES □ YES □ NO ■ N/A NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL LANDSCAPE/OUTDOOR PESTICIDE USE ☐ YES ☐ NO ■ N/A ■ YES □ NO □ N/A POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES FOOD SERVICE ☐ YES ☐ NO ■ N/A REFUSE AREAS \square YES \square NO \blacksquare N/A INDUSTRIAL PROCESSES \square YES \square NO \blacksquare N/A OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS \square YES \square NO \blacksquare N/A VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE □ YES □ NO ■ N/A FUEL DISPENSING AREA \square YES \square NO \blacksquare N/A LOADING DOCKS \square YES \square NO \blacksquare N/A FIRE SPRINKLER TEST WATER \square YES \square NO \blacksquare N/A MISCELLANEOUS DRAIN OR WASH WATER \square YES \square NO \blacksquare N/A PLAZAS, SIDEWALKS, AND PARKING LOTS ☐ YES ☐ NO ■ N/A

SITE DESIGN BMP'S										
SITE DESIGN REQUIREMENT			APF	PLIED?	?					
SD-1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES		YES		NO		N/A				
SD-2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION		YES		NO		N/A				
SD-3 MINIMIZE IMPERVIOUS AREA		YES		NO		N/A				
SD-4 MINIMIZE SOIL COMPACTION		YES		NO		N/A				
SD-5 IMPERVIOUS AREA DISPERSION		YES		NO		N/A				
SD-6 RUNOFF COLLECTION		YES		NO		N/A				
SD-7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES		YES		NO		N/A				
SD-8 HARVESTING AND USING PRECIPITATION		YES		NO		N/A				

BASIS OF ELEVATIONS

THE BASIS OF ELEVATIONS FOR THIS MAP IS THE PORT OF SAN DIEGO GPS CONTROL PT SDUPD-055. A 3" BRASS DISC STAMPED "PORT OF SAN DIEGO GPS CONTROL LS 6000" IN A CONCRETE BAND, FOOT OF IMPERIAL BEACH BLVD. BETWEEN 2 TRASH ENCLOSURES.

ELEV. = 18.988 MLLW

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS MAP IS THE CALIFORNIA COORDINATE SYSTEM 83, ZONE 6, NAD 83, 1991.35 EPOCH AS DETERMINED LOCALLY BETWEEN STATIONS SDUPD-055 AND SDUPD-056 PER RECORD OF SURVEY 17055. SAID BEARING BEING IN TERMS OF CCS83 ZONE 6. I.E.

QUOTED BEARINGS FROM REFERENCE MAPS OR DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.

TOPOGRAPHY SOURCE

SITE TOPOGRAPHY PROVIDED BY A FIELD SURVEY BY LAND SURVEYING CONSULTANTS, INC. DATE OF SURVEY: SEPTEMBER 24, 2024.

RIGHT-OF-WAY LINE / PROPERTY LINE 6" PCC CURB SDRSD G-01, G-09, G-10 CONCRETE PAVING PER DETAILS ON LC SHEETS CONCRETE SEAT WALL PER DETAILS ON LC SHEETS SAWCUT LINE ------1" WATER LINE SDRSD WP-01, WP-02, WS-01 4" SEWER SERVICE SDRSD SS-01, SS-03 TRENCH DRAIN PER DETAIL D ON SHEET C-0.1 4" STORM DRAIN —— SD——— SD—— AREA DRAIN PER DETAILS A AND B ON SHEET C-0.3 ————— DOMESTIC BACKFLOW DEVICE SDRSD WR-01 PER DETAIL A ON SHEET C-0.1 SAND INTERCEPTOR SIDEWALK UNDERDRAIN SDRSD D-27 —— SD—— DIRECTION OF DRAINAGE TRENCH RESURFACING SDRSD G-25 EXISTING IMPROVEMENTS PCC CURB CONCRETE PAVING ELECTRICAL BOX CATCH BASIN PLANTER WALL PUBLIC WATER MAIN PUBLIC SEWER MAIN UNDERGROUND ELECTRICAL CONDUIT PUBLIC STORM DRAIN PALM TREE **TRANSFORMER** CURB RAMP SEAT WALL SURVEY MONUMENT (ARMY CORP OF ENGINEERS) PROTECT IN PLACE **ABBREVIATIONS:** CIVIL SHEET INDEX

<u>STD. DWG. / REF.</u>

LEGEND:

DESCRIPTION

PROPOSED IMPROVEMENTS

ΕX	EXISTING	DESCRIPTION	SHEET NO.
(XX)	EXISTING	CIVIL COVER SHEET	C-0.1
FF ´	FINISHED FLOOR	EXISTING CONDITIONS AND DEMOLITION PLAN	C-0.2
FG	FINISHED GRADE	PRECISE GRADING AND DRAINAGE PLAN	C-0.3
FS	FINISHED SURFACE	PRIVATE UTILITY PLAN	C-0.4
GB	GRADE BREAK	EROSION CONTROL PLAN	C-0.5
GR	GRATE ELEVATION		
ΙE	INVERT ELEVATION		
PVC	POLYVINYL CHLORIDE PIPE		
SDRSD	SAN DIEGO REGIONAL STA	NDARD DRAWINGS	
TW	TOP OF WALL		

CITY OF IMPERIAL BEACH, CALIFORNIA

ENGINEERING DEPARTMENT

C-0.1

<u>SYMBOL</u>

SHEET 4 OF 40 SHEETS FOR CITY ENGINEER DATE **SUB-CONSULTANT** CONSULTANT **APPROVED** DATE FILMED DESCRIPTION ORIGINAL SCHMIDT DESIGN 000 GROUP No. 26283 Leppert Engineering 1310 Rosecrans St., Suite G, San Diego, CA 92106 619.236.1462 CORPORATION LIC. CA 2138 | NV 219 | AZ 34139 190 Governor Drive, Suite 205, San Diego, Ca. 92122–2848 CONTRACTOR DATE STARTED _ SCHMIDTDESIGN.COM Phone: (858) 597-2001 Fax: (858) 597-2009 DATE COMPLETED SDG PRJ# 24-408 INSPECTOR

WBS NO. BC-0004-01 RECORD DRAWING THIS DRAWING MAY BE A REFERENCES REDUCED SCALE PRINT OF REVIEWED BY: ROJECT ENGINEER THE ORIGINAL DRAWING. UTILIZE GRAPHIC SCALES -ONTRACTOR VERIFY IF DRAWING IS A PROJECT MANAGER/ENGINEER INSTRUCTION STARTED REDUCTION, AND ADJUST ONSTRUCTION COMPLETED SCALES ACCORDINGLY TO THE GRAPHIC SCALES SHOWN.



	020111011211100	
DESIGNED	APPROVAL RECOMMENDED	
JM JJ CC		
DRAWN	PROJECT MANAGER	
CC	APPROVED	
CHECKED	1	
JM JJ		CI

SAN DIEGO UNIFIED PORT DISTRICT

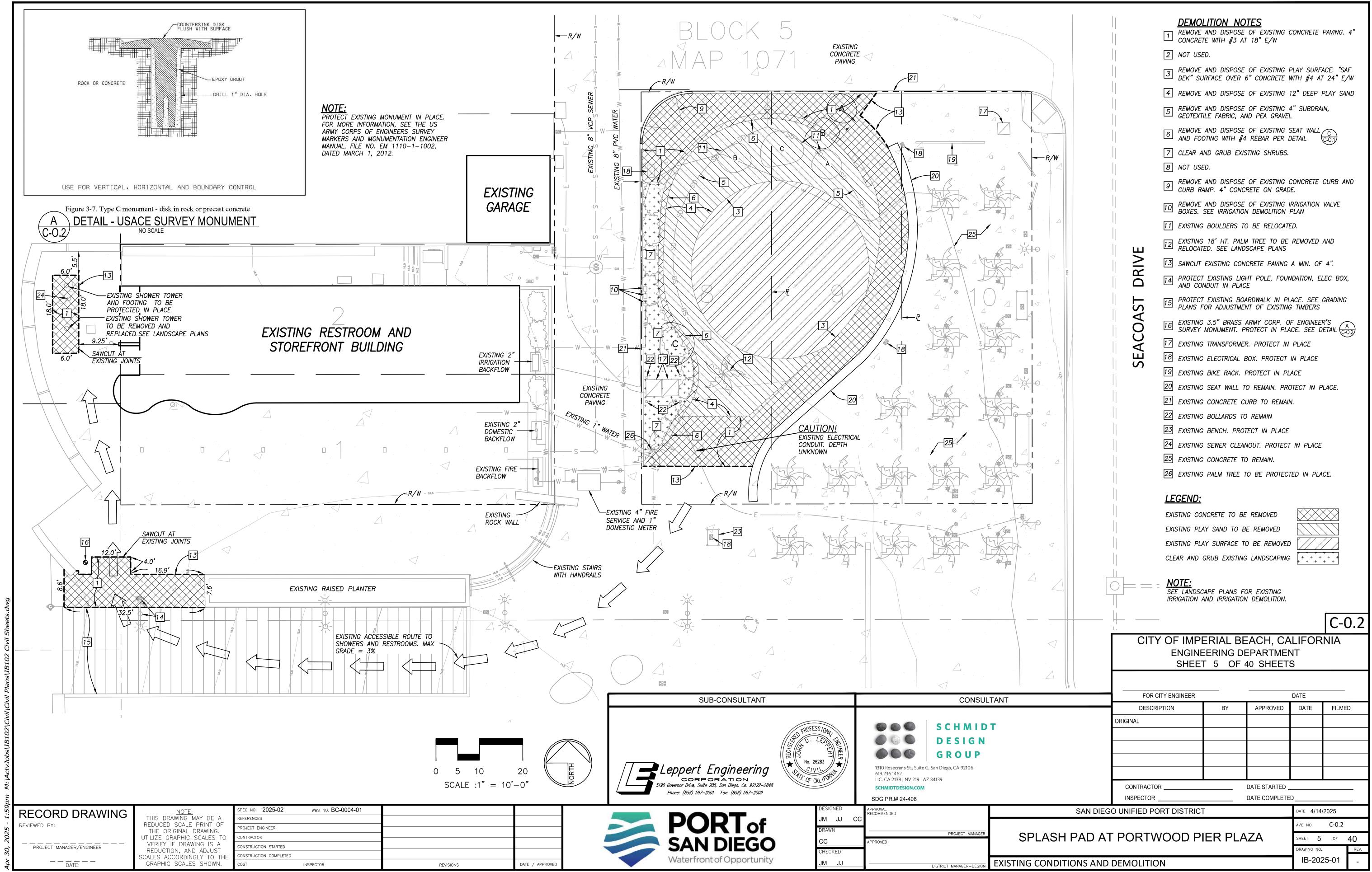
SPLASH PAD AT PORTWOOD PIER PLAZA

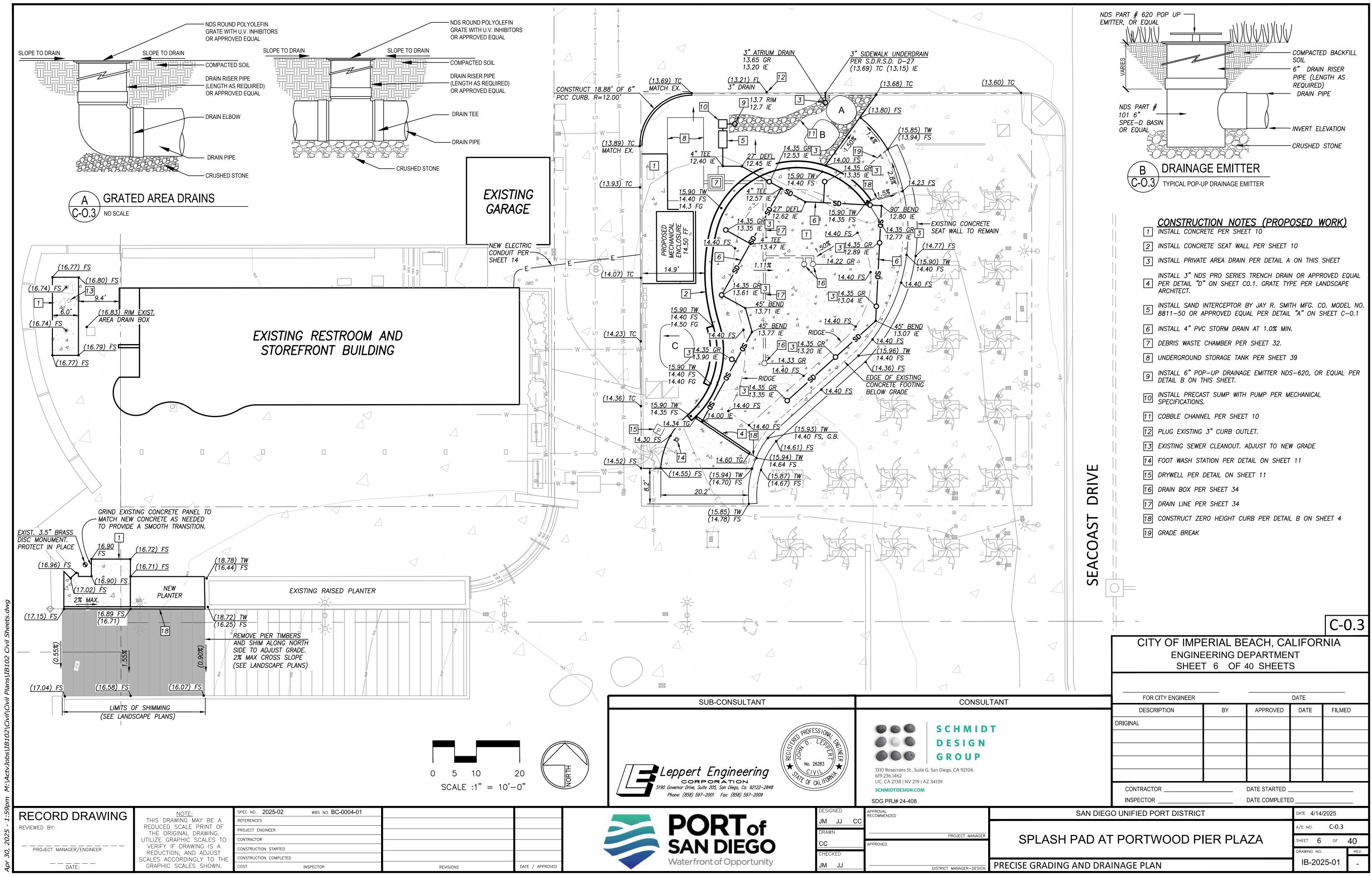
SHEET 4 OF 40

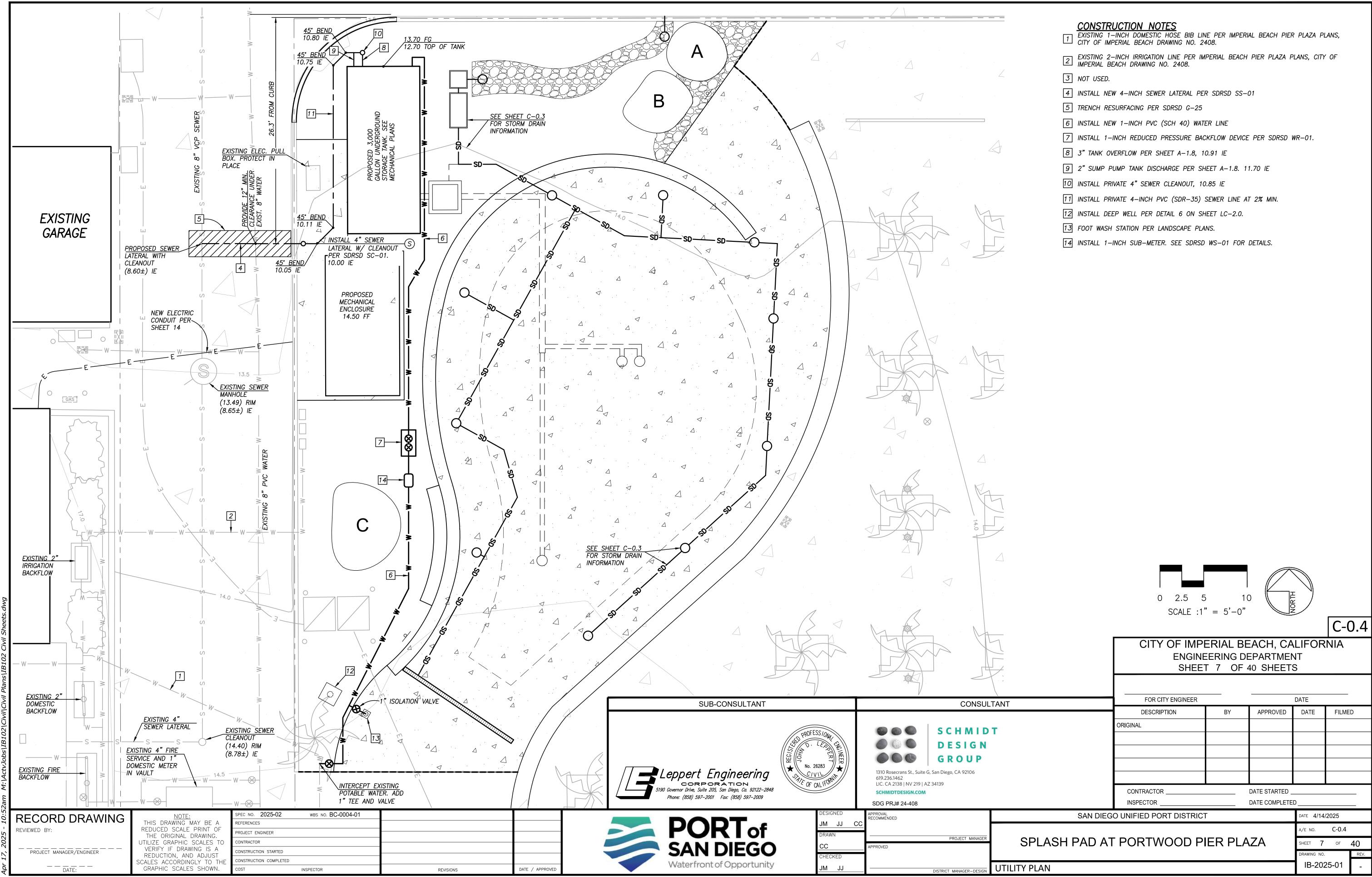
DRAWING NO. REV.

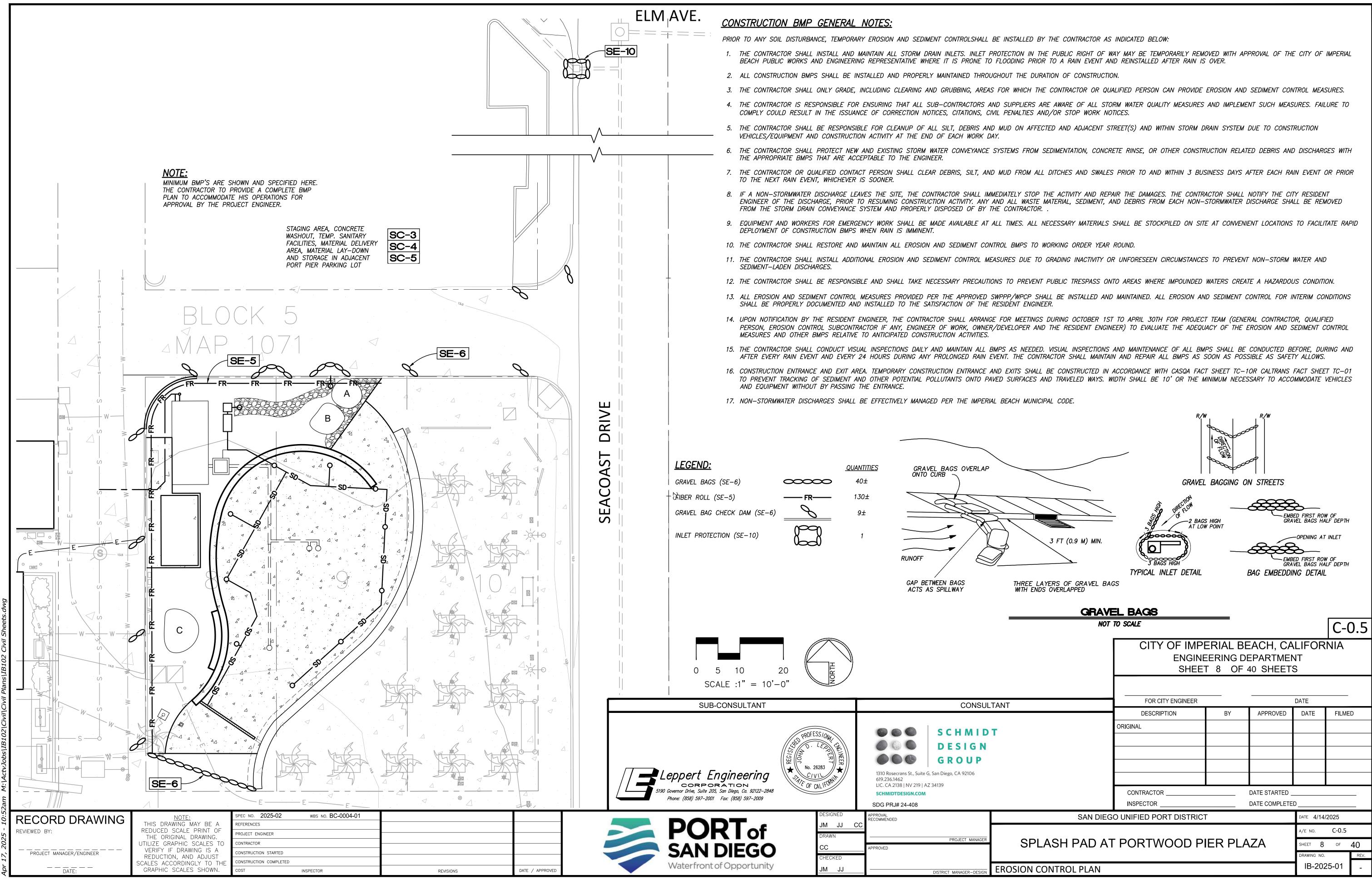
IB-2025-01 -

100% CONSTRUCTION DOCUMENTS









CONSTRUC	TION LEGEND						CONSTRUCTION NOTES:
SYMBOL COD	DE DESCRIPTION	DETAIL	SYMBOL	CODE	DESCRIPTION	DETAIL	1. UNLESS SPECIFIED OTHERWISE, LANDSCAPE CONSTRUCTION AND LAYOUT WORK
1	4" THICK PEDESTRIAN CONCRETE PAVING AT PIER PLAZA. COLOR: TO MATCH EXISTING. FINISH: TO MATCH EXISTING. SEE NOTE #25	1,2/LC-2.0		9A	REMOVE AND REPLACE EXISTING SHOWER COLUMN. PROVIDE NEW ADA MODEL: 590 SMSS WITH MARINE GRADE 316 STAINLESS	3/LC-2.2	INCLUDES, BUT IS NOT LIMITED TO THE LOCATION, PLACEMENT AND DETAILING OF THE PAVING, CAST IN PLACE CONCRETE WALLS, AND CONSTRUCTION OF THE SPLASH PAD
	FOR MOCKUP REQUIREMENTS.	1,2/LC-2.0			STEEL. COLOR: CHROME. AVAILABLE THROUGH: MOST DEPENDABLE FOUNTAINS OR APPROVED EQUAL. PHONE #: (901)		2. SEE ENGINEER'S PLAN FOR SITE DRAINAGE AND GRADING, FINISH GRADING, SITE UTILITY LAYOUT AND CONSTRUCTION.
	COLOR: NATURAL GRAY. FINISH: MEDIUM BROOM	,			867-0039. CONTRACTOR TO UTILIZE EXISTING UTILITY CONNECTIONS FOR SHOWER AND VERIFY EXISTING FOOTING SIZE FOR RE-USE.		4. DIMENSIONS INDICATED ON PLANS SHALL PREVAIL OVER PLAN SCALE. DIMENSIONS ARE TO FACES OF, AND PERPENDICULAR TO THE FACE OF BUILDING WALLS UNLESS SHOWN OTHERWISE. ALL ANGLES AND CONNECTIONS ARE (90)
	EXISTING CONCRETE TO REMAIN; PROTECT IN PLACE				CONTRACTOR TO COORDINATE AND RETURN EXISTING SHOWER COLUMN TO THE PORT OF SAN DIEGO.		DEGREES UNLESS NOTED OTHERWISE. WALKS CONNECTING DOORS ARE TO BE ALIGNED WITH FACE OF BUILDING UNLESS NOTED OTHERWISE.
	ENHANCED PEDESTRIAN CONCRETE PAVING WITH 3/8" MINUS AGGREGATE. INTEGRAL COLOR: SPANISH GOLD. FINISH: #5 GRACE TO CAST. SEE NOTE #25 FOR MOCKUP	A-1.4 - A-1.5		9B	EXISTING SHOWER COLUMN TO REMAIN; PROTECT IN PLACE	C-0.2	5. ALL COORDINATE POINTS AND DIMENSIONS ARE TAKEN FROM THE FACE OF CURB UNLESS OTHERWISE NOTED.
	REQUIREMENTS.			10	SAND TRAP PER CIVIL PLANS	A/ C-0.1	6. EXPANSION JOINTS SHALL BE AS LOCATED ON THE PLANS AND WHERE CONCRETE MEETS EXISTING WALLS, BUILDINGS, OR OTHER HARD SURFACES. EXPANSION
1	ENHANCED PEDESTRIAN CONCRETE PAVING WITH 3/8" MINUS AGGREGATE. INTEGRAL	A-1.4 - A-1.5		11	TRENCH DRAIN PER CIVIL PLANS	C-0.3	JOINTS SHALL BE SEALED TO PREVENT MOISTURE SEEPAGE AFTER CURING. EXPANSION JOINTS ON WALKS TO BE A MAXIMUM OF 30'-0" ON CENTER. FIBER EXPANSION JOINTS SHALL BE AS LOCATED ON PLANS AND WHERE NEW
	COLOR: PEWTER. FINISH: #15 GRACE TOP CAST. SEE NOTE #25 FOR MOCKUP			12A	6" CONCRETE CURB PER CIVIL PLANS	C-0.3	CONCRETE EXPANSION JOINTS MEETS ADJACENT HARD SURFACES SUCH AS
	REQUIREMENTS.			12B	6" WIDE FLUSH CONCRETE CURB PER CIVIL PLANS	B/ C-0.1	EXISTING CONCRETE OR WALLS. ALL FIBER EXPANSION JOINTS SHALL BE SEALED.
	ENHANCED PEDESTRIAN CONCRETE 'SURFBOARD' WITH INTEGRALLY MIXED 1/4"-1/2" ARIZONA RIVER ROCK FROM DECORATIVE STONE SOLUTIONS OR	A-1.4 - A-1.5, 3/LC-2.1		13	RELOCATE (3) THREE EXISTING BOULDERS FROM EXISTING SAND PLAY AREA AS SHOWN	2/LC-2.2	 CONSTRUCT EXPANSION, WEAKENED-PLANE (CONTRACTION) AND CONSTRUCTION JOINTS IN ACCORDANCE WITH SPECIFICATION SECTION 32 13 13 'CONCRETE PAVING.'
	APPROVED EQUAL. INTEGRAL COLOR: PEWTER. FINISH: #15 GRACE TOP CAST. SEE NOTE #25 FOR MOCKUP REQUIREMENTS.			14	ADJUST TIMBER PIERS TO MAINTAIN A MAXIMUM CROSS SLOPE TO 2%. DO NOT GRIND PIER TIMBERS. CONTRACTOR TO	2/LC-2.1	8. ALL CONCRETE SHALL BE A MINIMUM STRENGTH OF 2500 PSI AT 28 DAYS FOR SIDEWALKS. FINISH SHALL BE AS NOTED ON PLANS.
1	G CONCRETE PAD FOR MECHANICAL ENCLOSURE.	A-1.15			REMOVE AND SHIM TIMBERS WITH PRESSURE TREATED SHIMS TO MEET NEW CONCRETE AT GRADE. CONTRACTOR TO SECURE WITH		9. CONCRETE PAVING SHALL HAVE FINISHED GRADES SMOOTHED TO ELIMINATE PUDDLING OR STANDING WATER. ALL FINISH SURFACES SHALL MAINTAIN A
	EXPANSION JOINT	3/LC-2.0			EXISTING ANCHORAGE POINTS. SEE DETAIL 5/L1.4 OF IMPERIAL BEACH PIER PLAZA PLANS, CITY OF IMPERIAL BEACH DRAWING NO. 2408		MAXIMUM SLOPE OF 2% AWAY FROM BUILDINGS AND WALLS INTO DRAINAGE STRUCTURES OR TO STREET. CONTRACTOR SHALL NOTIFY THE PORT OF SAN DIEGO OF ANY CONFLICTS MAINTAINING DRAINAGE.
	SCORE JOINT 4"-8" ANGULAR COBBLE. TYPE: BODIE RUBBLE	3/LC-2.0 . 5/LC-2.0	[*,*,*,*,*,*,*,*,*,*,*]	15	'DO NOT DRINK' SIGN FOR SPLASH PAD	4/LC-2.0	10. SCORE JOINTS SHALL BE AS SHOWN ON THE PLANS OR SET ON TYPICAL ON CENTER SPACING AND ALIGN WITH BUILDING EDGES.
	AVAILABLE THROUGH DECORATIVE STONE SOLUTIONS OR APPROVED EQUAL. PH: (800) 699-1878			16	EXISTING STAIRS AND HANDRAILS TO REMAIN; PROTECT IN PLACE		11. LAYOUT POINTS OF ALL RADIUS SHALL BE CONNECTED BY SMOOTH EVEN LINES TO CREATE THE CURVED CONFIGURATION AS SHOWN ON THE PLANS.
4	A 18" WIDE CAST IN PLACE CONCRETE SEAT WALL. INTEGRAL COLOR: TO MATCH EXISTING	4/LC-2.1		17	EXISTING UTILITIES TO REMAIN; PROTECT IN PLACE. SEE CIVIL PLANS		12. SEE IRRIGATION PLANS FOR SLEEVE LOCATIONS PRIOR TO CONSTRUCTION.
	FINISH: MEDIUM SANDBLAST TO MATCH EXISTING.			18	EXISTING BOARDWALK TO REMAIN; PROTECT IN PLACE		13. NO DEVIATIONS FROM PLANS SHALL OCCUR WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
4	B 18" WIDE CAST IN PLACE CONCRETE STEPPED SEAT WALL. INTEGRAL COLOR: TO MATCH EXISTING. FINISH: MEDIUM SANDBLAST TO	1/LC-2.2		19	EXISTING CONCRETE CURB TO REMAIN; PROTECT IN PLACE		14. ANY PROPOSED WORK THAT IS INCONSISTENT WITH COMMON, SAFE CONSTRUCTION PRACTICES SHALL BE BROUGHT TO THE ATTENTION OF THE PORT OF SAN DIEGO PRIOR TO COMMENCING WITH CONSTRUCTION.
	MATCH EXISTING.	A 1 2		20	EXISTING BRASS DISC MONUMENT; PROTECT IN PLACE	C-0.2	15. CONTRACTOR SHALL VISIT SITE AND VERIFY ALL FIELD CONDITIONS PRIOR TO
5	SPLASH PAD WITH AT-GRADE JETS PER AQUATIC PLANS	A-1.3		21	EXISTING LIGHT FIXTURE TO REMAIN; PROTECT IN PLACE		BEGINNING CONSTRUCTION.
5	SPLASH PAD MECHANICAL ENCLOSURE - 16'L X 8'-5"W X 9'-4"HT PER AQUATIC PLANS	A-1.12, A-1.15		22	EXISTING PALM TREES TO REMAIN; PROTECT IN PLACE		ADDITIVE ALTERNATE LEGEND CONTINUED CODE DESCRIPTION
5	SPLASH PAD VAULT - 19'-2"L X 8'-4"W BELOW GRADE PER AQUATIC PLANS	A-1.13		23	EXISTING BIKE RACK TO REMAIN; PROTECT IN PLACE		ADDITIVE ALTERNATE #3: LITHOCRETE PAVING SUBSTITUTION. AVAILABLE THROUGH T.B.
5	SPLASH PAD DEBRIS CHAMBER AND DIVERTED VALVE PER AQUATIC PLANS	R A-1.6		24	EXISTING PLANTER WALL TO REMAIN; PROTECT IN PLACE		PENICK & SONS OR APPROVED EQUAL. COLOR TO BE SPANISH GOLD. HAND SEEDED WITH 1/16" MINUS AGGREGATES: 33% MICA, 33%
5	SPLASH PAD FOOT ACTIVATORS PER AQUATION PLANS	C A-1.3		25	EXISTING SEAT WALL WITH ART TO REMAIN; PROTECT IN PLACE		GLASS, 33% MIXTURE OF ABALONE & GOLDEN PYRITE.
6	SPLASH PAD AREA DRAINS PER AQUATIC PLANS	A-1.8		26	EXISTING SEA WALL TO REMAIN; PROTECT IN PLACE		ADDITIVE ALTERNATE #3: LITHOCRETE PAVING SUBSTITUTION. AVAILABLE THROUGH T.B. PENICK & SONS OR APPROVED EQUAL. COLOR
6	AREA DRAINS PER CIVIL PLANS	C-0.3		PA	PLANTING AREA		TO BE PEWTER. HAND SEEDED WITH 1/16" MINUS AGGREGATES: 33% MICA, 33% GLASS,
	FOOT WASH STATION. MODEL #: 525SMSS FOOT TOWER. COLOR: CHROME. AVAILABLE	1/LC-2.1		Ε ΔΙ ΤΙ	ERNATE LEGEND		33% MIXTURE OF ABALONE & GOLDEN PYRITE.
	THROUGH: MOST DEPENDABLE FOUNTAINS OR APPROVED EQUAL. PHONE #: (901)			ESCRIPTI		DESCRIPTION	CONSULTANT
	867-0039		ΔΙ		LTERNATE #1: MECHANICAL	ADDITIVE ALTERNA	ATE #2: INTEGRATED JET
_{	FOOT WASH DEEP WELL	6/LC-2.0	Z/A EN	NCLOSUR	E ART - PROVIDE DIGIFUSE ART TH SURF-THEMED GRAPHICS IN	LIGHTING. ED LIGH	TED JETS WITH TINGS AND DMX CONTROL. DESIGN
					ANDARD POWDERCOATED PANELS. 8 PANELS. GRAPHICS TO BE	SEE SHEET 35.	1310 Rosecrans St., Suite G, San Diego, CA 92106
			PF	ROVIDED	BY THE LANDSCAPE ARCHITECT.		619.236.1462 LIC. CA 2138 NV 219 AZ 34139
							SCHMIDTDESIGN.COM SDG PRJ# 24-408
RECORD DRAW	THIS BIGGING MICH BE //	WBS NO. BC-0004-01					DESIGNED JM JJ CC APPROVAL RECOMMENDED
REVIEWED BY:	REDUCED SCALE PRINT OF THE ORIGINAL DRAWING. UTILIZE GRAPHIC SCALES TO CONTRACTOR						DRAWN CC DRAWN PROJECT MANAGER SF
PROJECT MANAGER/ENGINEER						Control Control Control	I DIEGO CHECKED
— — — — — — — — — — — — — — — — — — —	GRAPHIC SCALES SHOWN. COST	INSPECTOR		REVISION	S DATE / APPROVED	vvateriro	ont of Opportunity LAND

- 16. CONTRACTOR SHALL REVIEW PLANS AND DETAILS TO ASCERTAIN LOCATIONS NECESSARY TO PROVIDE ELECTRICAL CONNECTIONS TO POWER IRRIGATION, LIGHTING, ETC.
- 17. CONTRACTOR SHALL DETERMINE THE LOCATION AND DEPTH OF ALL SITE UTILITIES PRIOR TO CONSTRUCTION. NOTIFY THE PORT OF SAN DIEGO OF ANY DISCREPANCIES IMMEDIATELY.
- 18. CONTRACTOR SHALL SECURE ALL PERMITS AND PAY ALL APPLICABLE FEES TO CONSTRUCT THE PLANS HEREIN.
- 19. THE CONTRACTOR SHALL HAVE ENGINEER OF WORK OR LANDSCAPE ARCHITECT VERIFY ALL CONSTRUCTION STAKING LOCATIONS PRIOR TO INSTALLATION OF CONCRETE PAVING.
- 20. THE CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION STAKING AND RE-STAKING REQUIRED TO COMPLETE THE PROJECT.
- 21. ALL HARDWARE SUCH AS NAILS, BOLTS, FASTENERS ETC. SHALL BE HOT DIPPED GALVANIZED UNLESS OTHERWISE NOTED.
- 22. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES AS NECESSARY.
- 23. ALL VERTICAL SURFACES, UNLESS NOTED OTHERWISE, SHALL RECEIVE A COAT OF GRAFFITI RESISTANT COATING.
- 24. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR LANDSCAPE ARCHITECTS REVIEW AND APPROVAL FOR DETAILS AS NOTED ON THE PLANS AND SPECIFICATIONS.
- 25. CONTRACTOR SHALL PROVIDE MINIMUM 2'X2' MOCKUPS OF ALL CONCRETE PAVING. MOCKUPS FOR ENHANCED CONCRETE PAVING SHALL INCLUDE GRACE TOP CAST #5, #15, AND #25. MOCKUPS FOR MATCHING EXISTING CONCRETE SHALL INCLUDE COLOR MATCHES, AND FINISHES TO INCLUDE LIGHT SAND BLAST AND GRACE TOP CAST #5. FINAL SELECTION TO BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- 26. CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEANUP OF THE SITE AND PROVIDING ADEQUATE SAFETY MEASURES DURING CONSTRUCTION ON A 24 HOUR BASIS.
- 27. ANY CREDITS AND/OR DEBITS SHALL BE REPORTED TO LANDSCAPE ARCHITECT AT TIME OF OCCURRENCE FOR PROPER VERIFICATION AND/OR APPROVAL PRIOR TO COMMENCEMENT OF RESULTING ACTION.
- 28. CONTRACTOR SHALL PROVIDE A 24 HOUR PHONE NUMBER AVAILABLE IN CASE OF EMERGENCY.

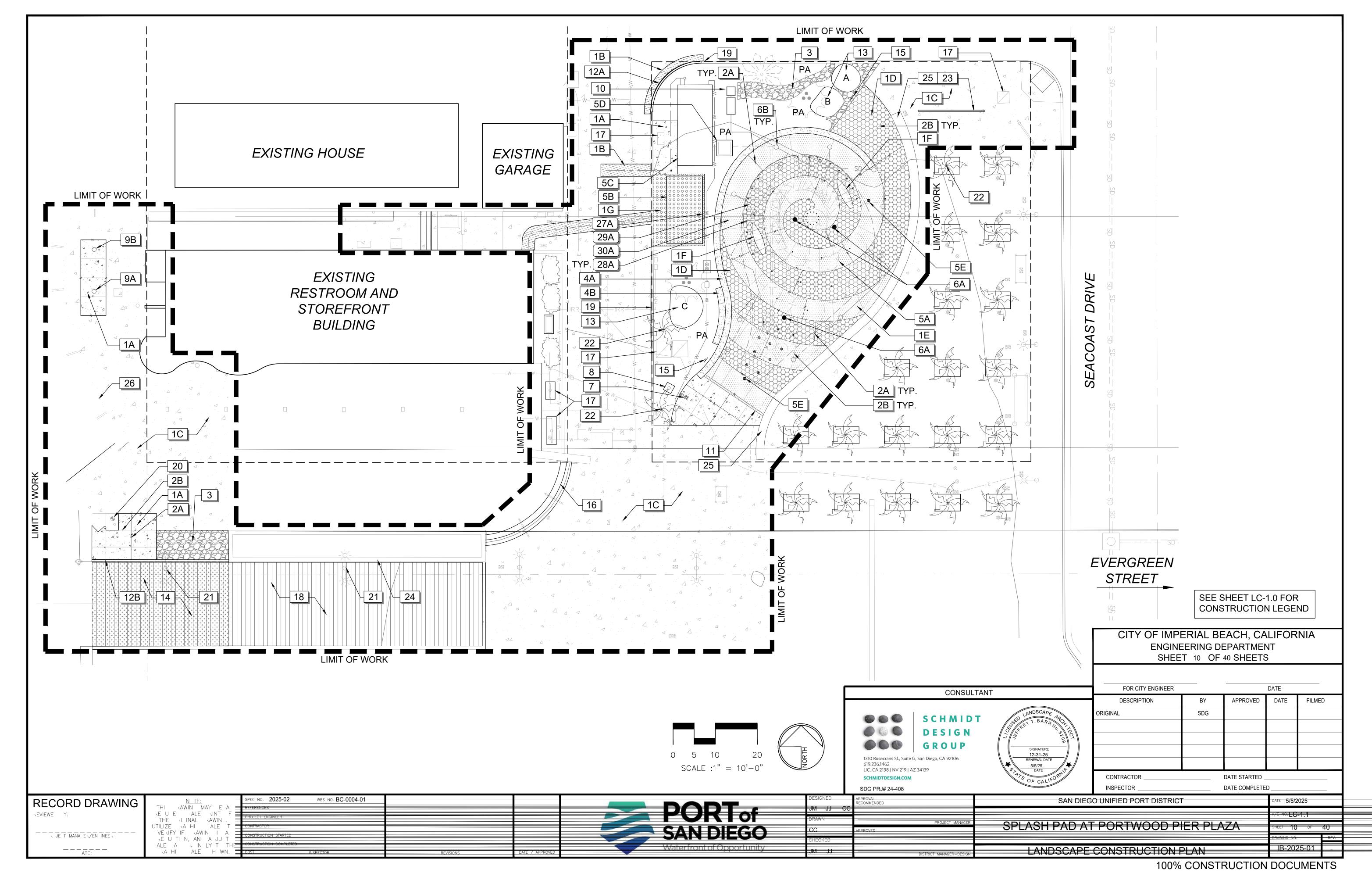
AMERICANS WITH DISABILITIES NOTES

1. ALL SLOPES SHOWN ON THIS PLAN WERE DESIGNED AT OR BELOW MAXIMUMS ALLOWED BY THE AMERICANS WITH DISABILITIES ACT ACCESS GUIDE (A.D.A.A.G.). IN ORDER TO ALLOW FOR CONSTRUCTION TOLERANCES. IT IS THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH A.D.A.A.G. AND IN THE EVENT THAT A DESIGN QUESTION SHOULD ARISE, OR A FIELD CONDITION PRESENTS ITSELF THAT IS DIFFERENT THAN SHOWN ON THESE PLANS, WORK SHOULD CEASE AND THE ENGINEER BE NOTIFIED SO THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED. 2. THE CONTRACTOR IS ADVISED TO CAREFULLY CHECK ALL PHASES OF WORK RELATING TO A.D.A.A.G. ACCESS FOR THIS PROJECT. SINCE THE CODE DOES NOT ALLOW FOR A CONSTRUCTION TOLERANCE, AND CONSTRUCTION THAT EXCEEDS MAXIMUM OR MINIMUM DIMENSIONS AND SLOPES AS CALLED OUT BY A.D.A.A.G. ARE SUBJECT TO REJECTION BY THE PORT DISTRICT AND ANY OTHER AUTHORITY OR OTHER AFFECTED PARTIES, AND MAY BE REQUIRED TO BE MOVED AND REPLACED. 3. SINCE THE CIVIL ENGINEER OR SURVEYOR CANNOT CONTROL THE EXACT METHODS OR MEANS USED BY THE GENERAL CONTRACTOR OR THEIR SUBCONTRACTOR DURING GRADING AND CONSTRUCTION OF THE PROJECT, THE CIVIL ENGINEER ASSUMES NO RESPONSIBILITY FOR FINAL ACCEPTANCE OF A.D.A.A.G. RELATED ITEMS OF THIS PROJECT BY THE PORT DISTRICT, ANY OTHER AUTHORITY OR OTHER AFFECTED CITY OF IMPERIAL BEACH, CALIFORNIA

> SHEET 9 OF 40 SHEETS DATE FOR CITY ENGINEER APPROVED DATE FILMED DESCRIPTION SDG **ORIGINAL**

ENGINEERING DEPARTMENT

	SCHMIDTDESIGN.COM SDG PRJ# 24-408	DATE OF CALIFORNIE	CONTRACTOR	DATE STARTED DATE COMPLETED	-	_		
IGNED	APPROVAL RECOMMENDED	SAN	DIEGO UNIFIED PORT DISTRICT		DATE 5/5/2025			
JJ (<u> </u>							
	PROJEC APPROVED	SPLASH PAD	O AT PORTWOOD PI	ER PLAZA	SHEET 9 OF	40		
CKED					DRAWING NO.	REV.		
JJ	DISTRICT MANA	GER-DESIGN LANDSCAPE CON	NSTRUCTION LEGEND	AND NOTES	IB-2025-01	-		
	<u> </u>		4000/	CONCEDUCTION		ITO		



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NOTES:

A. AT A MINIMUM PROVIDE THE FOLLOWING:

SIDEWALKS: SCORE JOINTS @ 5' O.C. EXPANSION JOINTS @ 30' O.C. SLABS: SCORE JOINTS @ 10' O.C.

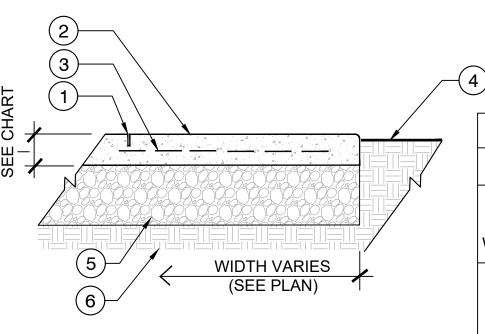
- B. CONCRETE COLOR AND FINISH PER PLAN.
- C. CONTRACTOR TO FOLLOW RECOMMENDATIONS OF GEOTECH REPORT AND/OR STRUCTURAL ENGINEER.

EXPANSION JOINTS @ 30' O.C.

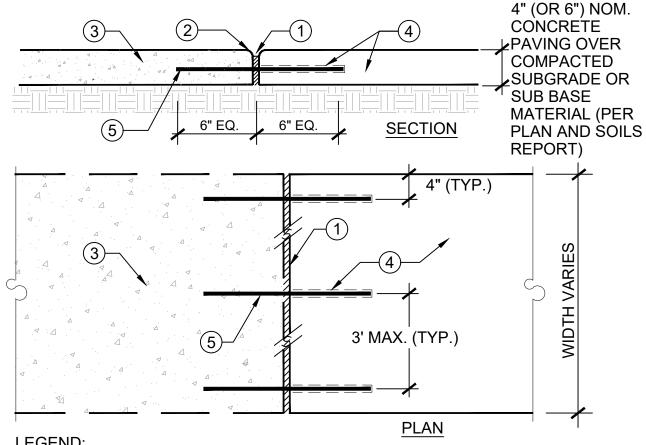
D. ALL SURFACE, SUBBASE, AND SUBGRADE THICKNESSES AND COMPACTION PERCENTAGES ARE SUBJECT TO CHANGE IN CONFORMANCE WITH FINAL GEOTECH REPORT.

LEGEND:

- (1) SCORE JOINTS AND EXPANSION JOINTS, SPACING PER NOTES.
- (2) CONCRETE PAVING, PER CONSTRUCTION LEGEND. SEE PAVING CHART
- (3) CONCRETE REINFORCEMENT PER PAVING CHART
- (4) FINISH GRADE 1" BELOW EDGE OF PAVING IN TURF AREAS TO HAVE SOD, 2" IN SHRUB BEDS
- (5) CLASS II BASE. SEE PAVING CHART
- (6) NATIVE SUBGRADE; SCARIFY THE UPPER 12" OF SUBGRADE AND COMPACT EXISTING SOIL TO 95% PER GEOTECH REPORT

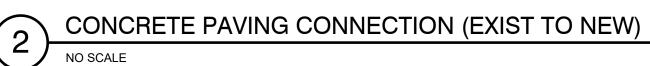


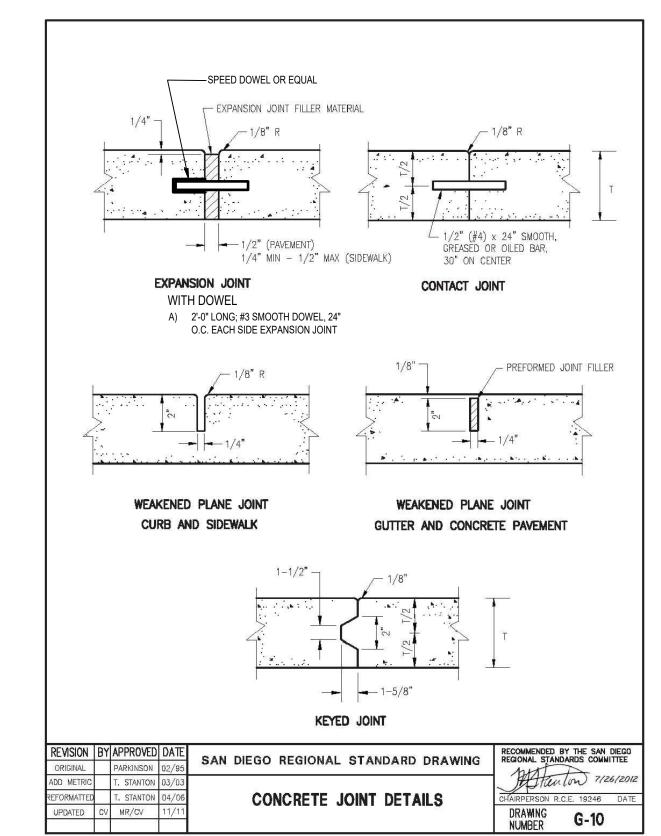
CONCRETE PAVING CHART							
TYPE	THICKNESS	STRENGTH	REBAR				
PEDESTRIAN CONCRETE WALKS & SLABS	4" MIN. OVER NATIVE	520-C-2500	#3 BAR AT 18" O.C. BOTH WAYS				
VEHICULAR CONCRETE		520-C-4000	#4 BAR AT 18" O.C. BOTH WAYS				



LEGEND:

- (1) COLD JOINT OR EXPANSION JOINT PER PLAN
- (2) TOOLED EDGES TO MATCH EXISTING
- (3) EXISTING CONCRETE.
- (4) NEW CONCRETE PER PLAN. INSTALL SLEEVE WHERE DOWEL OCCURS.
- (5) 12" LENGTH 1/2" SMOOTH STEEL DOWEL. FOR EXISTING CONCRETE, DRILL AND GROUT INTO EXISTING AT CENTERLINE, TYP.

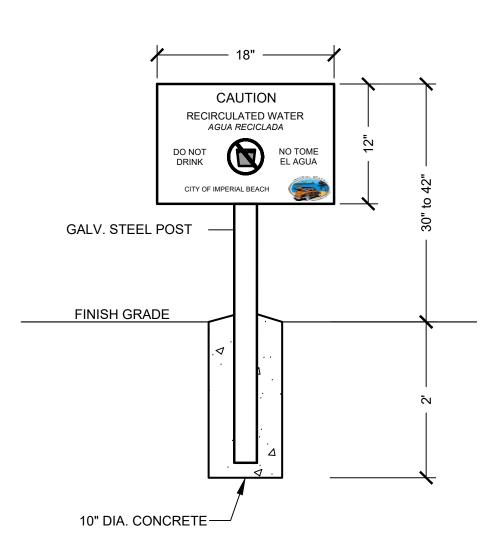






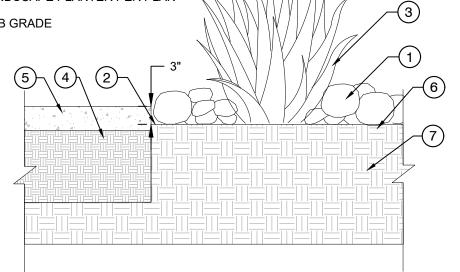
CONCRETE PAVING NOT TO SCALE

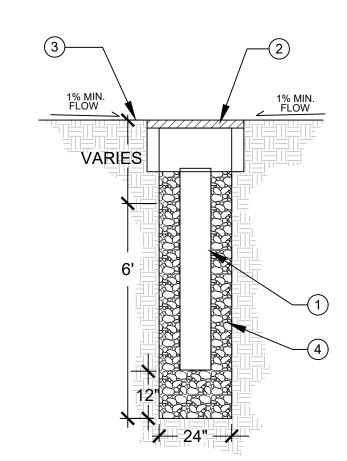
SECTION:



LEGEND:

- (1) COBBLE STONE MULCH PER PLANS.
- (2) FINISH GRADE OF PLANTER BED SHALL BE 3" LOWER THAN ADJACENT CONCRETE SURFACE.
- (3) SHRUBS PER PLAN
- 4 COMPACTED NATIVE SOIL PER GEOTECHNICAL
- (5) CONCRETE SURFACE PER PLAN (6) LANDSCAPE PLANTER PER PLAN
- 7 SUB GRADE





LEGEND:

- (1) 8" PERFORATED PVC PIPE. SET BOX OVER DEEP WELL. FILL WITH 3/4" DRAIN ROCK TO TOP OF PIPE. - DO NOT FILL IN PIPE
- (2) 24" SQUARE CONCRETE **CLEAN OUT BOX WITH ADA COMPLIANT DRAIN GRATE** BY IRONSMITH. MODEL NO. 9053DR-24 OR APPROVED **EQUAL. NO GREATER THAN** 1/2" MAX. GRATE OPENINGS IN ALL DIRECTIONS
- (3) FINISH GRADE PER PLAN
- (4) 3/4" CRUSHED GRAVEL -DRAIN ROCK



COBBLE MULCH

CONSULTANT



CITY OF IMPERIAL BEACH, CALIFORNIA **ENGINEERING DEPARTMENT** SHEET 11 OF 40 SHEETS

DATE FOR CITY ENGINEER APPROVED DATE FILMED DESCRIPTION ORIGINAL SDG CONTRACTOR DATE STARTED _

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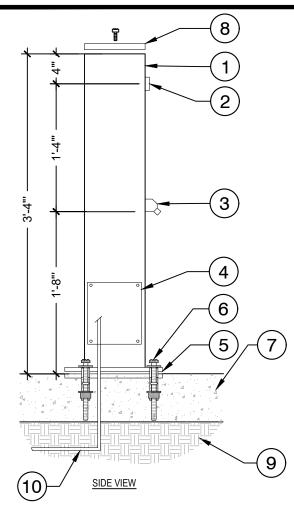
DESIGN

GROUP

1310 Rosecrans St., Suite G, San Diego, CA 92106

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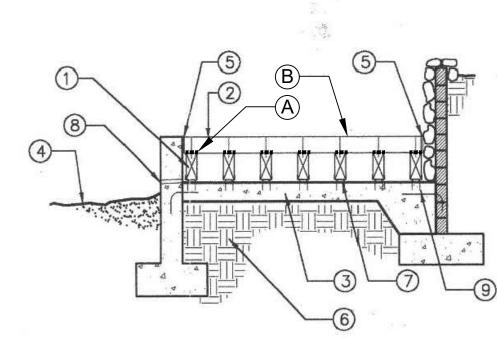
DATE COMPLETED INSPECTOR SAN DIEGO UNIFIED PORT DISTRICT DATE 5/5/2025 SPLASH PAD AT PORTWOOD PIER PLAZA IB-2025-01 LANDSCAPE CONSTRUCTION DETAILS



<u>LEGEND</u>

- (1) FOOT WASH STATION. MODEL #525 SMSS FOOT TOWER. AVAILABLE THROUGH MOST DEPENDABLE FOUNTAINS OR APPROVED EQUAL. PH# (901) 867-0039. INSTALL PER MANUFACTURER'S SPECS.
- (2) PUSH BUTTON AND VALVE ACTUATOR. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- (3) FOOT WASH NOZZLE/EMITTER
- 4 MAINTENANCE ACCESS DOORS
- 5 SS ANCHOR PLATE
- 6 3/8" ANCHOR BOLTS IN CONCRETE. ANTI-TAMPER. BOLT TO BE CENTERED UNDER PUSH BUTTON.
- (7) 6" CONCRETE PAD AT DRINKING FOUNTAIN
- (8) REMOVABLE SS CAP
- 9 12" SCARIFY AND COMPACT EXISTING SOIL TO 95% PER GEOTECH REPORT
- (10) POTABLE WATER SUPPLY LINE. CONTRACTOR SHALL AVOID KINKS WHEN ROUTING SUPPLY LINE TO VALVE. INSTALL 1" GATE VALVE AND 2" DIA. GALV. PIPE SLEEVE PER SDRSD M-18.

- A. CONTRACTOR TO INSTALL FOUNTAIN PER MANUFACTURER'S RECOMMENDATION AND TO REFER TO M-18 INSTALLATION.
- B. ANCHOR PER MANUFACTURER'S RECOMMENDATIONS.
- COLOR PER CONSTRUCTION SCHEDULE



- 2, ALL BOARDWALK TIMBER/WOOD TO BE PRESSURE-TREATED PER SPEC. SECT. #06100.
- 3, RUBBER PADS & NEOPRENE SPACERS SHALL HAVE A DUROMETER RATING GREATER THAN 70.

NOTES:

TO MATCH EXISTING PIER

TO MATCH EXISTING PIER

#4 REINF. @ 24" O.C. E.W.

BOARDWALK AND WALLS

7 NEOPRENE SPACERS (6" SQ.)

UNDER JOISTS @ 24" O.C.

8 4" WEEP HOLES @ 2 FT, O.C. ALONG BOARDWALK

(9) (2) "SIMPSON #A311" (OR EQUAL)

HOT-DIPPED GALV. CONNECTORS AND FASTENERS & (1) 1/2" X 2" DIA. RUBBER PAD 24" O.C. AT EACH JOIST. CONTRACTOR TO PROVIDE SHOP DRAWING FOR ENGINEER APPROVAL.

SLOPE TO WEEPS @ 2% MIN

2 4" X 12"TIMBER PLANKING

3 4" CONCRETE SLAB, WITH

(4) SAND BEACH

6 COMPACTED

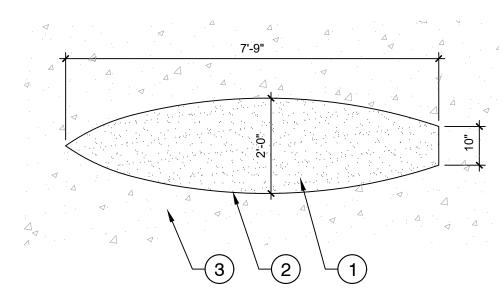
SUBGRADE

5 1/2" FREE/CLEAR

SPACE BETWEEN

- 6" X 14" TIMBER JOISTS, TO A SHIM PIER TIMBERS WITH PRESSURE TREATED SHIMS TO MEET NEW **CONCRETE AT GRADE**
 - **EXISTING PIER BOARDWALK PER DETAIL** 5/L1.4 OF IMPERIAL BEACH PIER PLAZA PLANS, CITY OF IMPERIAL BEACH

DRAWING NO. 2408



<u>LEGEND</u>

- (1) CONCRETE 'SURFBOARD'. COLOR AND FINISH PER CONSTRUCTION SCHEDULE
- (2) EXPANSION JOINT PER DETAIL 3/LC-2.0
- (3) ADJACENT FINISH SURFACE PER PLANS

CONCRETE 'SURFBOARD'

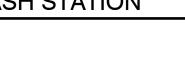
CONSULTANT

SCHMIDT

DESIGN

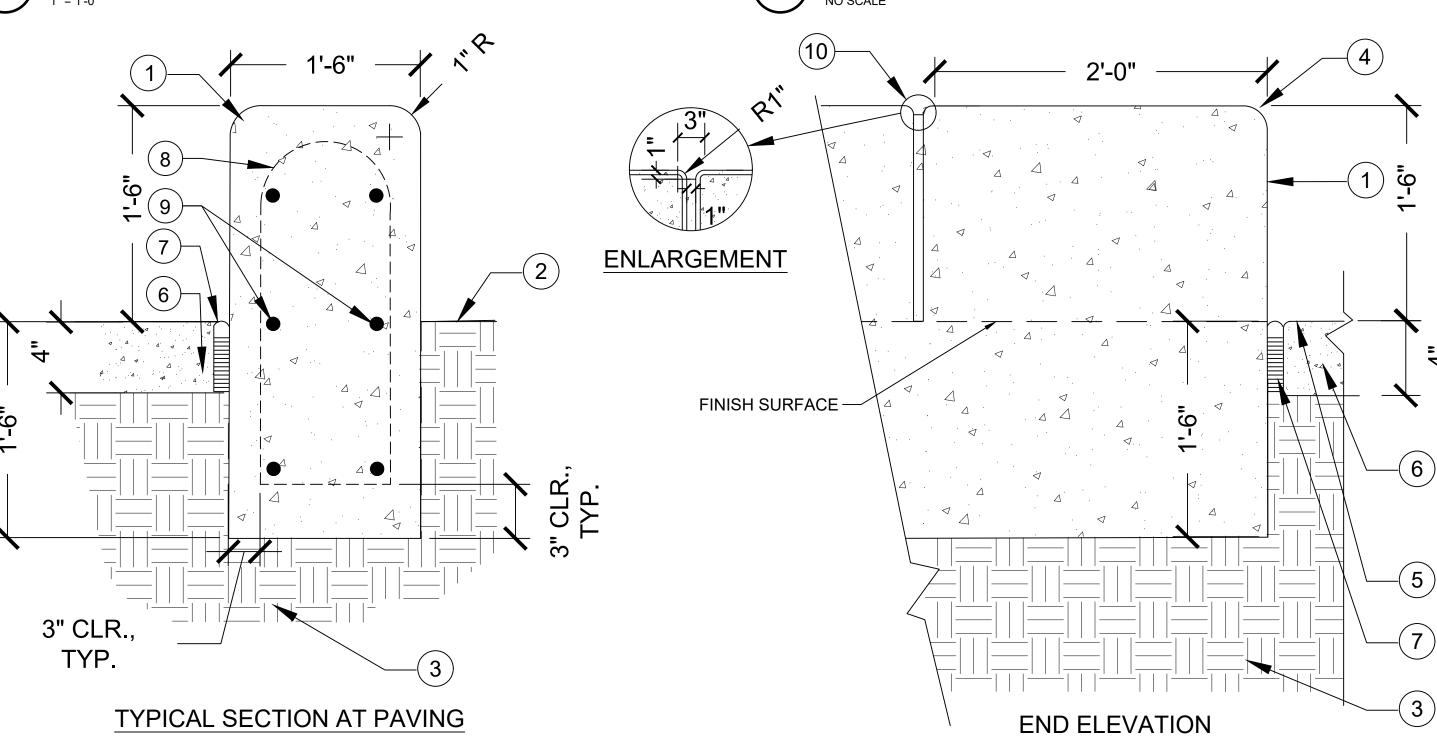
GROUP

FOOT WASH STATION









LEGEND:

- SEAT WALL PER PLANS
- ADJACENT PLANTING AREA. SEE PLANS
- 12" SCARIFY AND COMPACT EXISTING SOIL TO 95% PER **GEOTECH REPORT**
- 1" RAD. ON ALL OUTSIDE EDGES 18" RAD. AT ENDS OF WALL
- SLOPE TO DRAIN 2% MIN. PER GRADING PLANS
- CONCRETE PAVING PER PLAN (SEE DETAIL)
- EXPANSION JOINT WITH CONTINUOUS JOINT SEALANT
- #4 REBAR, VERTICAL, 16" O.C.
- #4 REBAR, HORIZONTAL, 16" O.C.
- SKATEBOARD DETERRENT REVEAL- BEGIN 2'-0" FROM END OF WALL AND PLACE EVERY 4'-0" PER ENLARGEMENT, ALIGN SCORE AND/OR EXPANSION JOINTS WITH DETERRENT.

NOTES:

- SEE CONSTRUCTION PLAN FOR CONCRETE FINISH AND COLOR.
- B. PROVIDE CONSTRUCTION AND EXPANSION JOINTS PER SDRSD C-15 AND ALIGNED WITH SKATE DETERRENT REVEAL. PROVIDE EXPANSION JOINTS AT 40' O.C. MAXIMUM. WATER STOPS EXCLUDED.



FOR CITY ENGINEER	DATE					
DESCRIPTION	BY	APPROVED	DATE	FILMED		
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INSPECTOR	DATE COMPLETED					

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POURED IN PLACE CONCRETE SEATWALL

was No. BC-0004-01



SDG PRJ# 24-408

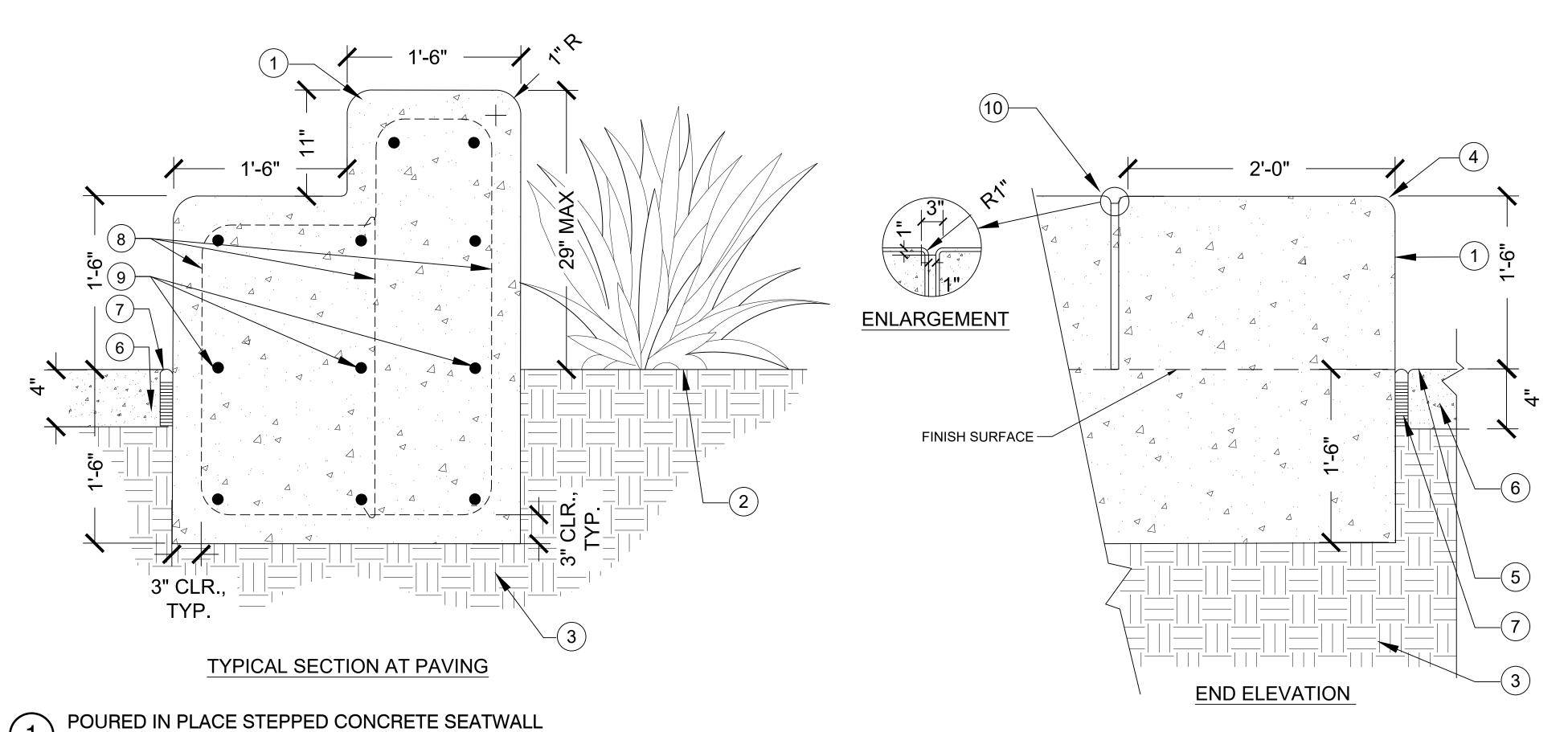
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ATE 5/5/2025 SAN DIEGO UNIFIED PORT DISTRICT - №. LC-2.1 SPLASH PAD AT PORTWOOD PIER PLAZA IB-2025-01 LANDSCAPE CONSTRUCTION DETAILS

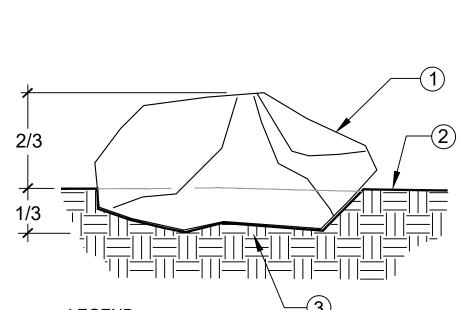


LEGEND:

- (1) STEPPED SEAT WALL PER PLANS
- (2) ADJACENT PLANTING AREA. SEE PLANS
- 3 12" SCARIFY AND COMPACT EXISTING SOIL TO 95% PER GEOTECH REPORT
- 4 1" RAD. ON ALL OUTSIDE EDGES 18" RAD. AT ENDS OF WALL
- (5) SLOPE TO DRAIN 2% MIN. PER GRADING PLANS
- (6) CONCRETE PAVING PER PLAN (SEE DETAIL)
- (7) EXPANSION JOINT WITH CONTINUOUS JOINT SEALANT
- (8) #4 REBAR, VERTICAL, 16" O.C.
- (9) #4 REBAR, HORIZONTAL, 16" O.C.
- 10 SKATEBOARD DETERRENT REVEAL- BEGIN 2'-0" FROM END OF WALL AND PLACE EVERY 4'-0" PER ENLARGEMENT, ALIGN SCORE AND/OR EXPANSION JOINTS WITH DETERRENT.

NOTES:

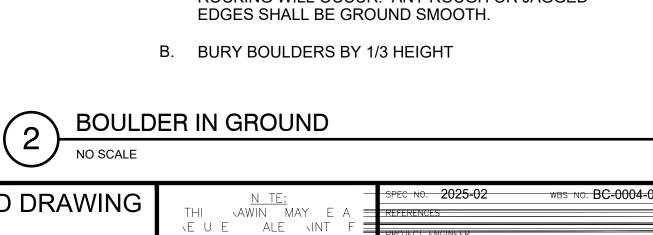
- A. SEE CONSTRUCTION PLAN FOR CONCRETE FINISH AND COLOR.
- B. PROVIDE SCORE AND EXPANSION JOINTS PER SDRSD C-15 AND ALIGN WITH SKATE DETERRENT REVEAL. PROVIDE EXPANSION JOINTS AT 40' O.C. MAXIMUM. WATER STOPS EXCLUDED

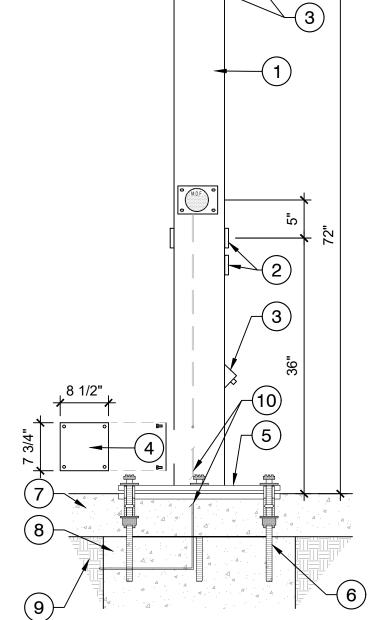


- LEGEND:
- 1 BOULDER (SEE PLAN FOR TYPE AND SIZE)
- (2) FINISHED GRADE
- 3 COMPACTED SUBGRADE

NOTES

A. BOULDERS SHALL BE INSTALLED SO THAT NO ROCKING WILL OCCUR. ANY ROUGH OR JAGGED EDGES SHALL BE GROUND SMOOTH





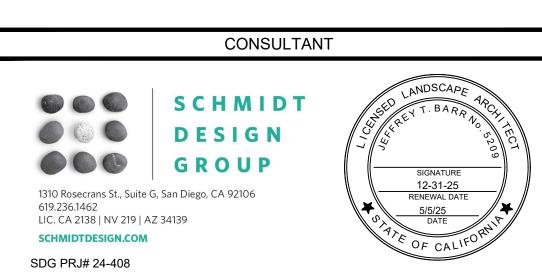
SHOWER COLUMN

LEGEND

- 1 SHOWER COLUMN PER CONSTRUCTION SCHEDULE
- 2 PUSH BUTTON AND VALVE ACTUATOR. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 3 SHOWER HEAD AND FOOT WASH NOZZLE/ EMITTER
- (4) MAINTENANCE ACCESS DOORS
- 5 8" SS ANCHOR PLATE
- 6 1/2" X 12" ZINC PLATED ANCHOR ROD IN CONCRETE
- (7) CONCRETE PAVING PER PLAN
- 8 EXISTING CONCRETE FOOTING. CONTRACTOR TO VERIFY SIZE AND CONDITION FOR RE-USE
- 9 12" SCARIFY AND COMPACT EXISTING SOIL TO 95% PER GEOTECH REPORT
- 10 CONNECT TO EXISTING WATER SUPPLY LINE

NOTES:

- A. CONTRACTOR TO INSTALL SHOWER PER MANUFACTURER'S RECOMMENDATIONS.
- B. ANCHOR PER MANUFACTURER'S RECOMMENDATIONS.
- C. COLOR PER CONSTRUCTION SCHEDULE



FOR CITY ENGINEER

DATE

DESCRIPTION

ORIGINAL

CONTRACTOR

INSPECTOR

DATE

DATE STARTED

DATE STARTED

DATE COMPLETED

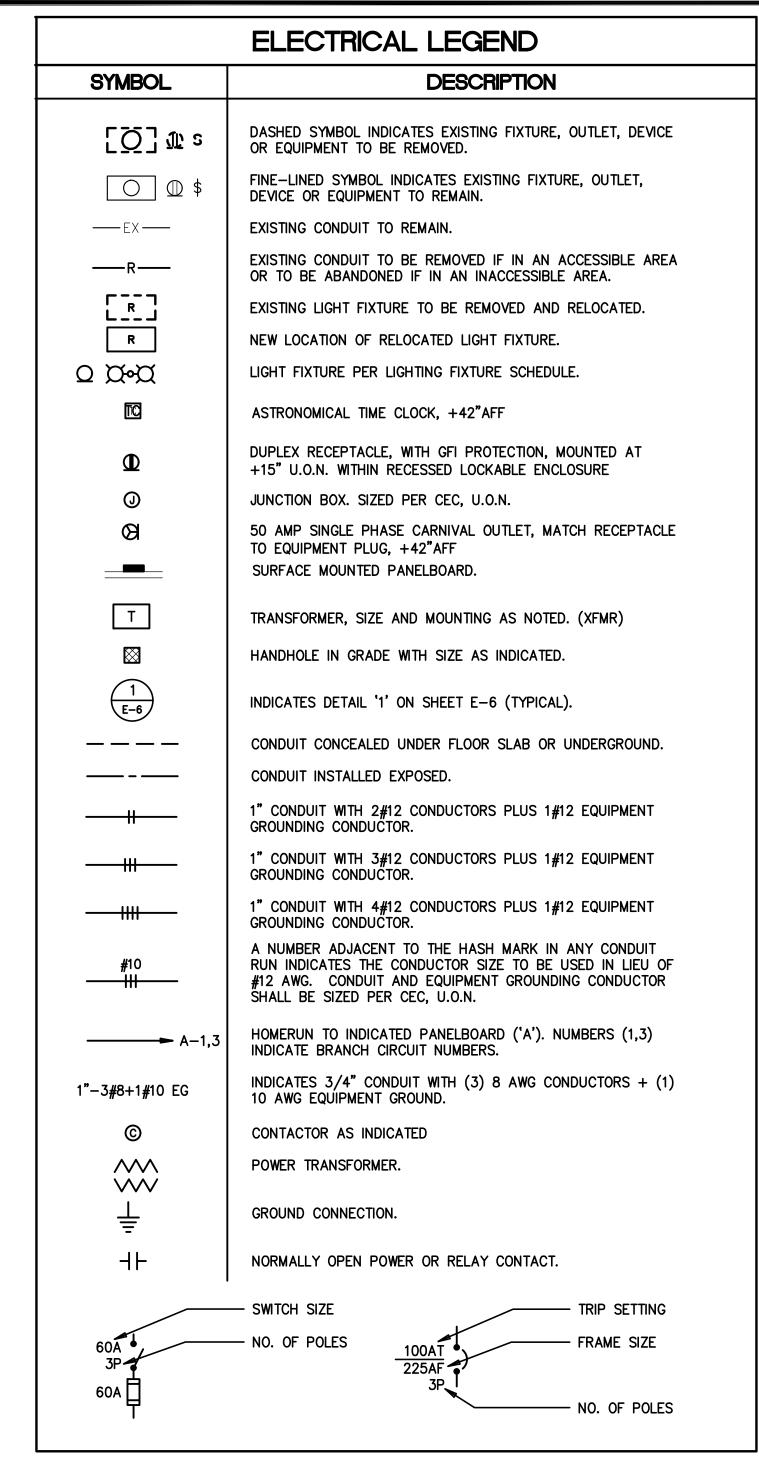
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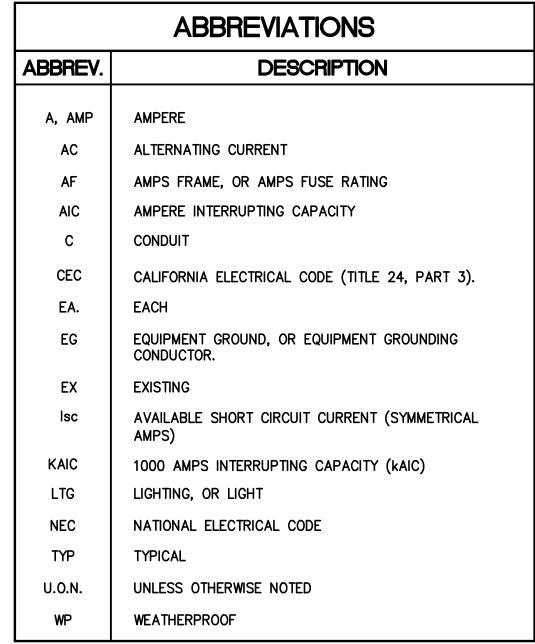
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DATE STARTED

CITY OF IMPERIAL BEACH, CALIFORNIA

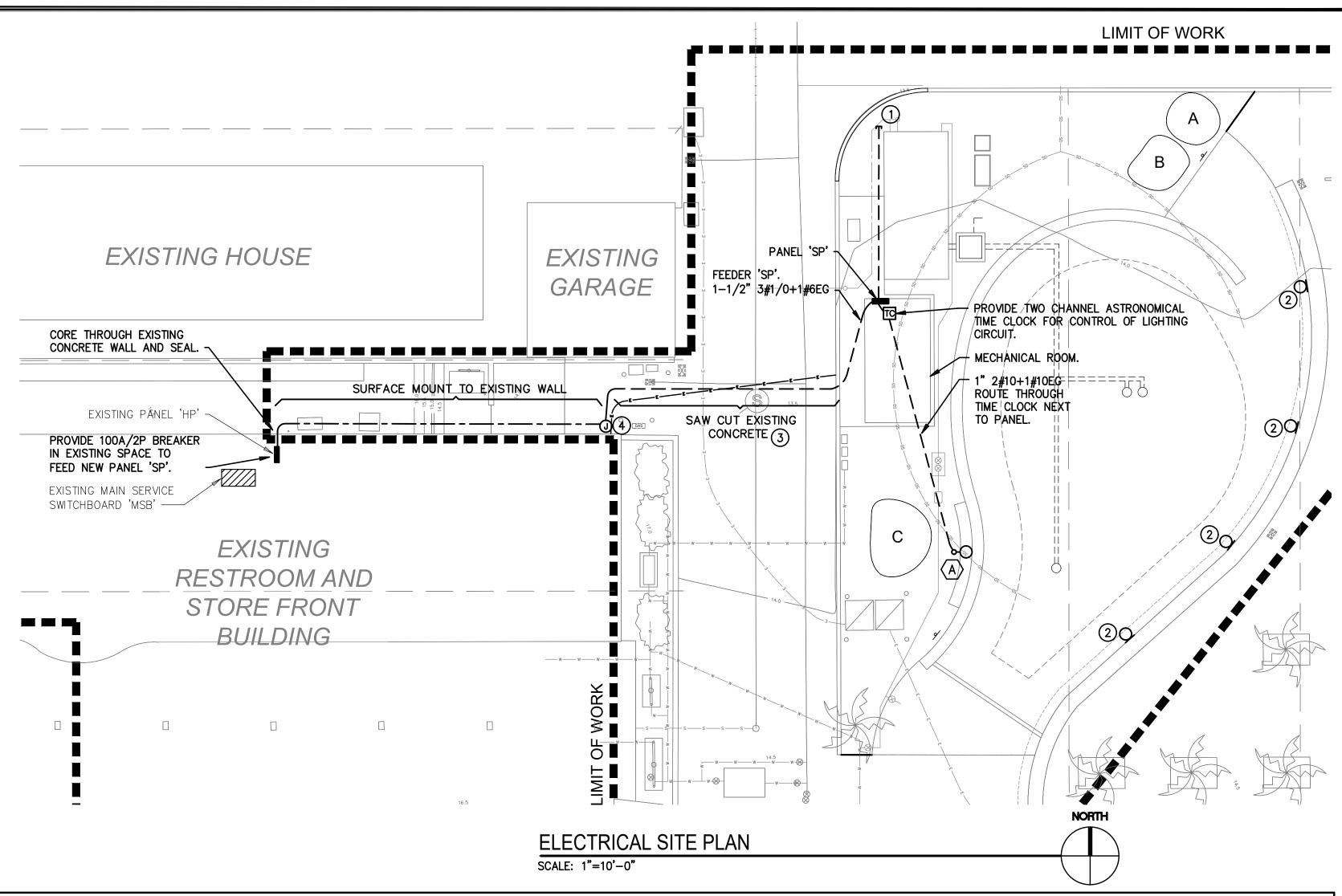
	NO SCALE			1/2" = 1'-0"				SDG PRJ# 24-408	OF CALIFO	INSPECTOR	DATE COMPLETED
ſ	RECORD DRAWING	N TE:	SPEC NO. 2025-02 WBS NO. BC-0004-01			DODT	DESIGNED	APPROVAL RECOMMENDED	SAN DIEG	O UNIFIED PORT DISTRICT	DATE 5/5/202
	EVIEWE Y:	EUE ALE INT F	PROJECT ENGINEER			PORTof	DRAWN				A/E NO.LC-2
		UTILIZE \A HI ALE T	CONTRACTOR			SAN DIEGO	CC	PROJECT MANAGER APPROVED	SPLASH PAD AT	PORTWOOD PIER PL	AZA SHEET 13
	JE T MANA E /EN INEE \	E U TI N, AN A JU T	CONSTRUCTION STARTED CONSTRUCTION COMPLETED			3AIT DIEGO	CHECKED				DRAWING NO.
	— — <u>— — — — — — — — — — — — — — — — — </u>	A HI ALE H WN.	COST INSPECTOR	REVISIONS	DATE / APPROVED	Waterfront of Opportunity	JM JJ	DISTRICT MANAGER-DESIGN	LANDSCAPE C	ONSTRUCTION DETAILS	IB-2025



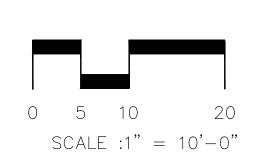


KEY NOTES

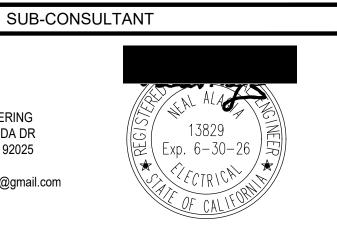
- 1 STUB OUT AND CAP (2) 1-1/4" CO FOR FUTURE LIGHTING OR POWER CIRCUITS FROM PANEL. CAP CONDUIT BELOW PANEL JUST ABOVE GRADE. REFER TO DETAIL 2 SHEET E-2.0 FOR MARKER AT CONDUIT STUB IN SITE.
- 2 CLEAN AND RELAMP ALL EXISTING LIGHTING FIXTURES AT SEAT WALLS.
- 3 LOCATE AND MARK OUT UTILITIES. ROUTE AROUND EXISTING SEWER AND WATER LINES.
- PROVIDE STAINLESS STEEL 6"X6"X4"D WEATHERPROOF PULL BOX WITH TAMPER RESISTANT SCREWS.
- CATALOG NUMBERS ARE BASED ON VENDOR INFORMATION, SALES LITERATURE AND PHOTOMETRIC DATA ON HAND AT THE TIME OF PROJECT DESIGN BY ALAGIA ENGINEERING AND ARE INTENDED TO CONVEY THE FEATURES/PERFORMANCE REQUIRED. EACH FIXTURE MUST BE PROVIDED COMPLETE WITH ALL FITTINGS AS APPROPRIATE FOR PROPER MOUNTING AT THE LOCATIONS INDICATED. EQUIVALENT FIXTURES AND POLES MEETING SPECIFICATIONS WILL BE ACCEPTABLE ONCE REVIEWED BY ENGINEER AND OWNERS REPRESENTATIVE.



	LIGHTING FIXTURE SCHEDULE										
			LAMPS			FIXTURE					
FIXTURE SYMBOL	FIXTURE TYPE	MANUFACTURER AND CATALOG NUMBER 5	LOG NUMBER OF	TYPE	WATTS	COLOR TEMP.	INPUT VOLTS	TOTAL INPUT WATTS	BALLAST TYPE	MOUNTING	DESCRIPTION
↔	A	FIXTURE AV POLE LIGHTING: AVPL-ENV-SS-1-TYPE IV- 72W-120/277-1-CREE-BRONZE-(0-10V) 10 YEAR COATING & LIGHT ENGINE POLE WHATLEY: TS45-D17M-12-AB-DBZ ARM: SHA-1-PT35-CENTER SLEEVE-ANSI C136.41 7 PIN DIMMING RECEPT	1	LED	71	4000	120	71	DRIVER	POLE	DIE-CAST ALUMINUM POLE MOUNTED LED BELL SHAPED FIXTURE. FIXTURE TO HAVE 10 YEAR WARRANTY COATING AND 10 YEAR WARRANTY LIGHT ENGINE.







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DESIGN
GROUP

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619 236 1462

FOR CITY ENGINEER

DESCRIPTION

BY

APPROVED

DATE

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PRIGINAL

CONTRACTOR

DATE STARTED

INSPECTOR

DATE COMPLETED

CITY OF IMPERIAL BEACH, CALIFORNIA

ENGINEERING DEPARTMENT SHEET 14 OF 40 SHEETS

RECORD DRAWING
REVIEWED BY:

PROJECT MANAGER/ENGINEER

DATE:

NOTE:
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REDUCED SCALE PRINT OF
THE ORIGINAL DRAWING.
UTILIZE GRAPHIC SCALES TO
VERIFY IF DRAWING IS A
REDUCTION, AND ADJUST
SCALES ACCORDINGLY TO THE
GRAPHIC SCALES SHOWN.

SPEC NO. 2025-02 WBS NO. BC-0004-01

REFERENCES

PROJECT ENGINEER

CONTRACTOR

CONSTRUCTION STARTED

CONSTRUCTION COMPLETED

COST INSPECTOR

REVISIONS

STARTED

DATE / APPROVED



DESIGNED
NJA

DRAWN
PROJECT MANAGER

PS NJA

CHECKED

NJA

DISTRICT MANAGER—DESIGN

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SDG PRJ# 24-408

SAN DIEGO UNIFIED PORT DISTRICT

SPLASH PAD AT PORTWOOD PIER PLAZA

SHEET 14 OF \$\frac{1}{4}\text{O}\$

DRAWING NO. REV

LANDSCAPE CONSTRUCTION PLAN

IB-2025-01 -

STATE OF CALIFORNIA STATE OF CALIFORNIA **Outdoor Lighting Outdoor Lighting** CALIFORNIA ENERGY COMMISSION CALIFORNIA ENERGY COMMISSION STATE OF CALIFORNIA CERTIFICATE OF COMPLIANCE CERTIFICATE OF COMPLIANCE NRCC-LTO-E NRCC-LTO-E Outdoor Lighting CALIFORNIA ENERGY COMMISSION This document is used to demonstrate compliance with requirements in 110.9, 130.0, 130.2, 140.7, and 141.0(b)2L for outdoor lighting scopes using the prescriptive path for Project Name: Imperial Beach Splash Pad (Page 2 of 7) Report Page: CERTIFICATE OF COMPLIANCE NRCC-LTO-E nonresidential and hotel/motel occupancies. It is also used to document compliance with requirements in 160.5, 170.2(e)6, 180.1(a) and 180.2(b)4Bv for outdoor lighting scopes using 2025-02-14T11:24:26-05:00 Date Prepared: roject Name: Imperial Beach Splash Pad Report Page: (Page 3 of 7 the prescriptive path for multifamily and mixed-use occupancies. Multifamily includes dormitory and senior living facilities. Date Prepared: 2025-02-14T11:24:26-05:00 Project Name: Imperial Beach Splash Pad Report Page: (Page 1 of 7) Project Address: 2025-02-14T11:24:26-05:00 Date Prepared: C. COMPLIANCE RESULTS F. OUTDOOR LIGHTING FIXTURE SCHEDULE Results in this table are automatically calculated from data input and calculations in Tables F through N. Note: If any cell on this table says "COMPLIES with Exceptional Conditions" refer A. GENERAL INFORMATION For new or altered lighting systems demonstrating compliance with 140.7 / 170.2(e)6 all new luminaires being installed and any existing luminaires remaining or being moved within to Table D. Exceptional Conditions for guidance or see applicable Table referenced below. 01 Project Location (city) Imperial Beach the spaces covered by the permit application are included in the Table below. For altered lighting systems using the Existing Power method per 141.0(b)2L only new luminaires being Total Illuminated Hardscape Area (ft²) 5500 Calculations of Total Allowed Lighting Power (Watts) 140.7 / 170.2(e)6 or 141.0(b)2L / 180.2(b)4Bv Compliance Results installed and replacement luminaires being installed as part of the project scope are included (ie, existing luminaires remaining or existing luminaires being moved are not included). 02 Climate Zone Outdoor lighting attached to multifamily buildings and controlled from the inside of a dwelling unit are included in Table H. and are not included here. All other multifamily outdoor 01 03 09 03 Outdoor Lighting Zone per Title 24 Part 1 10.114 or as designated by Authority Having Jurisdiction (AHJ): General lighting is included here. ☐ LZ-0: Very Low - Undeveloped Parkland ☐ LZ-2: Moderate - Urban Clusters LZ-4: High - Must be reviewed by CA Energy Commission for Approval Per Specific Hardscape Designed Wattage: Ornamental Application ☐ LZ-1: Low - Rural Areas 140.7(d)2 / Total Allowed Total Actual Allowance Frontage Allowance 01 140.7(d)2/ 140.7(d)2 / 07 must be >= 08 140.7(d)1/ 170.2(e)6 05 Occupancy Types within Project 140.7(d)2 141.0(b)2L/ (Watts) (Watts) 170.2(e)6 170.2(e)6 Cutoff Reg. > 170.2(e)6 (See Table K) (See Table L) 180.2(b)4Bv All Other Occupancies (See Table J) (See Table M) 6,200 initial How is Excluded pe Inspector (See Table I) (See Table N) Total Number Luminaire lame or Item Complete Luminaire Description Wattage 140.7(a)/ lumen output 435.5 435.5 COMPLIES luminaire^{1, 2} Luminaires² Status³ 170.2(e)6A 130.2(b) / determined Shielding Compliance (See Table G for Details) COMPLIES 160.5(c)14 B. PROJECT SCOPE Controls Compliance (See Table H for Details) COMPLIES POLE MOUNTED LED FIXTURE Linear Provided | | | Mfr. Spec This table includes outdoor lighting systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive path outlined in 140.7 / Total Design Watts: 71 170.2(e)6 or 141.0(b)2L / 180.2(b)4Bv for alterations. * NOTES: Selections with a * require a note in the space below explaining how compliance is achieved. My Project Consists of: D. EXCEPTIONAL CONDITIONS EX: Luminaire is lighting a statue; EXCEPTION 2 to 130.2(b) This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form. 1 FOOTNOTES: Authority Having Jurisdiction may ask for Luminaire cut sheets to confirm wattage used for compliance per 130.0(c) / 160.5(b) Must Comply with Allowances from 140.7 / 170.2(e)6 New Lighting System For linear luminaires, wattage should be indicated as W/lf instead of Watts/luminaire. Total linear feet should be indicated in column 05 instead of number of luminaires. Is your alteration increasing the connected lighting load (Watts)? ☐ Altered Lighting System Yes 🔵 ³ Select "New" for new luminaires in a new outdoor lighting project, or for added luminaires in an alteration. Select "Altered" for replacement luminaires in an alteration. Select "Existing to Remain" E. ADDITIONAL REMARKS for existing luminaires within the project scope that are not being altered and are remaining. Select "Existing Reinstalled" for existing luminaires which are being removed and reinstalled as part of This table includes remarks made by the permit applicant to the Authority Having Jurisdiction. the project scope. % of Existing Luminaires Being Altered¹ Sum Total of Luminaires Being Added or Altered Calculation Method ⁴ Compliance with mandatory shielding requirements is required for luminaires with initial lumen output >= 6,200 unless exempted by 130.2(b)/160.5(c) □ < 10% □ >= 10% and < 50% □ >= 50% Please proceed to Table F. Outdoor Lighting Fixture Schedule to define the project's luminaires. FOOTNOTES: % of Existing Luminaires Being Altered = (Sum Total of Luminaires Being Added or Altered / Existing Luminaires within the Scope of the Permit Application) x 100. Generated Date/Time: Documentation Software: Energy Code Ace Generated Date/Time: Documentation Software: Energy Code Ace Generated Date/Time: Documentation Software: Energy Code Ace CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Compliance ID: 274302-0225-0002 Compliance ID: 274302-0225-0002 CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Report Generated: 2025-02-14 08:24:30 Schema Version: rev 20220101 Schema Version: rev 20220101 Report Generated: 2025-02-14 08:24:30 CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Compliance ID: 274302-0225-0002 Schema Version: rev 20220101 Report Generated: 2025-02-14 08:24:30 CITY OF IMPERIAL BEACH, CALIFORNIA ENGINEERING DEPARTMENT SHEET 15 OF 40 SHEETS DATE FOR CITY ENGINEER SUB-CONSULTANT CONSULTANT APPROVED DATE DESCRIPTION SCHMIDT DESIGN ALAGIA ENGINEERING 3909 SIERRA LINDA DR GROUP ESCONDIDO, CA 92025 (858)-602-6996 1310 Rosecrans St., Suite G, San Diego, CA 92106 alagiaengineering@gmail.com LIC. CA 2138 | NV 219 | AZ 34139 AEI#24020 DATE STARTED ___ SCHMIDTDESIGN.COM DATE COMPLETED SDG PRJ# 24-408 WBS NO. BC-0004-01 SPEC NO. **2025-02** SAN DIEGO UNIFIED PORT DISTRICT DATE **4/14/2025** RECORD DRAWING NOTE: This drawing may be a ERENCES REDUCED SCALE PRINT OF a/e no. **E-1.1** REVIEWED BY:

SPLASH PAD AT PORTWOOD PIER PLAZA

TITLE 24 CALCULATIONS

FILMED

SHEET 15 OF 40

IB-2025-01

DATE / APPROVED

PS NJA

CHECKED

THE ORIGINAL DRAWING.

UTILIZE GRAPHIC SCALES TO

VERIFY IF DRAWING IS A

REDUCTION, AND ADJUST

SCALES ACCORDINGLY TO THE

GRAPHIC SCALES SHOWN.

PROJECT MANAGER/ENGINEER

DATE:

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CONSTRUCTION COMPLETED

INSPECTOR

STATE OF CALIFORNIA Outdoor Lighting CALIFORNIA ENERGY COMMISSION CERTIFICATE OF COMPLIANCE NRCC-LTO-E Report Page: Project Name: Imperial Beach Splash Pad (Page 4 of 7) Date Prepared: 2025-02-14T11:24:26-05:00 G. SHIELDING REQUIREMENTS (BUG) This table includes fixtures of >=6,200 initial lumens indicated on Table F as needing to comply with Shielding Requirements. Maximum lumens can be found in Title 24, Part 11, Section 06 | 07 | 08 | 09 | 10 | 11 | 12 Backlight Rating² Uplight Rating² Glare Rating (Lumens)² Name or Complete Luminaire Item Tag Description Rating Per Mounting Height¹ Backlight Uplight Glare Design Design Design Rating³ Rating³ POLE MOUNTED LED 2 MH from property 2 MH from property Area Lighting U0 FIXTURE line ¹FOOTNOTES: Mounting Height is labeled MH in this table. ² Authority Having Jurisdiction may ask for Luminaire cut sheets or other documentation to confirm luminaire type, uplight ratings and glare ratings used for compliance per 130.2(b)/ 160.5(c) ³ BUG ratings with a lower number than the 'Max Allowable' are compliant. Ex. If Max Allowable is Bug Rating B4, then B0, B1, B2 and B3 are all compliant. H. OUTDOOR LIGHTING CONTROLS This table demonstrates compliance with controls requirements for all new or altered luminaires installed as part of the permit application. For alteration projects, luminaires which are existing to remain (ie untouched) and luminaires which are removed and reinstalled (wiring only) do not need to be included in this table even if they are within the spaces covered by Outdoor lighting for nonresidential buildings, parking garages and common service areas in multifamily buildings must be documented separately from outdoor lighting attached to multifamily buildings and controlled from the inside of a dwelling unit Mandatory Controls for Nonresidential Occupancies, Parking Garages & Common Areas in Multifamily Buildings 05 Shut-Off Auto-Schedule Field Inspector Motion Sensor Area Description 130.2(c)1 / 160.5(c) 130.2(c)2 / 160.5(c) 130.2(c)3 / 160.5(c) NA: Athletic Fields/Playgrounds Lighting Splash Pad: "A" Astronomical Timer Provided FOOTNOTE: Text has been abbreviated, please refer to Table 160.5-A to confirm compliance with the specific light source technologies listed. ²Authority having jurisdiction may ask for cutsheets or other documentation to confirm compliance of light source. ³Recessed luminaires marked for use in fire-rated installations, and recessed luminaires installed in non-insulated ceilings are excepted from ii and iii. Generated Date/Time: Documentation Software: Energy Code Ace CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Compliance ID: 274302-0225-0002 Schema Version: rev 20220101 Report Generated: 2025-02-14 08:24:30 STATE OF CALIFORNIA Outdoor Lighting CALIFORNIA ENERGY COMMISSION CERTIFICATE OF COMPLIANCE NRCC-LTO-E (Page 7 of 7 Project Name: Imperial Beach Splash Pad Report Page: Date Prepared: 2025-02-14T11:24:26-05:00 Project Address: DOCUMENTATION AUTHOR'S DECLARATION STATEMENT I certify that this Certificate of Compliance documentation is accurate and complete. Neal Alagia Alagia Engineering CEA/ HERS Certification Identification (if applicable): RESPONSIBLE PERSON'S DECLARATION STATEMENT certify the following under penalty of perjury, under the laws of the State of California The information provided on this Certificate of Compliance is true and correct I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer) The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirement of Title 24, Part 1 and Part 6 of the California Code of Regulations. 4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application. 5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building pern ent agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with t Neal Alagia Alagia Engineering

Generated Date/Time: Documentation Software: Energy Code Ace CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Compliance ID: 274302-0225-0002 Report Version: 2022.0.000 Schema Version: rev 20220101 Report Generated: 2025-02-14 08:24:30

PEC NO. 2025-02

ONSTRUCTION STARTED

CONSTRUCTION COMPLETED

FERENCES

ONTRACTOR

NOTE: THIS DRAWING MAY BE A

REDUCED SCALE PRINT OF

THE ORIGINAL DRAWING.

UTILIZE GRAPHIC SCALES TO

VERIFY IF DRAWING IS A

REDUCTION, AND ADJUST

SCALES ACCORDINGLY TO THE

GRAPHIC SCALES SHOWN.

RECORD DRAWING

PROJECT MANAGER/ENGINEER

DATF:

REVIEWED BY:

wbs No. BC-0004-01

INSPECTOR

Outdoor Lighting CALIFORNIA ENERGY COMMISSION CERTIFICATE OF COMPLIANCE NRCC-LTO-E Report Page: Project Name: Imperial Beach Splash Pad (Page 5 of 7) Date Prepared: 2025-02-14T11:24:26-05:00 I. LIGHTING POWER ALLOWANCE (per 140.7 / 170.2(e)) This table includes areas using allowance calculations per 140.7 / 170.2(e). General Hardscape Allowance is per Table 140.7-A/Table 170.2-R while "Use it or lose it" "Use it or lose it" Allowance (select all that apply) (select all that apply) Allowances are per Table 140.7-B /Table 170.2-S. Indicate which allowances are being ☑ General used to expand sections for user input. Luminaires that qualify for one of the "Use it or ☐ Per Specific lose it" allowances shall not qualify for another "Use it or lose it" allowance. Allowance Application Outdoor lighting attached to multifamily buildings and controlled from the inside of a Table K Table I (below) Table J Table M dwelling unit are included in Table H. and are not included here. All other multifamily outdoor lighting is included here. Calculated General Hardscape Lighting Power Allowance per Table 140.7-A for Nonresidential & Hotel/Motel 04 06 | 07 | Area Wattage Allowance (AWA) Linear Wattage Allowance (LWA) Total General AWA + LWA Area Description | Iluminated Area | Allowed Density | Area Allowance | Perimeter Length | Allowed Density | Linear Allowance (ft²) (W/ft²) (Watts) (If) (W/lf) (Watts) (Watts) 5500 0.021 115.5 350 0.2 185.5 Initial Wattage Allowance for Entire Site (Watts): 250 Instances of Initial Wattage Allowance (LZ 0 only)¹ Total General Hardscape Allowance (Watts): 435.5

This section does not apply to this project. K. LIGHTING ALLOWANCE: SALES FRONTAGE This section does not apply to this project. L. LIGHTING ALLOWANCE: ORNAMENTAL This section does not apply to this project.

Generated Date/Time:

CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Report Version: 2022.0.000 Schema Version: rev 20220101

STATE OF CALIFORNIA

J. LIGHTING ALLOWANCE: PER APPLICATION

DATE / APPROVED

(Page 6 of 7) Project Name: Imperial Beach Splash Pad Report Page: Date Prepared: 2025-02-14T11:24:26-05:00 M. LIGHTING ALLOWANCE: PER SPECIFIC AREA This section does not apply to this project. N. EXISTING CONDITIONS POWER ALLOWANCE (alterations only) This section does not apply to this project. O. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION Selections have been made based on information provided in this document. If any selection has been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and can be found online Form/Title NRCI-LTO-E - Must be submitted for all buildings P. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE Selections have been made based on information provided in this document. If any selection has been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit: http://www.energy.ca.gov/title24/attcp/providers.html Systems/Spaces To Be Field Verified NRCA-LTO-02-A - Must be submitted for all outdoor lighting controls except for alterations where controls are added to <= 20 luminaires. Splash Pad: "A"

Generated Date/Time: Documentation Software: Energy Code Ace CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance Compliance ID: 274302-0225-0002 Report Version: 2022.0.000 Report Generated: 2025-02-14 08:24:30 Schema Version: rev 20220101

SHEET 16 OF 40 SHEETS FOR CITY ENGINEER DATE SUB-CONSULTANT CONSULTANT DESCRIPTION APPROVED DATE **FILMED** DRIGINAL SCHMIDT DESIGN ALAGIA ENGINEERING 3909 SIERRA LINDA DR GROUP ESCONDIDO, CA 92025 (858)-602-6996 1310 Rosecrans St., Suite G, San Diego, CA 92106 alagiaengineering@gmail.com LIC. CA 2138 | NV 219 | AZ 34139 AEI#24020 CONTRACTOR _ DATE STARTED ___ SCHMIDTDESIGN.COM DATE COMPLETED SDG PRJ# 24-408 INSPECTOR

PORT of
SAN DIEGO Waterfront of Opportunity

PS NJA

STATE OF CALIFORNIA

Documentation Software: Energy Code Ace

Compliance ID: 274302-0225-0002

Report Generated: 2025-02-14 08:24:30

Outdoor Lighting

CERTIFICATE OF COMPLIANCE

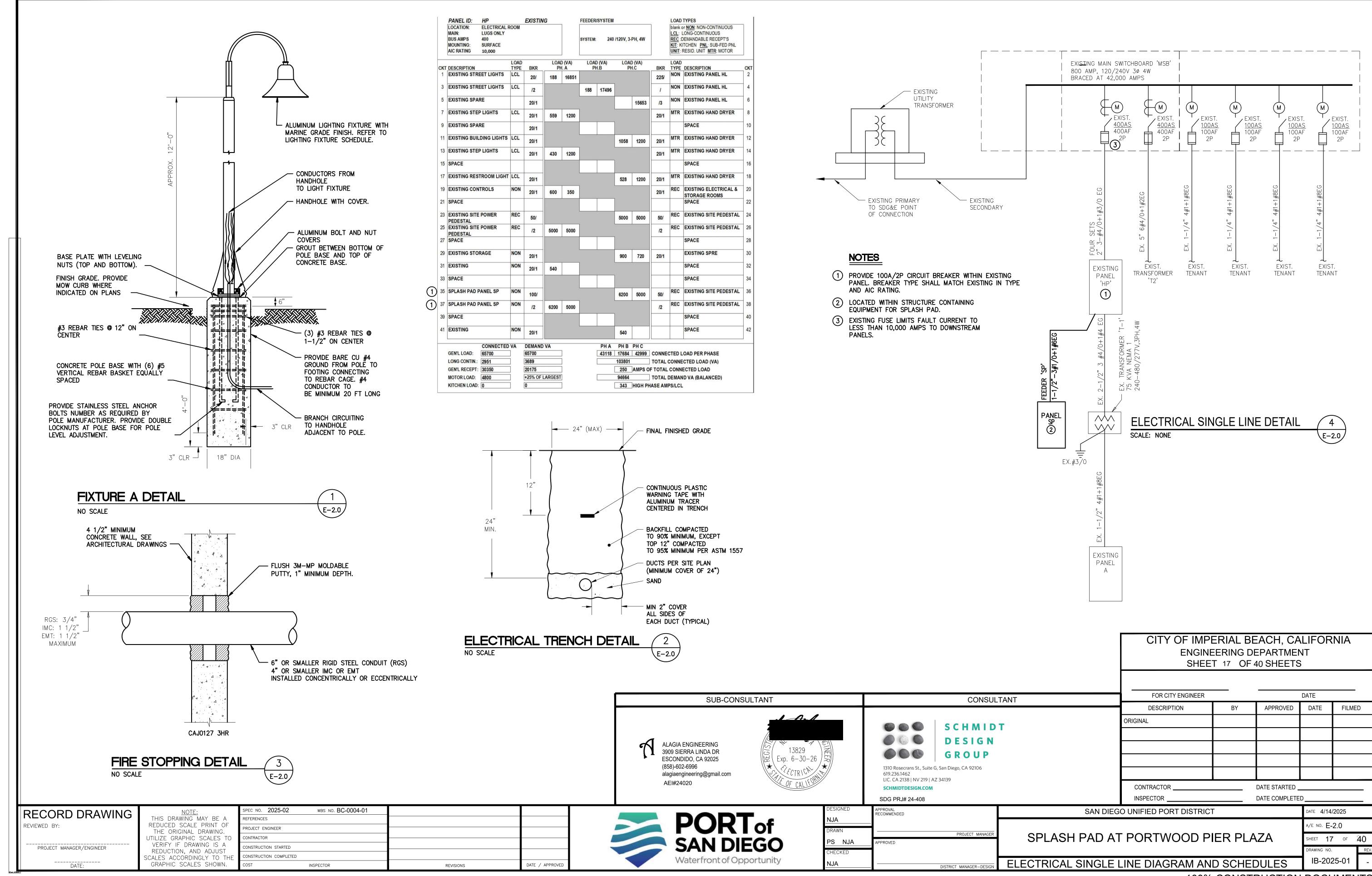
SAN DIEGO UNIFIED PORT DISTRICT DATE **4/14/2025** YE NO. **E-1.2** SPLASH PAD AT PORTWOOD PIER PLAZA SHEET 16 OF $\overline{40}$ IB-2025-01 **TITLE 24 CALCULATIONS**

CITY OF IMPERIAL BEACH, CALIFORNIA

ENGINEERING DEPARTMENT

CALIFORNIA ENERGY COMMISSION

NRCC-LTO-E



IRRIGATION DEMOLITION NOTES

- QUALITY ASSURANCE
- A. USE ADEQUATE NUMBERS OF SKILLED WORKPEOPLE WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIC REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK OF THIS SECTION.
- B. NEITHER THE OWNER NOR THE PORT'S REPRESENTATIVE WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE THEREFORE
- 2. PROJECT CONDITIONS
- A. PROTECTION OF EXISTING TREES AND VEGETATION: PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE, AGAINST CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING AND BRUISING OF BARK, A MINIMUM 5 FEET OFFSET FROM THE DRIPLINE, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES AND VEGETATION TO REMAIN.
- 3. DISPOSITION OF MATERIALS
- A. REMOVE MATERIAL EXCEPT THOSE ITEMS INDICATED TO BE RE-USED TO A LEGAL DISPOSAL AREA.
- B. STOCKPILING OF REMOVED MATERIALS ON THE PROJECT SITE WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE DISTRICT'S REPRESENTATIVE.
- PROTECTION OF PERSONS AND PROPERTY
- A. BARRICADE OPEN DEPRESSIONS AND HOLES OCCURRING AS PART OF THIS WORK, AND POST WARNING LIGHTS ON PROPERTY ADJACENT TO OR WITH PUBLIC ACCESS.
- B. OPERATE WARNING LIGHTS DURING HOURS FROM DUSK TO DAWN EACH DAY AND AS OTHERWISE REQUIRED.
- C. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY OPERATIONS UNDER THIS SECTION.
- D. CONTRACTOR TO PROVIDE A SIX FOOT TEMPORARY CHAIN LINK CONSTRUCTION FENCE, GATE, AND CONSTRUCTION SIGNS AROUND LIMIT OF WORK LINE DURING CONSTRUCTION. LOCATION OF FENCING SHALL BE APPROVED BY THE PORT'S REPRESENTATIVE. STABILIZE TEMPORARY FENCE WITH SAND BAGS OR OTHER SUPPLIER APPROVED METHOD.
- UTILITIES
- A. COORDINATE WITH UTILITY COMPANIES AND AGENCIES AS REQUIRED. CONTRACTOR WILL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
- B. WHERE UTILITY CUTTING, CAPPING, OR PLUGGING IS REQUIRED, PERFORM SUCH WORK IN ACCORDANCE WITH REQUIREMENTS OF THE UTILITY. COMPANY OR GOVERNMENTAL AGENCY HAVING JURISDICTION.
- C. BEFORE EXCAVATION, VERIFY THE LOCATION OF UNDERGROUND UTILITIES AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL REQUEST MARK-OUT OF UNDERGROUND UTILITIES BY CALLING THE BELOW LISTED REGIONAL NOTIFICATION CENTER FOR AN INQUIRY IDENTIFICATION NUMBER

UNDERGROUND SERVICE ALERT (USA) (800) 422-4133 CABLE TELEVISION: COX CABLE.. .. (760) 806-9809 GAS& ELECTRIC: SDG&E.. ..(800) 411-7343 TELEPHONE: AT&T .(858) 886-1906 SEWER& WATER. . (619) 527-7482 CITY OF SAN DIEGO. .(619) 236-5555

- D. CONTRACTOR SHALL PROVIDE A UTILITY LOCATOR TO MARK OUT ALL UTILITIES WITHIN THE PROJECT FOOTPRINT NOT IDENTIFIED BY (USA). ALL MARK-OUTS WITHIN THE PROJECT LIMITS MUST BE IDENTIFIED PRIOR TO START OF DEMOLITION AND EXCAVATION OPERATIONS.
- IRRIGATION REQUIREMENTS

wвs но. **BC-0004-01**

PEC NO. 2025-02

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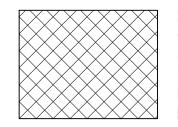
- - JE T MANA E /EN INEE \

EVIEWE Y:

- A. REMOVE EXISTING IRRIGATION HEADS AND VALVE BOXES IN AREAS INDICATED FOR REMOVAL. EXISTING SUBTERRANEAN IRRIGATION LATERALS AND MAINLINE TO BE ABANDONED IN PLACE. EXISTING SUBTERRANEAN IRRIGATION LATERALS AND MAINLINE SHALL BE REMOVED WHEN INTERFERENCE OCCURS WITH PROPOSED IMPROVEMENTS.
- B. REFER TO IRRIGATION DEMOLITION PLAN SHEETS FOR NOTES REGARDING EXISTING IRRIGATION EQUIPMENT TO BE REMOVED, REPLACED, RELOCATED OR PROTECTED IN PLACE. THE EXISTING IRRIGATION SYSTEM IS SHOWN DIAGRAMMATICALLY FOR CLARITY. CONTRACTOR TO FIELD LOCATE ALL PIPING, VALVES, BACKFLOW PREVENTERS, AND OTHER IRRIGATION EQUIPMENT AS NEEDED.
- C. CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION SYSTEM OR HAND WATER AREAS AFFECTED DURING IRRIGATION DEMOLITION AND CONSTRUCTION. PROVIDE TEMPORARY HIGH LINES, WIRES, ETC. AS REQUIRED TO MAINTAIN A FULLY FUNCTIONING IRRIGATION SYSTEM THROUGHOUT THE DURATION OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE CITY OF IMPERIAL BEACH MAINTENANCE STAFF PRIOR TO ANY IRRIGATION WATER OUTAGES.

EXISTING IRRIGATION DEMOLITION LEGEND

DESCRIPTION SYMBOL



EXISTING IRRIGATION TO BE REMOVED CONTRACTOR TO REMOVE EXISTING IRRIGATION SPRAY HEADS. LATERALS. AND VALVES AS SHOWN. SEE ALSO LANDSCAPE IRRIGATION PLANS FOR PROPOSED IRRIGATION IMPROVEMENTS.

EXISTING IRRIGATION LEGEND

EXISTING RAIN BIRD 1806-SAM 15 STRIP SERIES SHRUB SPRAY 6IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2IN. NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK

VALVE.

EXISTING RAIN BIRD 1806-SAM 10 SERIES MPR SHRUB SPRAY 6IN. POP-UP SPRINKLER WITH (1) (1) (1) (1) CO-MOLDED WIPER SEAL. 1/2IN. NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK

MANUFACTURER/MODEL/DESCRIPTION

VALVE.

VALVE.

12) 12) 12) 12) 12)

EXISTING RAIN BIRD 1806-SAM 12 SERIES MPR SHRUB SPRAY 6IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2IN. NPT FEMALE

THREADED INLET. WITH SEAL-A-MATIC CHECK

EXISTING RAIN BIRD 1812-SAM 10 SERIES MPR 10) 10) 10) 10 EXISTING SHRUB SPRAY 12IN. POP-UP

SPRINKLER **EXISTING RAIN BIRD 1402**

P/C BUBBLER HEAD IN DEEP ROOT IRRIGATION TUBE (2 PER TREE)

SYMBOL MANUFACTURER/MODEL/DESCRIPTION EXISTING RAIN BIRD EFB-CP

2IN. BRASS REMOTE CONTROL VALVE **EXISTING RAIN BIRD 33-DRC**

3/4IN. BRASS QUICK-COUPLING VALVE EXISTING GRISWOLD 2000-E 1-1/2"

1-1/2" EPOXY FUSED MASTER CONTROL VALVE EXISTING FEBCO 825Y 2"

IRRIGATION BACKFLOW PREVENTER

EXISTING IRRIGATION LATERAL LINE

EXISTING IRRITROL MC-24E 24- STATION, COMMERCIAL-GRADE,

OUTDOOR/INDOOR CONTROLLER **EXISTING POTABLE BACKLOW 1**

EXISTING POTABLE BACKLOW 2

— — — EXISTING IRRIGATION MAINLINE

====== EXISTING IRRIGATION PIPE SLEEVE

-] CUT AND CAP FOR FUTURE USE

Valve Callout Valve Number Valve Flow Valve Size

CITY OF IMPERIAL BEACH, CALIFORNIA **ENGINEERING DEPARTMENT** SHEET 18 OF 40 SHEETS

FOR CITY ENGINEER APPROVED DESCRIPTION ORIGINAL SDG

GROUP 1310 Rosecrans St., Suite G, San Diego, CA 92106 LIC. CA 2138 | NV 219 | AZ 34139

CONSULTANT

SCHMIDT

DESIGN

000

SCHMIDTDESIGN.COM

SDG PRJ# 24-408

JM JJ CC

619.236.1462

CONTRACTOR DATE STARTED DATE COMPLETED

INSPECTOR

SAN DIEGO UNIFIED PORT DISTRICT ATE 5/5/2025

SPLASH PAD AT PORTWOOD PIER PLAZA IB-2025-01 **IRRIGATION DEMOLITION LEGEND AND NOTES**

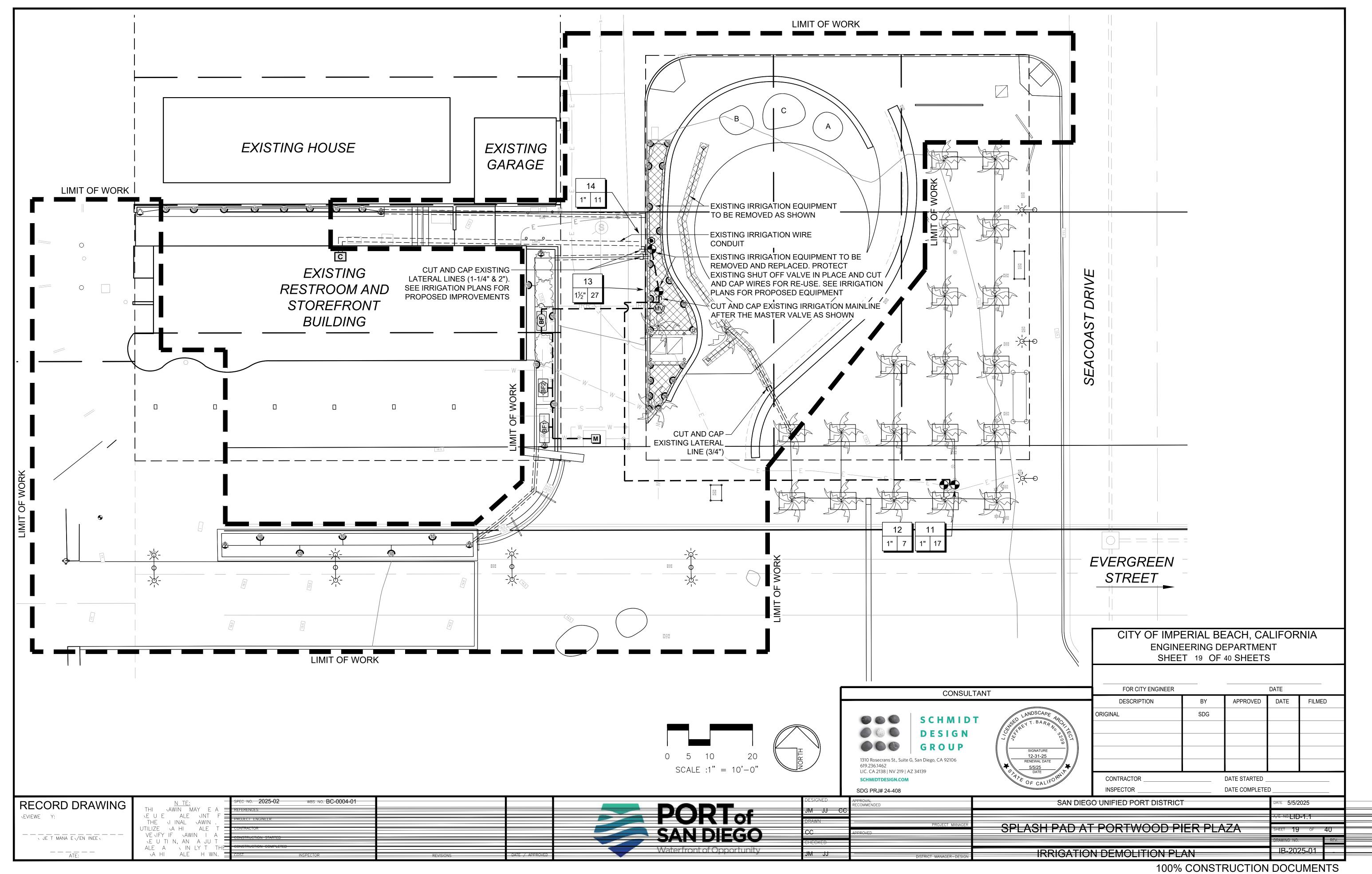
100% CONSTRUCTION DOCUMENTS

DATE

DATE

FILMED

NO.**LID-1.0**



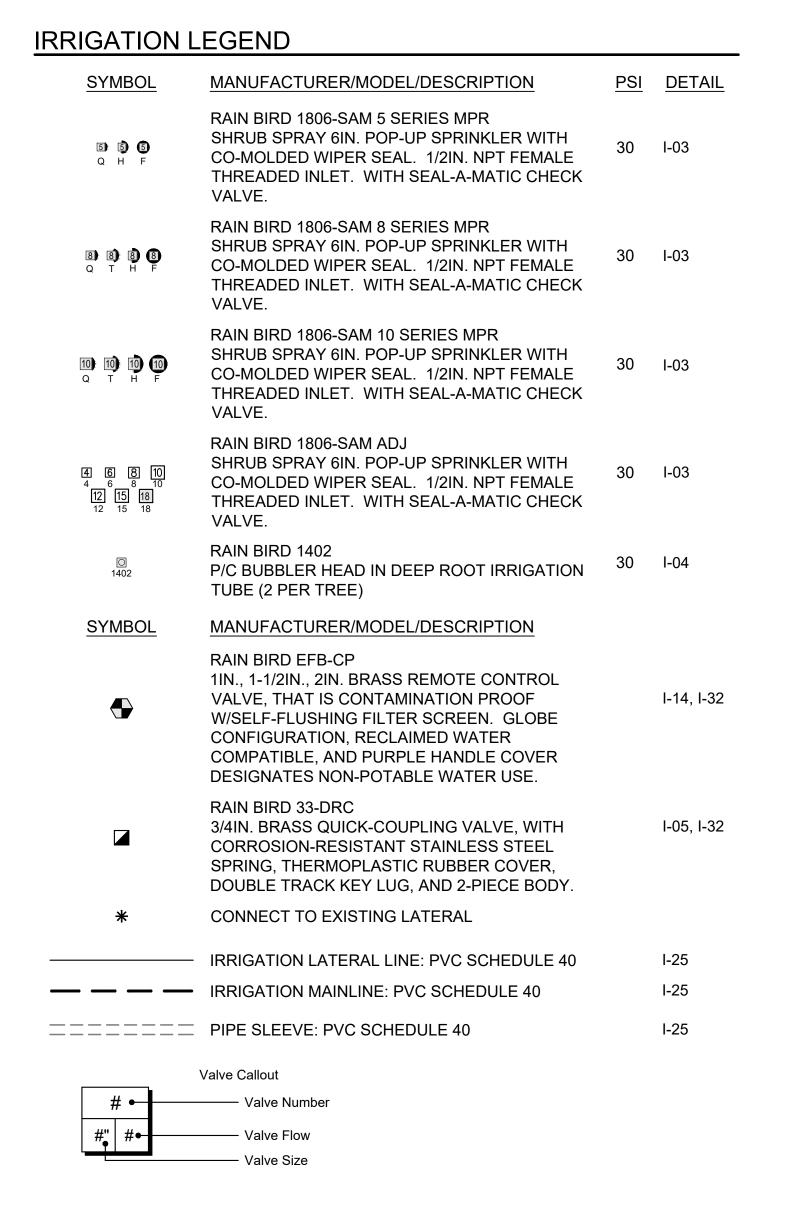
IRRIGATION NOTES:

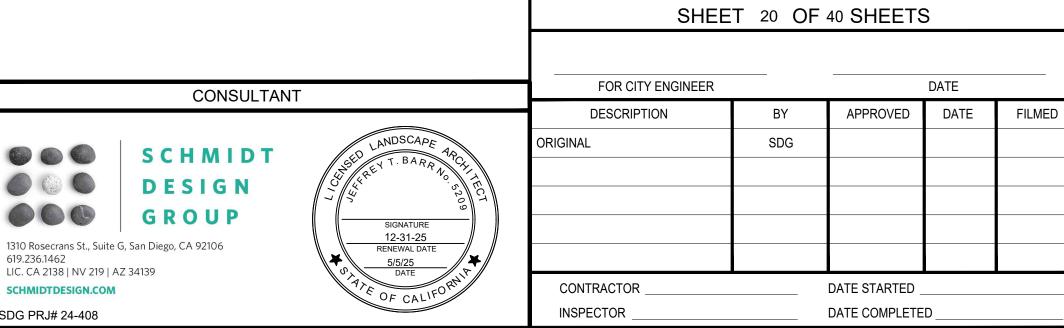
- 1. THE IRRIGATION SYSTEM DESIGN FOR ALL SYSTEMS IN THIS DESIGN ARE BASED ON AN AVAILABLE WATER PRESSURE OF 70 PSI (+/-10 PSI) AT CITY SERVICE. CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION AND REPORT ANY DIFFERENCES TO THE PORT OF SAN DIEGO.
- 2. THE IRRIGATION SYSTEM IS SHOWN DIAGRAMMATICALLY FOR CLARITY. LOCATE ALL PIPING, VALVES, BACKFLOW PREVENTERS, AND OTHER IRRIGATION EQUIPMENT WITHIN PLANTING AREAS UNLESS NOTED OR DIRECTED OTHERWISE. LOCATE ALL VALVES AND VALVE BOXES SIX INCHES FROM EDGE OF PAVING OR CURB.
- 3. EXISTING UTILITIES AND FIELD CONDITIONS: PRIOR TO EXCAVATION, LOCATE ALL CABLES, CONDUITS, AND UNDERGROUND UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR AN UNDERGROUND UTILITY SERVICE TO LOCATE AND MARK UTILITIES. CONTRACTOR WILL TAKE PROPER PRECAUTIONS NOT TO DAMAGE OR DISTURB SUCH UNDERGROUND IMPROVEMENTS. NOTIFY THE OWNER IMMEDIATELY IF A CONFLICT EXISTS BETWEEN SUCH OBSTACLES AND THE PROPOSED WORK. PROCEED IN SAME MANNER IF ROCK LAYERS OR ANY OTHER CONDITIONS ENCOUNTERED UNDERGROUND MAKE CHANGES ADVISABLE.
- 4. ALL PIPING AND WIRING UNDER ROADWAYS AND PAVING AND THROUGH WALLS SHALL BE SLEEVED.
- 5. USE TWO WRAPS OF THREE-QUARTER INCH (3/4") TEFLON TAPE FOR ALL THREADED VALVE CONNECTIONS.
- 6. AUTOMATIC IRRIGATION CONTROLLER IS TO BE SUPPLIED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTION OF FIELD WIRES TO APPROPRIATE TERMINAL STRIPS.
- 7. ADJUST ALL SPRINKLERS TO AVOID OVERSPRAY ONTO WALLS, WALKS, STREETS, UTILITY BOXES. BUILDINGS AND OTHER IMPROVEMENTS.
- 8. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO THE FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE DESIGNED ON THE PLANS.
- 9. CONTRACTOR SHALL INSTALL IN-LINE ANTI-DRAIN VALVES AS WARRANTED BY SITE CONDITIONS TO ALLEVIATE LOW HEAD DRAINAGE.
- 10. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REVISIONS NECESSARY.
- 11. THE CONTRACTOR SHALL KEEP AN UP-TO-DATE COMPLETE "AS-BUILT" RECORD SET OF PRINTS WHICH SHALL BE UPDATED DAILY AND SHOW EVERY CHANGE FROM THE ORIGINAL DESIGN.
- 12. INSTALL IRRIGATION HEADS IN TURF AREAS 1" FROM WALKS AND HARDSCAPE AREAS.
- 13. ALL CONTROL VALVES SHALL BE MANIFOLDED AND GROUPED IN ONE AREA SHOWN ON PLAN. VALVES SHALL BE SET AT RIGHT ANGLES TO EDGES. INSTALL VALVES BOXES 6" FROM EDGES OF HARDSCAPE AREAS.
- 14. CONTRACTOR SHALL REMOVE AND DISCARD DAILY, ALL PIPING DISTURBED DURING TRENCHING OPERATION.
- 15. CONTRACTOR SHALL REVIEW IRRIGATION SPECIFICATIONS PRIOR TO BEGINNING WORK. REFER TO TECHNICAL SPECIFICATIONS AND CONSTRUCTION DETAILS FOR INSTALLATION PROCEDURES.
- 16. CONTRACTOR SHALL HEAT BRAND ALL PLASTIC VALVES BOXES WITH THE FOLLOWING LABELS. ALL LETTERS SHALL BE ONE INCH (1") HIGH. LETTERING ON VALVE BOX LIDS SHALL BE PLACED ON THE SAME LOCATION ON EACH VALVE BOX LID, AND ALL LABELING SHALL FACE THE SAME DIRECTION.
 - QUICK COUPLER VALVE BOXES SHALL BE LABELED "QVC" BALL VAVE BOXES "BU"
- 17. ALL BOLTS FOR LOCKING VALVE BOX LIDS SHALL BE STAINLESS STEEL.
- 18. CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE PRIOR TO ANY TRENCHING OPERATIONS.
- 19. PROVIDE CONCRETE THRUST BLOCKS ON ALL MAINLINES 2-1/2" AND GREATER, PER DETAIL AND SPECIFICATIONS. THE PORT OF SAN DIEGO SHALL BE NOTIFIED 48 HOURS (2 WORKING DAYS) PRIOR TO THE START OF CONSTRUCTION. ALL WORK PERFORMED WITHOUT BENEFIT OF INSPECTION SHALL BE SUBJECT TO REJECTION AND REMOVAL.
- 20. THE CONTRACTOR IS RESPONSIBLE FOR THE APPROPRIATE HANDLING, CROSS CONNECTION TO PVC PIPE, CONTAINMENT, AND DISPOSAL OF ASBESTOS BASED PRODUCTS. GUIDELINES ARE NOT INCLUDED WITHIN THIS SET OF PLANS. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THIS INFORMATION, EDUCATE ALL STAFF MEMBERS AND SUB-CONTRACTORS AND CONDUCT WORK IN ACCORDANCE WITH PERFORMANCE CRITERIA SET FORTH BY LOCAL, STATE, AND FEDERAL AUTHORITIES.

IRRIGATION DESIGN FOR ALL SYSTEMS IN THIS DESIGN ARE BASED UPON A MAXIMUM OPERATING PRESSURE OF 70 PSI WITH A MAXIMUM DEMAND OF 27.0 GPM AT THE POINT OF CONNECTION. CONTRACTOR TO FIELD VERIFY EXISTING P.O.C. INFORMATION AND NOTIFY THE PORT AND IRRIGATION DESIGNER OF ANY DISCREPANCIES FOUND.

WATER COMPANY: CALIFORNIA AMERICAN WATER DISTRICT
PHONE NUMBER: (888) 237-1333

EXISTING IRRIGATION LEGEND MANUFACTURER/MODEL/DESCRIPTION PSI DETAIL SYMBOL EXISTING RAIN BIRD 1806-SAM 15 STRIP SERIES SHRUB SPRAY 6IN. POP-UP SPRINKLER WITH 30 EXISTING CO-MOLDED WIPER SEAL. 1/2IN. NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE. EXISTING RAIN BIRD 1806-SAM 10 SERIES MPR SHRUB SPRAY 6IN. POP-UP SPRINKLER WITH (1) (1) (1) (1) **EXISTING** 30 CO-MOLDED WIPER SEAL. 1/2IN. NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE. **EXISTING RAIN BIRD 1402 EXISTING** 30 P/C BUBBLER HEAD IN DEEP ROOT IRRIGATION TUBE (2 PER TREE) **SYMBOL** MANUFACTURER/MODEL/DESCRIPTION **EXISTING RAIN BIRD EFB-CP EXISTING** 2IN. BRASS REMOTE CONTROL VALVE EXISTING GRISWOLD 2000-E 1-1/2" **EXISTING** 1-1/2" EPOXY FUSED MASTER CONTROL VALVE EXISTING FEBCO 825Y 2" **EXISTING** IRRIGATION BACKFLOW PREVENTER **EXISTING IRRITROL MC-24E** 24- STATION, COMMERCIAL-GRADE, **EXISTING** OUTDOOR/INDOOR CONTROLLER (BF1) EXISTING POTABLE BACKLOW **EXISTING** BF2 **EXISTING EXISTING POTABLE BACKFLOW 2** EXISTING IRRIGATION LATERAL LINE — — — EXISTING IRRIGATION MAINLINE Valve Callout





SDG PRJ# 24-408 PEC NO. 2025-02 wbs No. BC-0004-01 SAN DIEGO UNIFIED PORT DISTRICT ATE 5/5/2025 RECORD DRAWING AWIN MAY E A IM JJ CC NO. **LI-1.0** EVIEWE Y: EUE ALE INT THE I INAL AWIN . SPLASH PAD AT PORTWOOD PIER PLAZA UTILIZE \A HI ALE VENIFY IF NAWIN I A JE T MANA E /EN INEE \ EUTIN, AN AJU ALE A \ IN LY T IB-2025-01 **LANDSCAPE IRRIGATION LEGEND AND NOTES** __ _ _ _ _ _ _ _ _ A HI ALE H WN.

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Valve Number

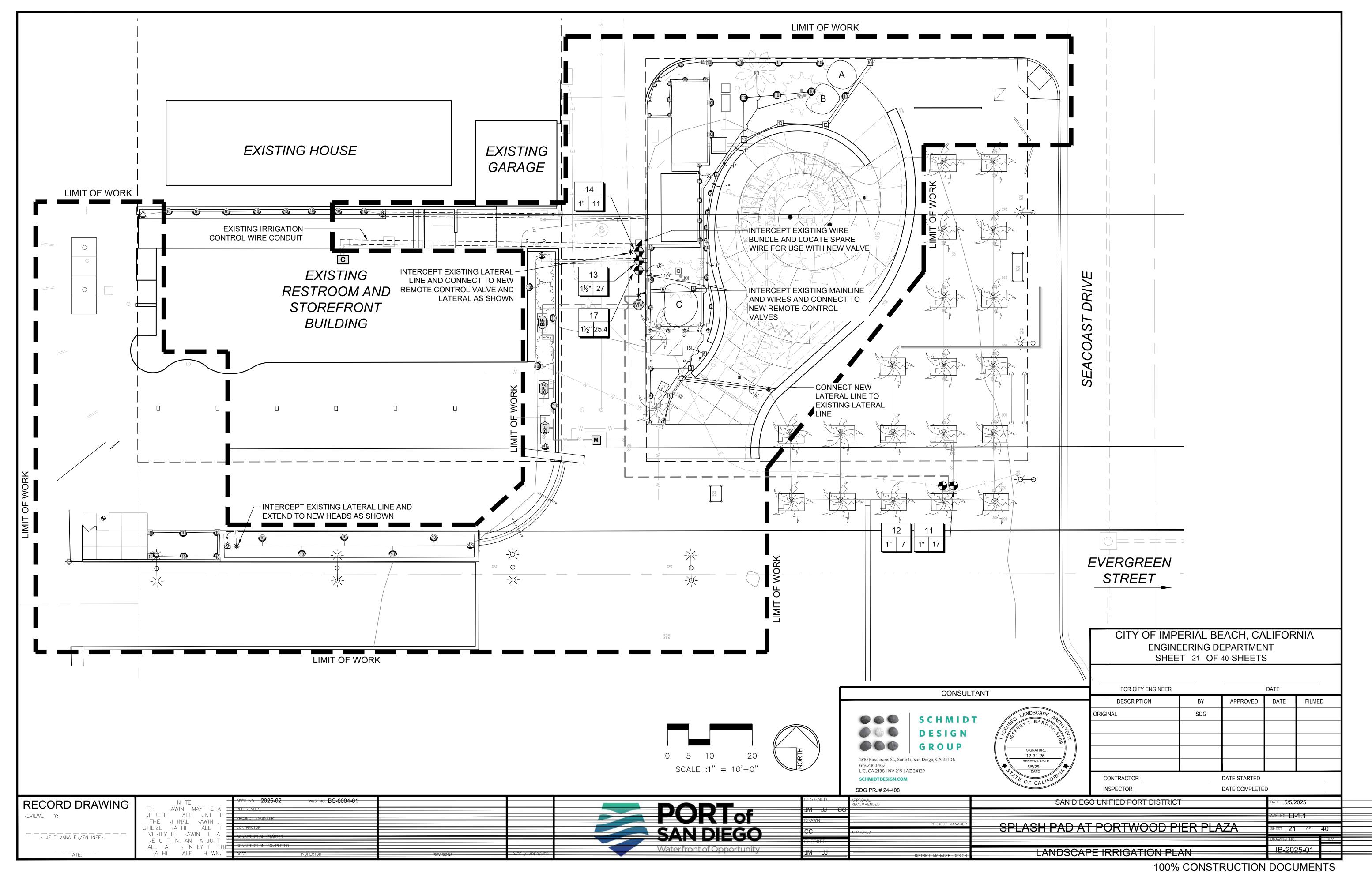
Valve Flow

- Valve Size

100% CONSTRUCTION DOCUMENTS

CITY OF IMPERIAL BEACH, CALIFORNIA

ENGINEERING DEPARTMENT



PLANTING NOTES: 1. FINISHED GRADES SHALL BE SMOOTHED TO ELIMINATE PONDING, OR STANDING WATER. CONTRACTOR SHALL MAINTAIN A MINIMUM 1.5% DRAINAGE AWAY FROM BUILDINGS AND PAVING INTO DRAINAGE STRUCTURES OR TO STREET (SEE ENGINEERS GRADING AND DRAINAGE PLAN). CONTRACTOR SHALL

- 2. THE PORT OF SAN DIEGO SHALL APPROVE ALL FINISH GRADING PRIOR TO PLACEMENT OF ANY PLANT MATERIAL.
- 3. CONTRACTOR SHALL IMMEDIATELY, UPON THE AWARD OF THE CONTRACT, ORDER, LOCATE AND PURCHASE (OR HAVE HELD) ALL PLANT MATERIAL REQUIRED BY THESE PLANS AND SPECIFICATIONS.
- 4. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE & LANDSCAPE ARCHITECT FOR OBSERVATION AT INSPECTION STAGES LISTED ON T-1.0.

NOTIFY PORT CONSTRUCTION MANAGER IMMEDIATELY OF ANY CONFLICTS IN MAINTAINING DRAINAGE.

- 5. SOIL AMENDMENTS SPECIFIED ARE FOR BIDDING PURPOSES ONLY. ACTUAL TYPES AND QUANTITIES WILL BE BASED ON SOIL ANALYSIS PROVIDED BY CONTRACTOR. SOIL SAMPLES SHALL BE PER SPECIFICATION SECTION 32 91 13 'SOIL PREPARATION.'
 - 5.1. BID MIX FOR TURF AND SHRUB BED AREAS:
 - 5.2. SOIL AMENDMENTS BID MIX SHALL BE THE FOLLOWING PER 1000 SQUARE FEET:
 - 5.2.1. 6 CU. YDS. NITROGEN STABILIZED ORGANIC AMENDMENT 'HUMIC COMPOST' BY AGRISERVICE OR APPROVED EQUAL
 - 5.2.2. 40 LBS. GRO-POWER PLUS
 - 5.2.3. 100 LBS. GYPSUM
 - 5.2.4. SEE SPECIFICATIONS FOR ADDITIONAL TOPSOIL IMPORT REQUIREMENTS FOR TURF AREAS.
 - 5.3. PLANTING AND BACKFILL MIX FOR PLANT PITS AND TABLETS SHALL BE AS FOLLOWS PER CUBIC YARD:
 - 5.3.1. 70% OF NATIVE SOIL
 - 5.3.2. 30% NITROGEN STABILIZED ORGANIC AMENDMENT 'HUMIC COMPOST' BY AGRISERVICE OR APPROVED EQUAL
 - 5.3.3. 16 LBS GRO-POWER PLUS
 - 5.3.4. 2 LBS. FERROUS SULFATE

THOROUGHLY BLEND THE ABOVE AT A CENTRAL OFF-SITE LOCATION PRIOR TO USE. THE FERROUS SULFATE SHOULD NOT CONTACT PAVING SURFACES AS STAINING WILL RESULT.

- 6. SEE PLANTING SPECIFICATIONS FOR PRE-EMERGENT TREATMENT OF SOIL.
- 7. PLANTS SHALL BE INSTALLED WITH TRIANGULAR SPACING.
- 8. PLANT SYMBOLS TAKE PRECEDENCE OVER PLANT QUANTITIES SPECIFIED. CONTRACTOR SHALL VERIFY PLANT TOTALS FOR BID PURPOSES.
- 9. PRIOR TO PLANTING, IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL.
- 10. PLANT MATERIAL MAY BE REJECTED AT ANY TIME BY OWNER'S REPRESENTATIVES DUE TO CONDITION, FORM OR DAMAGE BEFORE OR AFTER PLANTING.

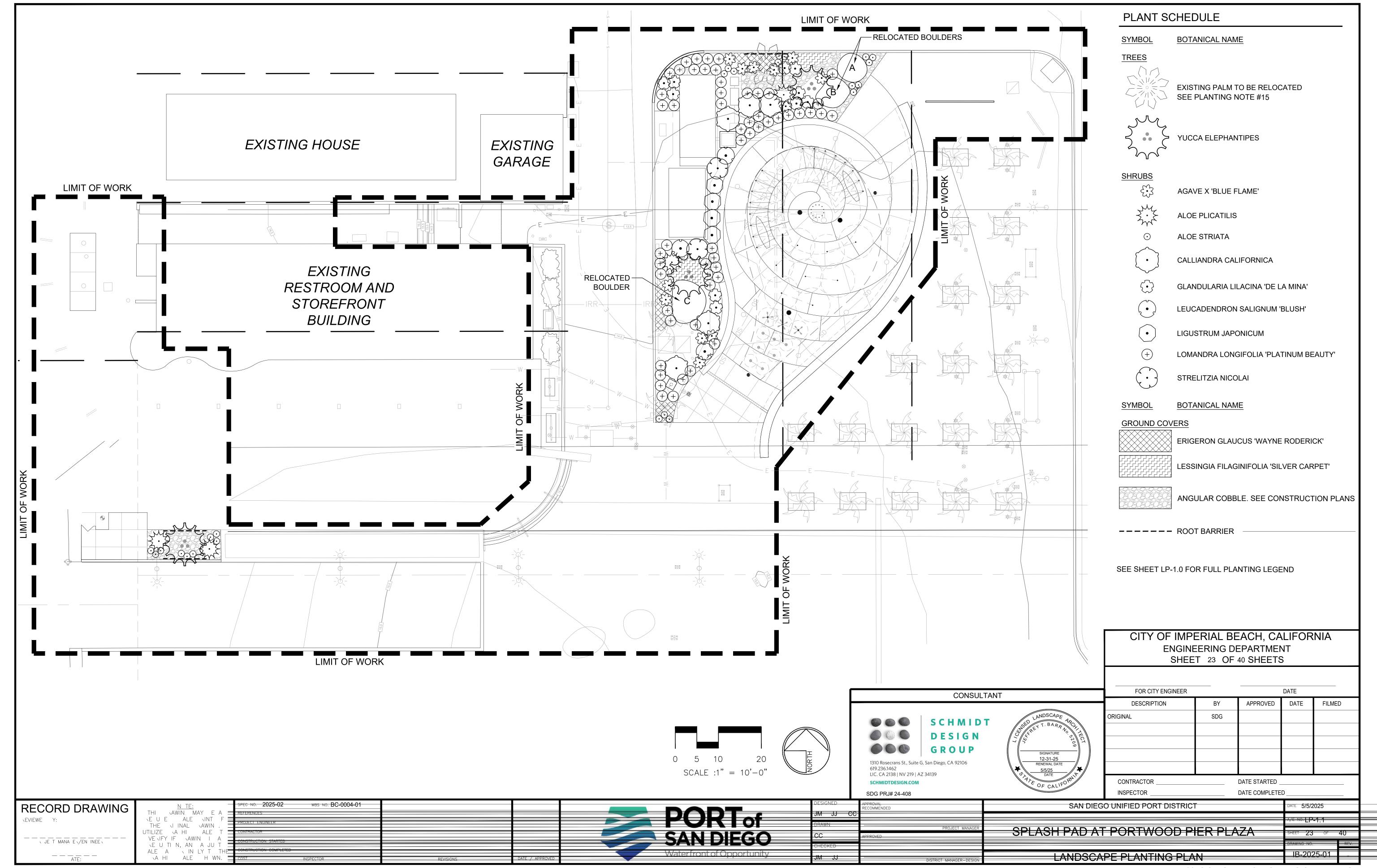
ALL NEW TREES WITHIN 10' OF HARDSCAPE SHALL BE INSTALLED WITH A ROOT BARRIER. ROOT BARRIER SHALL BE INSTALLED ADJACENT TO HARDSCAPE SURFACE FOR A DISTANCE OF 10' FROM THE CENTER LINE OF THE TREE TRUNK IN BOTH DIRECTIONS, OR AS INDICATED ON PLAN. ROOT BARRIER TO BE MANUFACTURED BY "DEEPROOT" OR APPROVED EQUAL

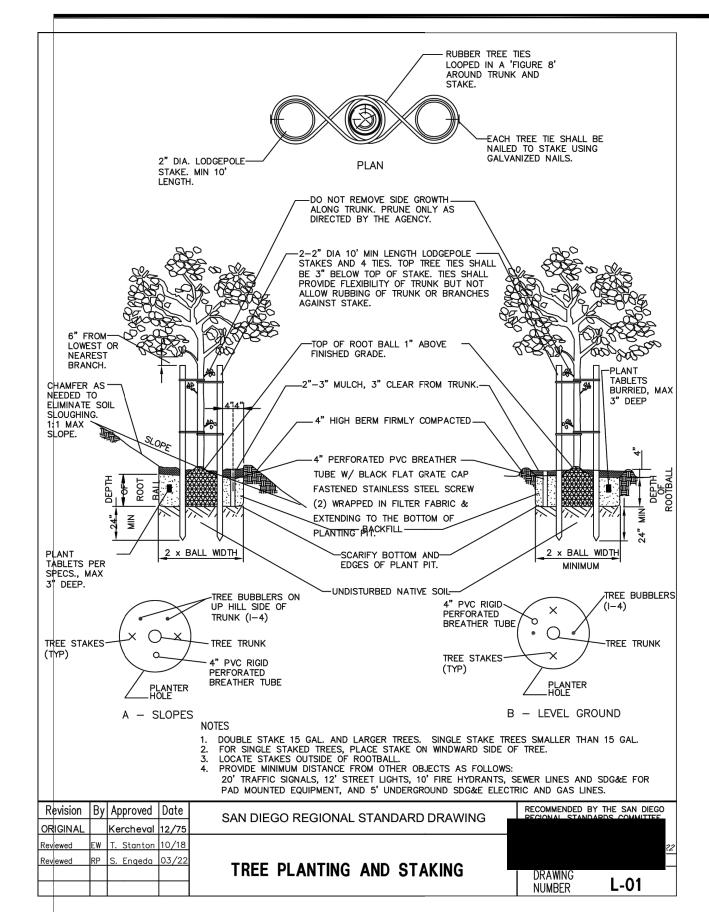
- 11. PLANTING TABLETS SHALL BE GRO-POWER PLANTING TABLETS 20-10-5 PER GB/WB (12 MONTH SLOW RELEASE FORMULATION).
- 12. ALL PLANTING BEDS, INCLUDING SLOPES 2:1 OR LESS, SHALL HAVE 3" (THREE INCH) THICK MULCH LAYER. "MULCH" SHALL BE 'FOREST FINES' LANDSCAPE MULCH FROM AGRISERVICE OR APPROVED EQUAL. PH.(800) 262-4167. MULCH SHALL BE FREE OF STICKS, STONES, CLAY OR OTHER FOREIGN MATERIAL. CONTRACTOR SHALL SUBMIT SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.
 - 12.1. NOTE: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING RE-VEGETATION.
- 13. AT COMPLETION OF THE ESTABLISHMENT PERIOD, APPLY COMMERCIAL FERTILIZER (15-15-15) AT 2LBS/1000SF TO TURF AREAS ONLY AND WATER IMMEDIATELY WITH A THOROUGH IRRIGATION CYCLE.
- 14. MINIMUM TREE SEPARATION DISTANCE:
 - 14.1 UNDERGROUND UTILITY LINES 5 FEET (10' FOR SEWER)
 - 14.2 ABOVE GROUND UTILITY STRUCTURES 10 FEET
- 15. FOR REMOVAL AND RELOCATION (TRANSPLANTING) OF EXISTING PALM TREE, THE CONTRACTOR MUST COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - 15.1. THE TREE SHALL BE TRANSPLANTED ONLY ONCE FROM EXISTING LOCATION TO PERMANENT POSITIONS AS SHOWN ON DRAWINGS.
 - 15.2. DIGGING, WRAPPING AND HANDLING: PALM TREE SHALL BE DUG AND PREPARED FOR MOVING IN A MANNER THAT WILL NOT CAUSE DAMAGE TO BRANCHES, SHAPE, ROOT SYSTEM, AND DEVELOPMENT.
 - 15.3. BALLED AND BURLAPPED (NO LESS THAN 72" BALL): BALL SHALL BE FIRMLY WRAPPED WITH BURLAP OR APPROVED CLOTH SUBSTITUTE. THE TREE WILL NOT BE ACCEPTABLE IF THE BALL IS CRACKED AND BROKEN, OR IF THE STEM OR TRUNK IS LOOSE IN THE BALL, EITHER BEFORE OR DURING TRANSPLANTING. BALLED PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL, PROPERLY PROTECTED AND STORED FOR THE REPLANTING LOCATION, TO BE PLANTED IMMEDIATELY AND WATERED THOROUGHLY.
 - 15.4. THE TREE IDENTIFIED FOR RELOCATION SHALL BE CLEARLY MARKED BY MEANS OF YELLOW PLASTIC SURVEYORS' RIBBONS AND COORDINATED WITH THE LANDSCAPE ARCHITECT AND PORT PRIOR TO ROOT PRUNING AND/OR DIGGING
 - 15.5. PALM TREE SHALL BE STAKED AND GUYED AFTER PLANTING.

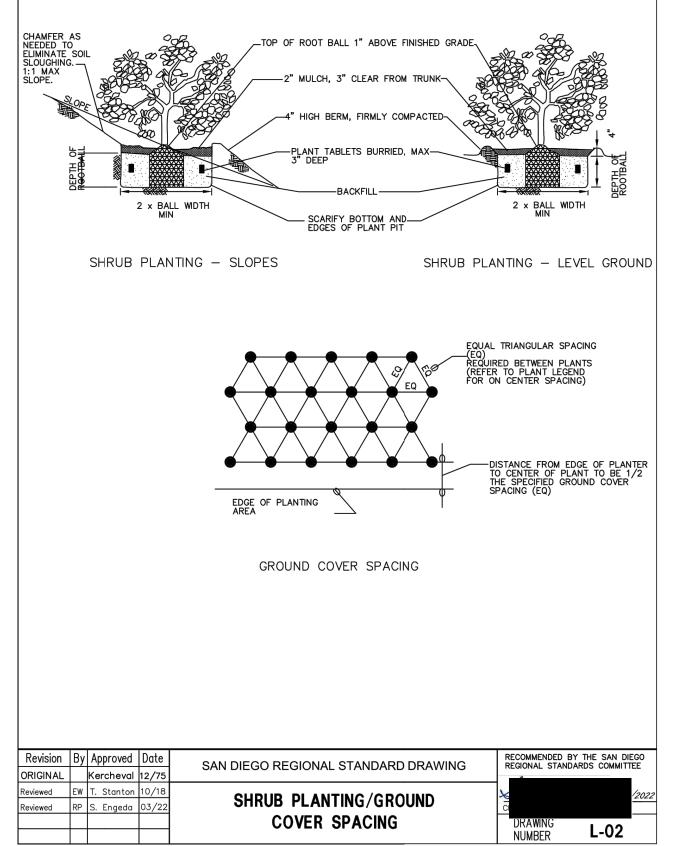
PLANTING LEGEND SIZE QTY DETAIL SYMBOL BOTANICAL NAME **COMMON NAME** <u>TREES</u> EXISTING PALM TO BE RELOCATED **EXISTING** 1 L-07/LP-2. SEE PLANTING NOTE #15 • YUCCA ELEPHANTIPES GIANT YUCCA MULTI-TRUNK 24" BOX 3 L-01/LP-2. **SHRUBS** AGAVE X 'BLUE FLAME' BLUE FLAME AGAVE 5 GAL 12 L-02/LP-2.(ALOE PLICATILIS FAN ALOE 5 GAL ALOE STRIATA 5 GAL CORAL ALOE 24 5 GAL CALLIANDRA CALIFORNICA RED BAJA FAIRY DUSTER GLANDULARIA LILACINA 'DE LA MINA' DE LA MINA CEDROS ISLAND VERBENA 5 GAL 10 LEUCADENDRON SALIGNUM 'BLUSH' BLUSH CONEBUSH 5 GAL 5 GAL LIGUSTRUM JAPONICUM JAPANESE PRIVET LOMANDRA LONGIFOLIA 'PLATINUM BEAUTY' MAT RUSH 5 GAL 55 STRELITZIA NICOLAI GIANT BIRD OF PARADISE 15 GAL DETAIL SYMBOL **BOTANICAL NAME** SPACING COMMON NAME CONT **GROUND COVERS** 18" o.c. L-02/LP-2. ERIGERON GLAUCUS 'WAYNE RODERICK' WAYNE RODERICK SEASIDE DAISY 1 GAL 42" o.c. LESSINGIA FILAGINIFOLIA 'SILVER CARPET' SILVER CARPET ASTER 1 GAL ANGULAR COBBLE. SEE CONSTRUCTION PLANS ---- ROOT BARRIER L-06/LP-2.

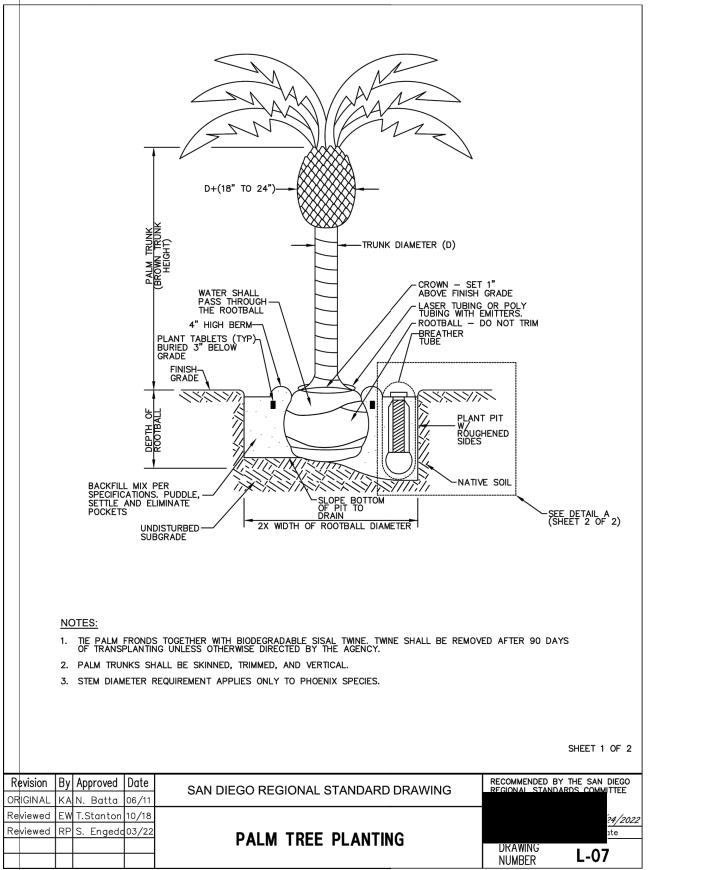
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CONSULTANT	F	FOR CITY ENGINEER		DATE		
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SCHMIDT DESIGN GROUP 1310 Rosecrans St., Suite G, San Diego, CA 92106 619.236.1462	ORIGINAL ORIGINAL ORIGINAL SIGNATURE 12-31-25 RENEWAL DATE 5/5/25	SDG				
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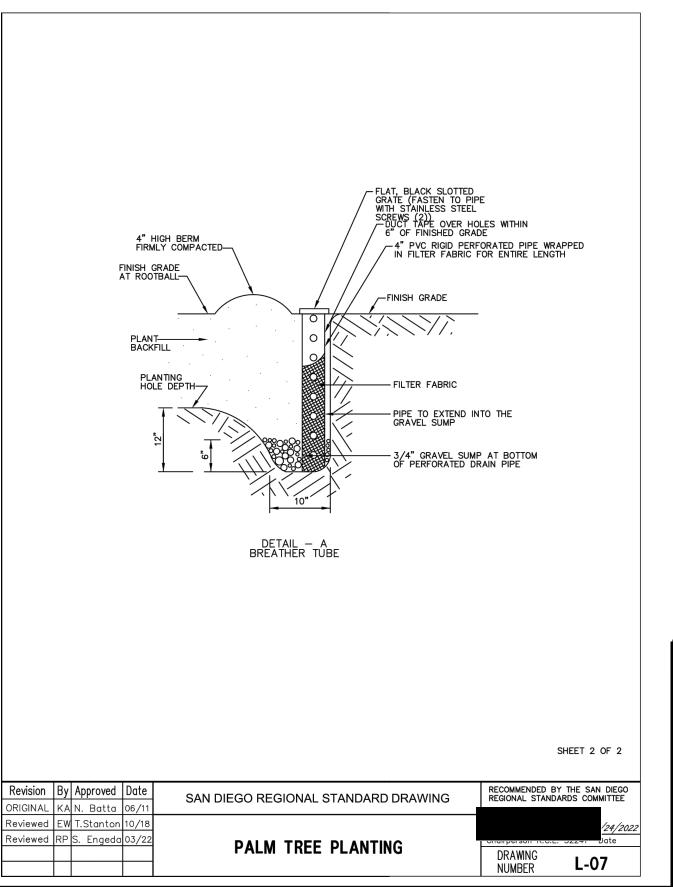
PEC NO. 2025-02 wвs но. **BC-0004-01** RECORD DRAWING SAN DIEGO UNIFIED PORT DISTRICT ATE 5/5/2025 AWIN MAY E A IM JJ CC LE U E ALE LINT F E № LP-1.0 ∖EVIEWE Y: THE I INAL AWIN . SPLASH PAD AT PORTWOOD PIER PLAZA UTILIZE \A HI ALE JE T MANA E /EN INEE VENIFY IF NAWIN I A EUTIN, AN AJUT ALE A IN LY T IB-2025-01 **LANDSCAPE PLANTING LEGEND AND NOTES** — — — — — — — A HI ALE H WN.

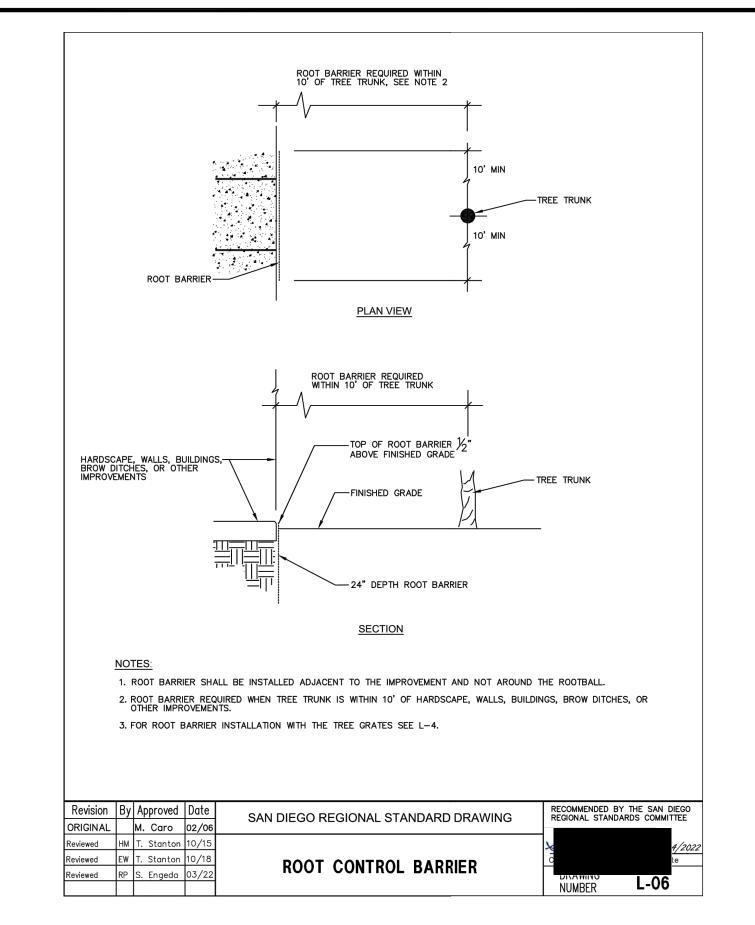


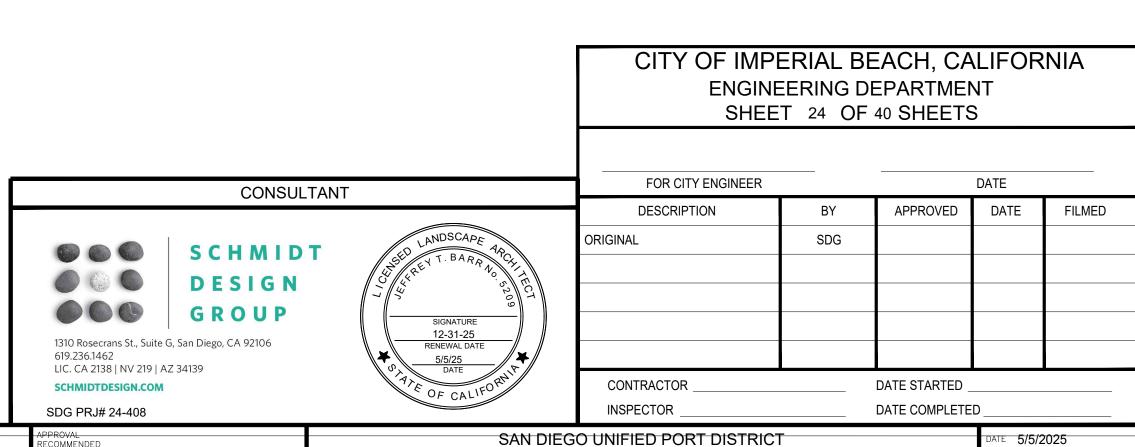












RECORD DRAWING

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SPEC NO. 2025-02 WBS NO. BC-0004-01
REFERENCES
PROJECT ENGINEER
CONTRACTOR
CONSTRUCTION STARTED
CONSTRUCTION COMPLETED
COST INSPECTOR
REVISIONS
DATE / APPROVED

PORT of SAN DIEGO
Waterfront of Opportunity

JM JJ CC

SAN DIEGO UNIFIED PORT DISTRICT

PROJECT MANAGER
PROVED

PROJECT MANAGER
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100% CONSTRUCTION DOCUMENTS

GENERAL SPLASH PAD DATA NOMINAL TOTAL SURFACE AREA: 2,189 sq.ft. NOMINAL PAD SURFACE AREA: 1,303 sq.ft. NOMINAL APRON SURFACE AREA: 886 sq.ft. NOMINAL FILTER TURNOVER RATE: ½ hour

NOMINAL FILTER FLOW RATE: 134 GPM MIN. TANK WORKING VOLUME: 4,000 GALLONS

NOMINAL TOTAL FEATURE FLOW: 305 GPM NOMINAL FEATURE FLOW RATE

NO	PRODUCT (DETAIL)	QTY	GPM
1	ARCH JET (3/38)	16	5 EA
2	BUBBLER (4/38)	7	1EA
3	MINI OUTWARD SPRAY RING (7/38)	1	60 EA
4	SEA CRAWLER (5/38)	3	5 EA
5	STREAM JET (6/38)	8	10 EA

REQUIRED UTILITIES:

- DOMESTIC WATER MAKE-UP: 1", DOMESTIC WATER SUPPLY WITH AN APPROVED BACKFLOW PREVENTER AND PRESSURE REGULATOR SEE CIVIL PLANS) SET TO 25-30PSI AND AN AIR GAP IN ACCORDANCE WITH LOCAL AND STATE CODES
- UNDERGROUND STORAGE TANK OVERFLOW: 3" SCH 80 PVC TO WASTE. AIR GAP REQUIRED.

- 3a) 2" SCH 80 PVC TO WASTE (FROM UNDERGROUND STORAGE TANK SUMP PUMP). AIR GAP REQUIRED.
- 3b) 3" SCH 80 PVC OVERFLOW TO WASTE (FROM UNDERGROUND STORAGE TANK). AIR GAP REQUIRED.
- 3c) 3" SCH 80 PVC DRAIN TO WASTE W/ BUTTERFLY ACTUATED VALVE (FROM DEBRIS WASTE CHAMBER). AIR GAP REQUIRED.
- 3d) 4" SAND FILTER BACKWASH DRAIN TO WASTE (FROM MECHANICAL ENCLOSURE). AIR GAP REQUIRED.
- ELECTRICAL SERVICE: (1) FEED @ 230V, 1Ø, 60hz, 50 amps W/ NEUTRAL
- SPLASH PAD MECH) (1) FEED @ 120V, 1Ø, 60hz, 30 amps (UV AND SPLASH PAD CONTROLS) (1) FEED @ 120V, 1Ø, 60hz, 15amps W/ NEUTRAL (TANK SUMP PUMP)

BILL OF MATERIALS:

- ***AVALABLE THRU AQUATIX (TAYLOR SMITH, 909-767-0201 TSMITH@COASTRECREATION.NET) OR APPROVED EQUAL 1. (35) WATERPLAY FEATURES (SEE GENERAL SPLASH PAD DATA)
- FILTRATION SYSTEM SKID COMPONENTS: 2a) (1) FILTER PUMP - PENTAIR WHISPERFLOW XF-VS, 5 HP,230V, 1Ø 21.0AMP-134 GPM MIN. @60'TDH.
- 2b) (1) SAND FILTER PENTAIR TRITON C, MODEL #TR-140-C, COMM. RATING: 141 GPM 2c) (13) 50LBS. OF SAND - HIGH RATE SAND FILTER
- SAND, SUPERIOR POOLS, PART #AAA-200 2d) (6) 50LBS. OF GRAVLE - HIGH RATE SAND FILTER
- GRAVLE, SUPERIOR POOLS, PART #AAA-206 2e) (1) MULTIPORT VALVE - PENTAIR 2" MULTIPORT
- VALVE WITH SIGHT GLASS, MODEL #261055 2f) (1) AUTOMATIC CHEMICAL CONTROLLER - HAYWARD
- CAT 2000 110V, 5AMP INCLUDES LIQUID ACID PUMP 2g) (1) FLOW METER - H2FLOW CONTROLS - 3" PIPE, MODEL # FV-3
- 2h) (1) ELECTRICAL PANEL UL LISTED, PRE-TESTED 2i) (2) CHEMICAL STORAGE - CHEMICAL STORAGE CROCK,
- STENNER 15GAL. MODEL #SV015 2j) (2) PERISTALTIC PUMP - STENNER: MODEL #45M5

3. FEATURE SKID SYSTEM COMPONENTS: 3a) (1) FEATURE PUMP -PENTAIR EQ SERIES,

- MODEL# EQ-500 5 HP, 230V, 1Ø 20.0AMP-305GPM@50'TDH 3b) (1) UV SYSTEM AND CONTROL PANEL - HAYWARD,
- HYDRORITE MODEL #HYR400L4, 352GPM MAX, 120V/10AMP 3c) (1) FEATURE BYPASS VALVE - 4" 3-WAY ELECTRICALLY OPERATED VALVE WILL DIVERT WATER FROM FEEDING INTO THE TANK, OUT TO THE SPLASH PAD. THERE
- WILL BE AN INTERLOCK SO THAT IF THE UV SYSTEM IS INOPERABLE OR IN ALARM, WATER WILL NOT BE ALLOWED TO FLOW TO THE SPLASH PAD.
- 3d) (1) HEADER 6" DIA PREFABRICATED DISTRIBUTION MANIFOLD, EACH SUPPLY LINE TO HAVE INDIVIDUAL MANUAL CONTROL VALVES.
- 4. TANK AND TANK COMPONENTS:
- 4a) (1) STORAGE TANK PRECAST CONCRETE TANK LOCKABLE HATCH AND LADDER. CREST PRECAST 4000R (CUSTOM) (4,000 GALLON WORKING CAPACITY- 4,000 TOTAL CAPACITY) SEE SHEET 38.
- TANK TO BE PREPLUMBED AND OUTFITTED WITH EQUIPMENT SPECIFIED IN THIS SECTION
- 4b) (1) SUMP PUMP FLOTEC SUMP PUMP, 115V, 15AMPS, W/ J-BOX FOR ELECTRICAL CONDUIT
- LOCATED WITHIN TANK. MODEL #FPSE3200A 4c) (1) SKIMMER - DESIGNER. FLOATING SKIMMER W/INTAKE HOSE.
- 4d) (1) WATER LEVEL CONTROL VALVE MECHANICAL HUDSON FLOAT VALVE (1" LINE)
- MCMASTER CARR 46585K14 4e) (1) FILTRATION RETURN PLUMBING LOOP - 3" PVC PIPE W/ (10) 3/4" DISCHARGE PORTS FACING DOWN INTO TANK

(SEE DRAWING 12 FOR DETAILS)

5. MISCELLANEOUS COMPONENTS:

- 5a) (1) ACTIVATION BOLLARD PVC STRUCTURE W/ A TOUCH SENSOR (3 WIRE PROXIMITY SWITCH, 22AWG, 10-36VDC LOW VOLTAGE) TO ACTIVATE THE FEATURE PUMP FOR A SET DURATION OF TIME.
- 5b) (3) DRAIN BOX 12" PVC SUMP W/FRP GRATE TOP, NOMINAL CAPACITY OF 120 GPM.
- 5c) (1) DEBRIS WASTE CHAMBER PREFABRICATED SUMP WITH REMOVABLE STAINLESS STEEL DEBRIS TRAP AND A 3" ACTUATED BUTTERFLY VALVE (115V, 0.50 amps) THAT WILL ACTIVATE WHEN THE SYSTEM IS NOT OPERATING TO ALLOW WATER (SUCH AS RAIN) THAT ACCUMULATES IN THE COLLECTOR BOX TO DRAIN TO STORM DRAIN. AQUATIX DW-450-8
- *** ALL MECHANICAL SKID SYSTEMS TO BE PROVIDED BY SPLASH PAD MANUFACTURE TO BE PRE-PLUMBED, PRE-WIRED AND FULLY TESTED.

GENERAL SPLASH PAD NOTES:

- 1. INSTALLER SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS. ANY CHANGES OR REVISIONS TO THE DRAWINGS AFTER THE DRAWINGS HAVE BEEN APPROVED IS THE RESPONSIBILITY OF THE INSTALLING PARTY.
- 2. IT IS THE INSTALLERS RESPONSIBILITY TO LOCATE ALL UTILITIES AND ALL OTHER FACILITIES ABOVE AND BELOW GRADE PRIOR TO PERFORMING ANY WORK
- 3. DURING THE COURSE OF CONSTRUCTION, THE INSTALLER SHALL MAINTAIN AN ACCURATE RECORD OF ALL ELEVATIONS AND CHANGES OF THE APPROVED WORK AND DOCUMENT THE ACTUAL INSTALLATION ON A SET OF REPRODUCIBLE DRAWINGS.
- 4. THE ASSE 1013 APPROVED BACKFLOW PREVENTER ON THE WATER MAKE-UP LINE SHALL INCLUDE A PRESSURE REDUCING VALVE AND PRESSURE GAUGE. THE INSTALLER MUST SET THE INCOMING COLD WATER LINE PRESSURE BELOW 30 PSI BEFORE INITIAL SPLASH PAD START-UP.
- 5. ALL COMPONENTS OF THE FILTRATION AND RECIRCULATION SYSTEM MUST BE NSF APPROVED.
- 6. ELEVATIONS AND CENTER LINES ARE FOR REFERENCE PURPOSES ONLY. IT IS THE INSTALLERS RESPONSIBILITY TO DETERMINE AND VERIFY ACTUAL CENTER LINES, LOCATIONS, AND ELEVATIONS.
- 7. ALL MECHANICAL INSTALLATION WORK SHALL BE COMPLETED IN A WORKMAN LIKE MANNER ACCORDING TO STANDARD INDUSTRY PRACTICE AND WARRANTED.
- 8. EQUIPMENT SUPPLIER SHALL WARRANTY ALL PRODUCTS AGAINST DEFECTS IN WORKMANSHIP FOR A PERIOD OF TWELVE (12) MONTHS FROM DATE OF INSTALLATION.
- IF PRODUCT AND ASSOCIATED MECHANICAL SYSTEM (SUPPLY LINE, DRAIN LINE, HEADER, PUMP, FILTER, ETC.) REQUIRES WINTERIZATION, IT IS TO BE PERFORMED BY EITHER A QUALIFIED CONTRACTOR OR QUALIFIED MAINTENANCE PERSONNEL TRAINED IN PROPER WINTERIZATION PROCEDURES.
- 10. THERE MUST BE NO DIRECT PHYSICAL CONNECTION BETWEEN THE SEWER SYSTEM AND ANY DRAIN FROM THE SPLASH PAD OR RECIRCULATION SYSTEM.
- 11. SIGNAGE MUST BE PROVIDED IN ACCORDANCE WITH LOCAL AND STATE USER SANITATION AND SAFETY CODES SEE CALIFORNIA BUILDING CODE 2023 EDITION (TITLE24) SECTION 3120B FOR REQUIRED SIGNAGE.
- 12. THE OWNER IS RESPONSIBLE FOR DESIGNATING A PERSON TO OPERATE AND MAINTAIN THE SPLASH PAD AND ALL RELATED FACILITIES AND EQUIPMENT IN ACCORDANCE WITH LOCAL AND STATE OPERATION AND MAINTENANCE CODES.
- 13. A RECORD OF THE SPLASH PAD'S OPERATION AND ROUTINE MAINTENANCE MUST BE KEPT BY THE DESIGNATED OPERATOR IN ACCORDANCE WITH LOCAL AND STATE CODES. 14. TOILETS, SHOWERS, DRINKING FOUNTAINS, AND DRESSING

ROOMS MUST BE CONVENIENTLY AVAILABLE TO POOL

PATRONS IN ACCORDANCE WITH LOCAL AND STATE CODES.

WATER QUALITY GUIDELINES

FOR PROPER SPLASH PAD OPERATION MAINTAIN, THE FOLLOWING WATER CHEMISTRY:

1. pH BALANCE: 7.2-7.8

- 2. FREE CHLORINE RESIDUAL: 3.0-5.0 ppm
- 3. TOTAL DISSOLVED SOLIDS: LESS THEN 1000ppm
- 4. CALCIUM HARDNESS: 200-400 1500ppm 5. TOTAL ALKALINITY: 80-180ppm AS CALCIUM
- CARBONATE 6. FILTRATION TURNOVER RATE: 30 MINS HOLDING TANK WATER SHALL BE FREE OF COLIFORM BACTERIA CONTAMINATION.

START-UP CHECK LIST

- 1. ALL ELECTRICAL CONNECTIONS MUST BE TESTED AFTER COMPLETION. 2. TEST PUMP MOTORS AND VERIFY PROPER ROTATION
- AND RUNNING AMPERE AT THE CONTROL PANEL. PUMPS MUST NOT BE RUN DRY. 3. INSPECT ALL PIPING AND PIPING ACCESSORIES FOR
- LEAKS ONCE PIPES ARE FILLED WITH WATER. 4. PRIOR TO OPERATION, FLUSH ALL LINES OF
- ACCUMULATED DEBRIS. 5. TEST ALL HYDRAULIC LINES AND FITTINGS FOR LEAKS. REPAIR IF NECESSARY AND FLUSH CLEAN.
- 6. ALL CUSTOM WATER DEVICES, ETC. MUST BE PROPERLY INSTALLED AND ADJUSTED FOR PROPER PERFORMANCE. 7. VERIFY PROPER INCOMING WATER PRESSURE BEFORE START-UP.

ELECTRICAL NOTES FOR SPLASH PAD:

- CONTROL PANELS
- 1a) A CLASS "A" GROUND FAULT CIRCUIT INTERRUPTER MUST BE INSTALLED IN ALL BRANCH CIRCUITS SUPPLYING EQUIPMENT IN THE EQUIPMENT ROOM.
- 1b) THE NATIONAL ELECTRICAL CODE REQUIRES CLEAR SPACE AROUND INSTALLED ELECTRICAL PANELS FOR SAFETY AND MAINTENANCE. THE INSTALLER SHALL VERIFY THAT EACH PANEL INSTALLATION IS COMPLIANT WITH THE N.E.C. AND LOCAL ELECTRICAL CODES. BONDING
- 2a) ALL METALLIC PIPING AND CONDUIT SYSTEMS ASSOCIATED WITH THE SPLASH PAD MUST BE BONDED TO THE EQUIPMENT GROUNDING CONDUCTOR OF THE BRANCH CIRCUIT SUPPLYING ELECTRICAL POWER TO THE SPLASH PAD.
- 2b) ALL STAINLESS STEEL STRUCTURES REQUIRE BONDING PER NEC AND LOCAL CODES.
- 2c) ALL REQUIRED BONDING TO BE APPROVED BY LOCAL JURISDICTION INSPECTOR PRIOR TO PLACING CONCRETE.
- GROUNDING 3a) THE FOLLOWING EQUIPMENT MUST BE GROUNDED: -ALL ELECTRICAL EQUIPMENT IN THE SPLASH PAD. -ALL ELECTRICAL RECIRCULATING SYSTEM EQUIPMENT. -ALL PANELBOARDS THAT SUPPLY ANY ELECTRICAL EQUIPMENT ASSOCIATED WITH THE SPLASH PAD.
- 4. CONDUITS 4a) THE CONDUIT SYSTEM MUST BE WATERTIGHT FROM THE CONTROL PANEL TO THE WATER FEATURE/POOLS. PRESSURE TEST CONDUIT WITH 5 PSI (MIN.) TO 15 PSI (MAX.), VERIFY WITH APPLICABLE CODES, FOR 30 MINUTES WITHOUT ANY PRESSURE DROP. IF REQUIRED
- REPAIR ANY LEAKS AND RE-TEST. 4b) ALL CONDUITS EXPOSED TO MOISTURE MUST BE OF A CORROSION RESISTANT MATERIAL SUCH AS RED
- 5. ALL ELECTRICAL WORK SHALL COMPLY WITH THE NFPA 70, NATIONAL ELECTRICAL CODE 2008 EDITION THAT IS INCORPORATED BY REFERENCE.

PLUMBING NOTES FOR SPLASH PAD:

- 1. PIPING IS DRAWN FOR CLARITY AND DOES NOT NECESSARILY INDICATE EXACT ROUTING. CONTRACTOR SHALL INSTALL PIPING WITH AS FEW CHANGES IN DIRECTION AND ELEVATION AS JOB SITE CONDITIONS WILL ALLOW
- 2. ALL PIPE AND FITTINGS RECOMMENDED TO BE SCH 80 PVC (SCH 40 ACCEPTABLE). INSTALLER RESPONSIBLE FOR ALL PIPE, PIPE FITTINGS, FLANGES, GASKETS, ELBOWS, AND HARDWARE TO CONNECT ALL EQUIPMENT TO OPERATE PROPERLY.
- 3. MINIMIZE THE USE OF 90°ELBOWS ON PUMP SUCTION LINES MAINTAIN 10 TIMES PIPE DIAMETER OF STRAIGHT PIPE ON PUMP SUCTION LINE BEFORE PUMP.
- 4. ALL NON-DRAIN PIPING MUST BE PRESSURE TESTED PRIOR TO BACKFILLING. WATER TESTING LINES AT 30 PSI FOR (1) HOUR WITH NO PRESSURE DROP IS THE PREFERRED METHOD OF TESTING. ISOLATE ALL PIPING APPURTENANCES FROM THE PRESSURE OF THIS TEST, AS THEY ARE NOT DESIGNED FOR HIGH PRESSURE OPERATION AND DAMAGE MAY OCCUR. ALL TEST FAILURES SHALL BE CORRECTED.
- **WARNING: NOT INTENDED FOR USE WITH COMPRESSED AIR OR GAS. THIS PRODUCT IS ONLY TO BE USED FOR ITS INTENDED PURPOSE.**
- 5. ALL DISCHARGE, SUCTION, AND DRAIN LINES MUST HAVE A MEANS FOR DRAINAGE SUPPLIED BY THE GENERAL CONTRACTOR FOR WINTERIZATION.
- SUCTION LINE VELOCITY NOT TO EXCEED 6 FT/SEC.
- 7. SUPPLY LINE VELOCITY NOT TO EXCEED 8 FT/SEC. 8. GRAVITY DRAIN LINE VELOCITY NOT TO EXCEED 3.0 FT/SEC.
- 9. DRAINAGE GRATING VELOCITY NOT TO EXCEED 1.5 FT/SEC. 10. PROVIDE ALL PIPE AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURE RECOMMENDATIONS AND APPLICABLE CODES AND REGULATIONS.
- 11. SUPPORT ALL PIPE LINES INDIVIDUALLY, EACH BRANCH HAVING AT LEAST ONE HANGER. IF NOT SPECIFICALLY NOTED, PROVIDE VERTICAL AND LATERAL SUPPORT FOR ALL PIPING AND EQUIPMENT.
- 12. PIPE SHALL BE INDEPENDENTLY SUPPORTED OF ALL PUMPS AND EQUIPMENT
- 13. PROTECT PLASTIC PIPE IN STEEL SUPPORT BRACKETS.
- 14. SIZE HANGERS PROPERLY TO FIT AROUND PIPES AND SIZE HANGER RODS, SCREWS, BOLTS, NUTS, ETC. ACCORDING TO MANUFACTURES SIZING CHARTS.
- 15. SPACE HANGERS FOR HORIZONTAL PIPES AT MAXIMUM 4FT FOR 1" PIPE AND UNDER, 5FT FOR 2" UNDER, 7FT FOR 4" UNDER, 9FT FOR 6" UNDER, 10FT FOR 8" UNDER, 11FT FOR 10" UNDER AND 12FT FOR 12" OR LARGER.
- 16. DO NOT USE WIRE OR OTHER MAKESHIFT DEVICES FOR HANGERS OR SUPPORT.

CONCRETE NOTES FOR SPLASH PAD:

CAST IN PLACE CONCRETE NOTES:

- DESIGN CODE: ACI 318 LATEST EDITION.
- 2. VERIFY LOCAL/STATE CODES FOR TYPE, THICKNESS, & REINFORCEMENT REQUIREMENTS FOR CONCRETE SLAB.
- 3. MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS: LOCATION TYPE STRENGTH Fc'=3,000PSI FOOTINGS
- SPLASH PAD SURFACE, Fc'=4,000PSI

4. REINFORCING STEEL

- 4a) DEFORMED BARS-ASTM A615 GRADE 60KSI.
- 5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL SPLASH PAD EQUIPMENT AND CONCRETE MIX DESIGN FOR REVIEW AND APPROVAL PRIOR TO ORDERING
- 6. CONCRETE COLOR AND FINISH PER LANDSCAPE PLAN.

GENERAL FOUNDATION AND CAST IN PLACE CONCRETE

- 1. DESIGN CODES ACI 318 AND "ACI DETAILING MANUAL" LATEST EDITION.
- 2. PROVIDE ALL ACCESSORIES AND SUPPORTS NECESSARY TO SECURE REINFORCING STEEL PER "ACI DETAILING MANUAL" NO OTHER METHODS OR MATERIALS WILL BE ACCEPTABLE.
- 3. PROVIDE PLASTIC CHAIRS AND BAR SUPPORTS IN ALL AREAS OF EXPOSED CONCRETE
- 4. PROVIDE CONCRETE PROTECTION FOR ALL REINFORCEMENT AS PER ACI 318, SECTION 7.7 REQUIREMENTS FOR CAST IN PLACE CONCRETE:
- 5a) CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 5" 5b) CONCRETE EXPOSED TO EARTH OR WEATHER:
- #5 BARS AND SMALLER: 11/2" #6 BARS AND LARGER: 2" 6. CROSS REFERENCE SPLASH PAD AND STRUCTURAL DWGS. TO ENSURE CORRECT LOCATIONS AND
- PLACEMENT OF ALL ANCHOR BOLTS, INSERTS, ETC. 7. LAP SPLICES AT ALL REINFORCING IN ALL CAST IN PLACE CONCRETE SHALL BE AS FOLLOW, U.N.O.
- #4 BAR=24" #7 BAR=42" #5 BAR=30" #8 BAR=48" #6 BAR=36" #9 BAR=54" UNLESS NOTED OTHERWISE ON DWGS. PROVIDE
- ADDITIONAL REINFORCING ALL AROUND CONCRETE WALL AND SLAB OPENINGS EQUAL TO THE INTERRUPTED REINFORCING IN EACH DIRECTION AND EACH FACE MIN. ONE (1) BAR ALL AROUND FOR EACH LAYER OF REINFORCING). EXTEND BARS BEYOND EDGE OF OPENINGS EQUAL TO LAP LENGTH INDICATED ABOVE. ADD ONE (1) #4x4'-0" DIAG. BAR CENTERED ON EACH CORNER (ONE (1) PER EACH LAYER OF REINFORCEMENT).
- EXPANSION JOINT TO BE EVERY 20' x 20' MIN. 10. SAW CUT JOINT TO BE EVERY 10' x 10' MIN.

CONSULTANT

SCHMIDT

DESIGN

GROUP

SOIL EXCAVATIONS:

REMOVE ALL EXISTING FILL SOILS AND ANY SILTY SANDS (INCLUDING NATURALLY DEPOSITED SOILS) TO A DEPTH OF 18" MIN. SOILS EXPOSED IN THE EXCAVATION BOTTOM SHOULD CONSIST OF NATURAL COARSE ALLUVIAL SANDS (SP OR SP-SM). SOILS EXPOSED IN THE EXCAVATION BOTTOM SHOULD BE THOROUGHLY SURFACE COMPACTED. FILL PLACED IN THE EXCAVATION SHOULD CONSIST OF NON-FROST SUSCEPTIBLE SANDS HAVING 5% OR LESS PARTICLES (BY WEIGHT) FINER THAN THE #200 SIEVE AND 40% OR LESS PARTICLES FINER THAN THE #40 SIEVE. FILL SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM: D698). REMOVE ALL BACKFILL THAT DOES NOT CONFORM TO MATERIAL SPECIFICATION (SP OR SP-SM CLASSIFICATION) OR MEET COMPACTION REQUIREMENTS. CONSULT SOILS REPORT OR TESTING LABORATORY AS NECESSARY.

STORAGE TANK INSTALL INSTRUCTIONS:

- SITE CONDITIONS: THE SITE MUST BE ACCESSIBLE TO LARGE, HEAVY TRUCKS. FREE OF ITEMS LIKE TREES, OVERHEAD WIRES, AND BUILDINGS. THAT COULD INTERFERE WITH DELIVERY OR INSTALLATION AND ALLOWS TRUCKS TO WITHIN 3 TO 8 FEET OF PLACEMENT EXCAVATION.
- **EXCAVATION: EXCAVATION SHOULD BE APPROXIMATELY** 18" MINIMUM LARGER THAN TANK SIZE TO ALLOW FOR ADEQUATE BACK FILL. THIS MAY VARY WITH SOIL CONDITIONS. EXCAVATION BELOW THE TANK CENTER TO BE 2" LOWER TO PREVENT UNDUE PRESSURE AT CENTER
- BEDDING: PROPER USE OF BEDDING MATERIAL IS IMPORTANT TO ENSURE SERVICE LIFE OF TANK STRUCTURE, BEDDING MUST BE CAPABLE OF BEARING THE WEIGHT OF THE TANK AND CONTENTS. BEDDING MATERIAL SHALL HAVE THE ABILITY OF 100% TO BE ABLE TO PASS THROUGH A 1/2" SCREEN MADE UP OF SAND OR GRAVEL (CLEAN PEA STONE PREFERRED). BEDDING THICKNESS SHALL BE A 4" MINIMUM COMPACTED (THICKNESS MAY VARY WITH EXISTING SOIL CONDITIONS). THE CENTER BEDDING UNDER THE TANK SHOULD BE 1" LOWER THEN THE PERIMETER BEDDING.
- 4. WATER TABLE: TANKS BEING PLACED WHERE WATER LEVELS CAN POTENTIALLY BE HIGHER THAN THE ELEVATION OF THE TANK COVER, MUST BE BROUGHT TO THE ATTENTION OF DESIGNER ADDITIONAL INSTALLATION INSTRUCTIONS SUCH AS BALLAST AND COATING MAY BE
- BACKFILL: SIDEWALLS REQUIRE BACKFILL WHICH 100% SHALL PASS A 2" SCREEN MATERIAL MADE UP OF DRY SOIL SAND, OR GRAVEL. MINIMUM 12" ALL SIDES OF THE TANK-FROM BASE TO TOP. NO PARALLEL BACKFILLING OR COMPACTION ALONG THE LENGTH OF SIDEWALLS IS PERMITTED. NO WHEEL OR TACK LOADING SIDEWALLS. MATERIAL ON TOP OF TANK TO PASS 4" SCREEN & DRY. COVER MATERIAL: COVER MATERIAL SHALL BE DRY SOIL
- SAND, OR GRAVEL MATERIAL THAT HAS THE ABILITY OF 100% TO BE ABLE TO PASS THROUGH A 4" SCREEN. COVER MATERIALS SHALL BE MOUNDED OVER TANK AND AROUND RISERS TO DIRECT RUN-OFF AWAY FROM STORAGE TANK.
- 7. WATER EVACUATE: FILTRATION PUMP MAY BE USED TO EVACUATE WATER FROM STORAGE TANK TO APPROVED WASTE CONNECTION IN EVENT OF WATER CONTAMINATION, TANK SHALL BE THOROUGHLY CLEANED AND SANITIZED PRIOR TO RE-FILLING. CONFIRM INSPECTION WITH YOUR LOCAL HEALTH DEPARTMENT RE-FILLING
- STORAGE TANK & RE-STARTING THE SYSTEM. 8. TANK STANDARD: TANK TO BE MANUFACTURED TO ASTM C-913 AND C-1227 STANDARDS. ALL SEAMS AND PIPE PENTRATIONS TO BE WATER TIGHT.

CITY OF IMPERIA	L BE	ACH, CALIFORNIA						
ENGINEERING DEPARTMENT								
SHEET	OF	SHEETS						

FOR CITY ENGINEER		DATE				
DESCRIPTION	ВҮ	APPROVED	DATE	FILM		
ORIGINAL						
CONTRACTOR		DATE STARTED_				
INSPECTOR		DATE COMPLET	ED			

RECORD DRAWING REVIEWED BY:

> PROJECT MANAGER/ENGINEER __ _ _ DATF:

THIS DRAWING MAY BE A REDUCED SCALE PRINT OF THE ORIGINAL DRAWING. JTILIZE GRAPHIC SCALES VERIFY IF DRAWING IS A REDUCTION, AND ADJUST SCALES ACCORDINGLY TO TH GRAPHIC SCALES SHOWN.

EC NO. **2025-02** ROJECT ENGINEER NTRACTOR NSTRUCTION COMPLETED

wbs No. BC-0004-01 DATE / APPROVE



SUB-CONSULTANT

JM JJ

619.236.1462

SDG PRJ# 24-408 DISTRICT MANAGER-DES

1310 Rosecrans St., Suite G, San Diego, CA 92106

LIC. CA 2138 | NV 219 | AZ 34139

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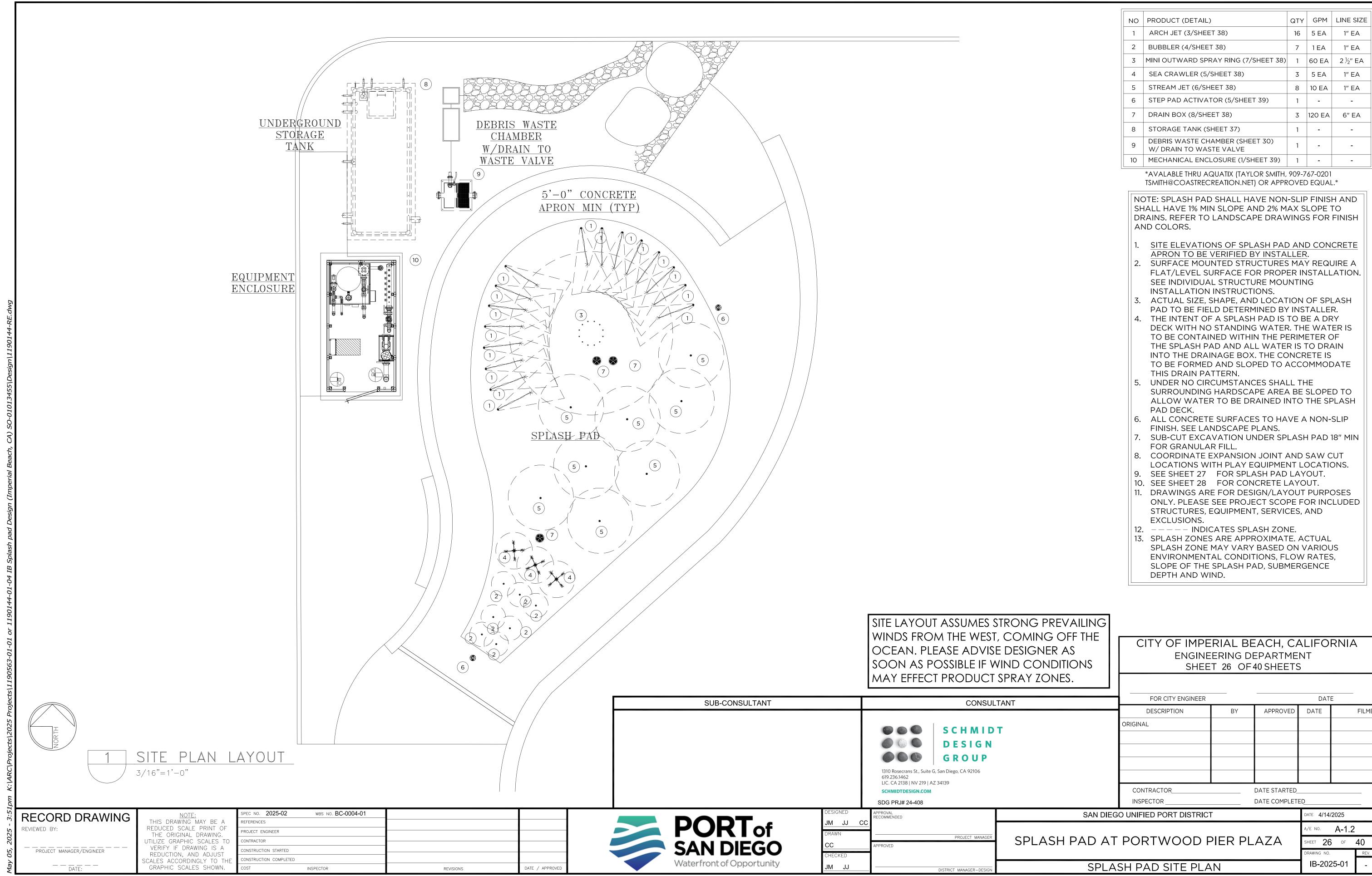
SAN DIEGO UNIFIED PORT DISTRICT SPLASH PAD AT PORTWOOD PIER PLAZA SPLASH PAD GENERAL INFORMATION

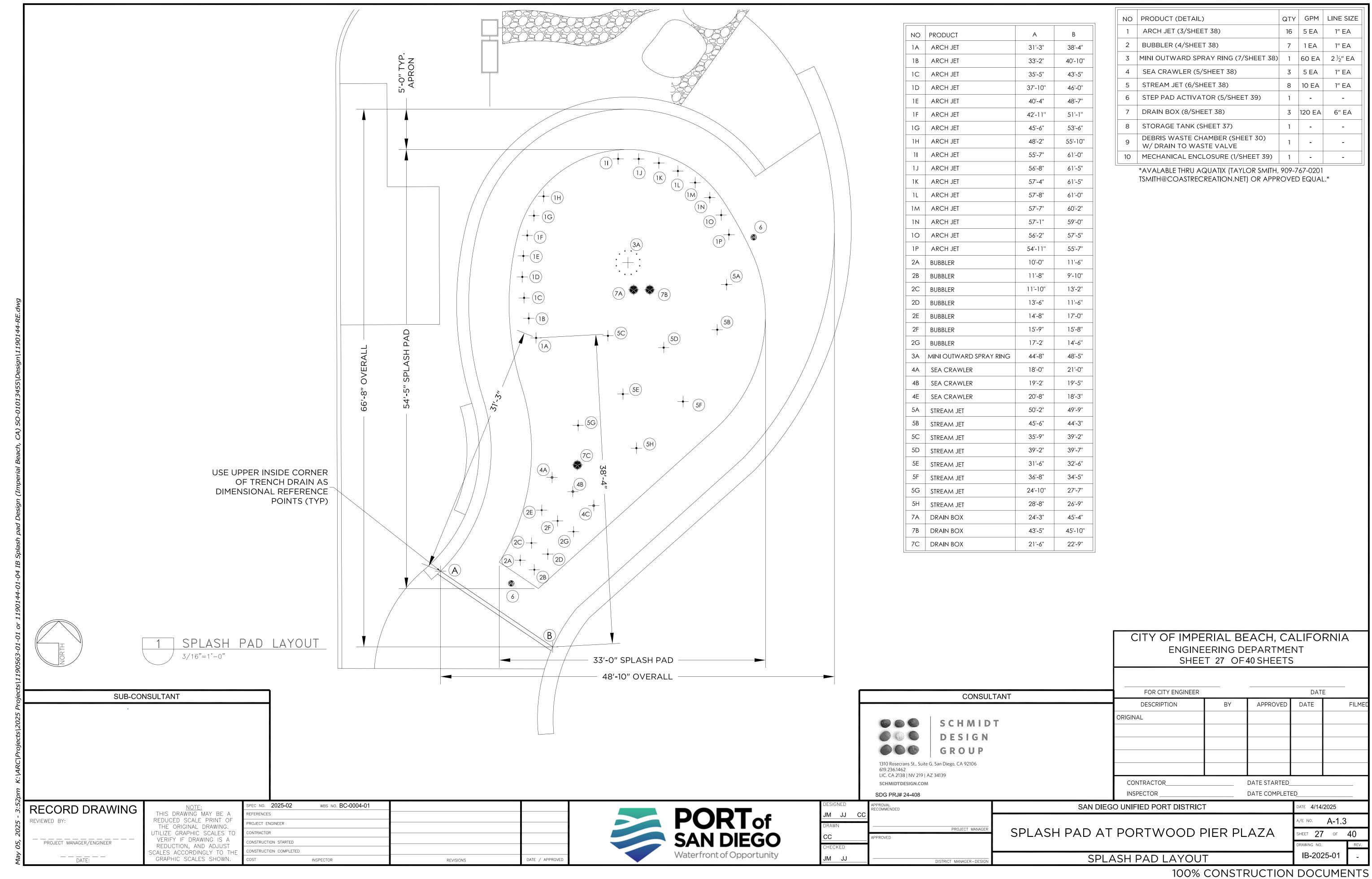
100% CONSTRUCTION DOCUMENTS

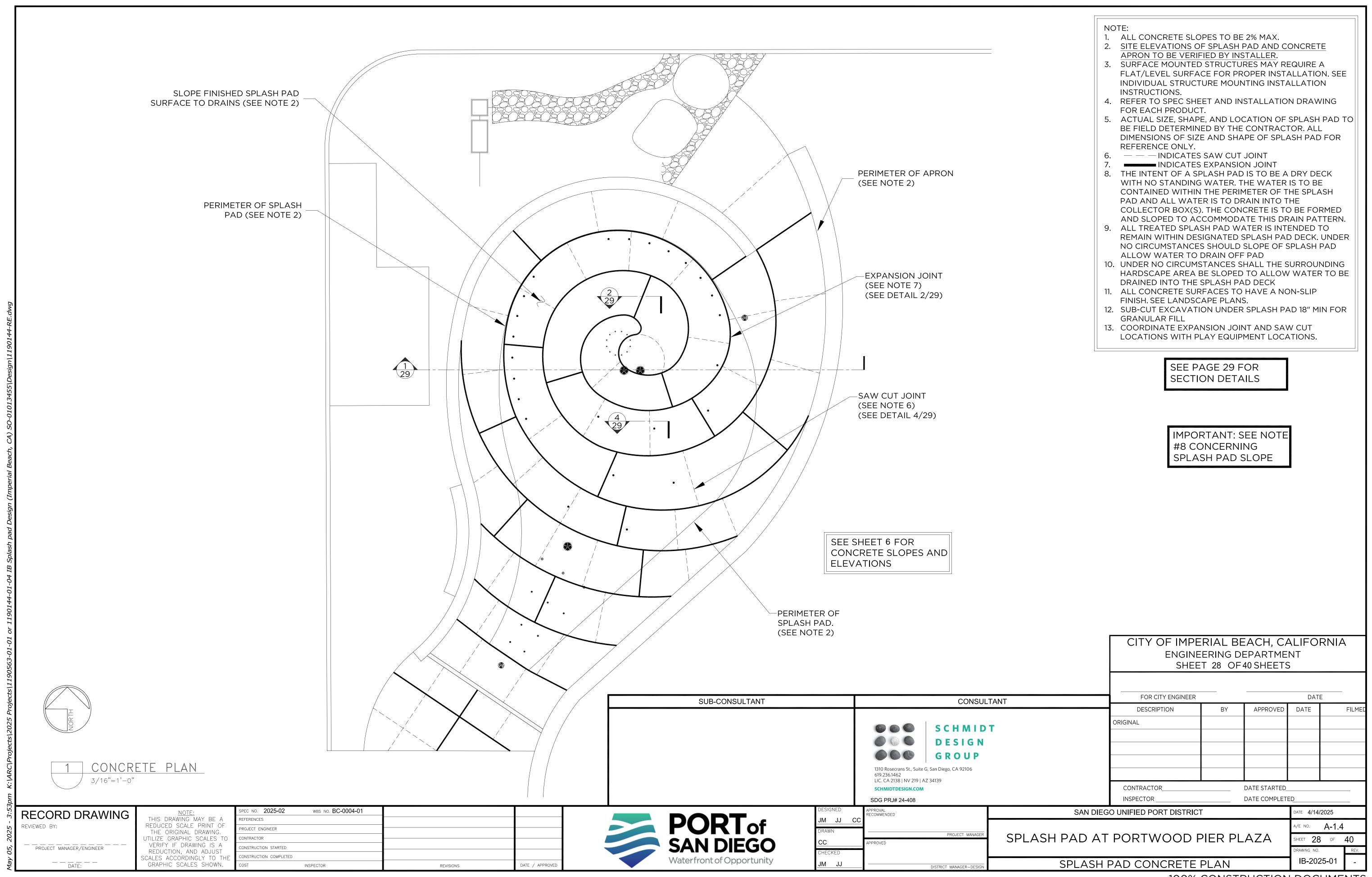
ATE 4/14/2025

IB-2025-01

of **40**







NOTE:

- 1. ALL SUB-BASE MATERIALS BY GENERAL CONTRACTOR, GENERAL CONTRACTOR IS TO BRING SITE TO LEVEL TO ROUGH GRADE WITH COMPACTED FILL. COMPACTION TEST BY GENERAL CONTRACTOR. SEE SOIL EXCAVATIONS AND FILL SPECIFICATIONS BELOW FOR **EXCAVATION AND COMPACTION REQUIREMENTS.**
- 2. CONCRETE TO BE THICKENED AT DRAIN BOXES (SEE 8/38, AND 4/39) AND MINI UPWARD SPRAY RING (SEE 7/38, AND 3/40).
- 3. ALL CONCRETE SLOPES TO BE 2% MAX.
- 4. SITE ELEVATIONS OF SPLASH PAD AND CONCRETE APRON TO BE VERIFIED BY CONTRACTOR. SEE SHEET C-0.3 FOR CONCRETE ELEVATIONS AND SLOPES.
- 5. THE INTENT OF A SPLASH PAD IS TO BE A DRY DECK WITH NO STANDING WATER. THE WATER IS TO BE CONTAINED WITHIN THE PERIMETER OF THE SPLASH PAD AND ALL WATER IS TO DRAIN INTO COLLECTOR BOX. THE CONCRETE IS TO BE FORMED AND SLOPED TO ACCOMMODATE THE DRAIN PATTERN.
- 6. ALL TREATED SPLASH PAD WATER IS INTENDED TO REMAIN WITHIN DESIGNATED SPLASH PAD DECK. UNDER NO CIRCUMSTANCES SHOULD SLOPE OF SPLASH PAD OR SLOPE OF SURROUNDING AREA ALLOW WATER TO DRAIN OFF PAD.

MINI OUTWARD SPRAY RING

4MIL VAPOR BARRIER

- 7. UNDER NO CIRCUMSTANCES SHALL THE SURROUNDING HARDSCAPE AREA BE SLOPED TO ALLOW WATER TO BE DRAINED INTO THE SPLASH PAD DECK
- 8. ALL CONCRETE SURFACES TO HAVE A NON-SLIP FINISH. SEE LANDSCAPE PLAN
- 9. COORDINATE EXACT LOCATION OF SAW CUTS AND EXPANSION JOINTS WITH PLAY EQUIPMENT LOCATIONS.
- 10. CONCRETE REINFORCEMENT TO BE #4 REBAR @ 12" O.C. EACH WAY.
- 11.18" OF GRANULAR FILL REQUIRED. SEE FILL SPECIFICATIONS.

5'-0" MIN APRON,

TYP.

SPLASH PAD SECTION

REVIEWED BY:

__ _ _ _ _ _ _ _ _ _

12. THERE IS TO BE A MINIMUM OF 6" OF GRANULAR FILL AROUND ALL PIPING

SOIL EXCAVATIONS:

REMOVE ALL EXISTING FILL SOILS AND ANY SILTY SANDS (INCLUDING NATURALLY DEPOSITED SOILS) TO A DEPTH OF 18" MIN. SOILS EXPOSED IN THE EXCAVATION BOTTOM SHOULD CONSIST OF NATURAL COARSE ALLUVIAL SANDS (SP OR SP-SM). SOILS EXPOSED IN THE EXCAVATION BOTTOM SHOULD BE THOROUGHLY SURFACE COMPACTED.

FILL SPECIFICATIONS:

FILL PLACED IN THE EXCAVATION SHOULD CONSIST OF NON-FROST SUSCEPTIBLE SANDS HAVING 5% OR LESS PARTICLES (BY WEIGHT) FINER THAN THE #200 SIEVE AND 40% OR LESS PARTICLES FINER THAN THE #40 SIEVE. FILL SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM: D698). REMOVE ALL BACKFILL THAT DOES NOT CONFORM TO MATERIAL SPECIFICATION (SP OR SP-SM CLASSIFICATION) OR MEET COMPACTION REQUIREMENTS. CONSULT SOILS REPORT OR TESTING LABORATORY AS NECESSARY.

ARCH JET (TYP)

18" GRANULAR

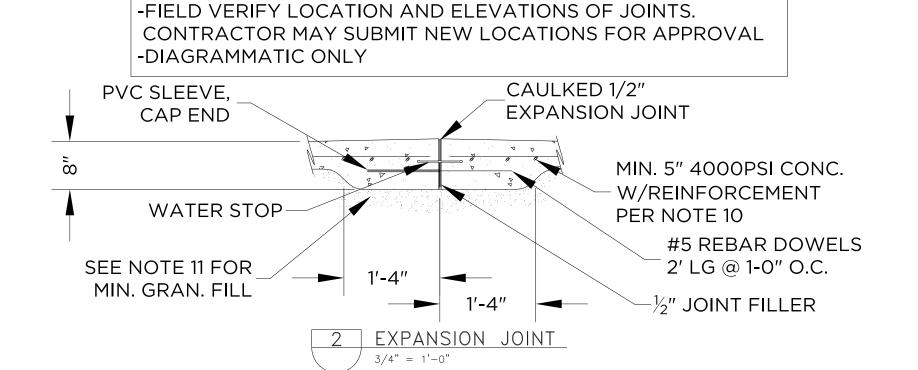
FILL (TYP)

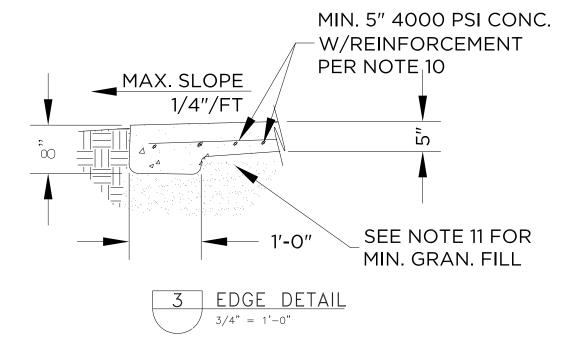
SEE NOTE 11

■ SLOPE

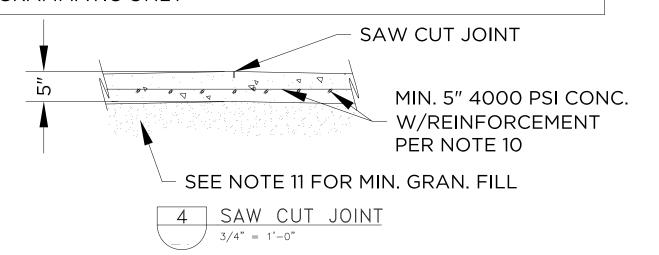
SUB-CONSULTANT

SEE PAGE 28 FOR DETAILS





-FIELD VERIFY LOCATION AND ELEVATIONS OF JOINTS. CONTRACTOR MAY SUBMIT NEW LOCATIONS FOR APPROVAL -DIAGRAMMATIC ONLY



CITY OF IMPERIAL BEACH, CALIFORNIA ENGINEERING DEPARTMENT SHEET 29 OF 40 SHEETS

DATE FOR CITY ENGINEER APPROVED DESCRIPTION DATE FILME RIGINAL DATE STARTED CONTRACTOR **INSPECTOR** DATE COMPLETED

DATE **4/14/2025**

A-1.5

HEET 29 OF 40

wbs No. BC-0004-01 EC NO. **2025-02** RECORD DRAWING PORT of SAN DIEGO THIS DRAWING MAY BE A REDUCED SCALE PRINT OF ROJECT ENGINEER THE ORIGINAL DRAWING. JTILIZE GRAPHIC SCALES 1 ONTRACTOR VERIFY IF DRAWING IS A PROJECT MANAGER/ENGINEER REDUCTION, AND ADJUST ONSTRUCTION COMPLETED SCALES ACCORDINGLY TO THE Waterfront of Opportunity GRAPHIC SCALES SHOWN. DATE / APPROVE

SDG PRJ# 24-408 SPLASH PAD AT PORTWOOD PIER PLAZA JM JJ DISTRICT MANAGER-DE

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619.236.1462

1310 Rosecrans St., Suite G, San Diego, CA 92106

CONSULTANT

SCHMIDT

DESIGN

GROUP

29

IB-2025-01 SPLASH PAD CONCRETE SECTION AND DETAILS 100% CONSTRUCTION DOCUMENTS

SAN DIEGO UNIFIED PORT DISTRICT

DRAIN BOX

SEE DETAILS

8/38 & 4/39

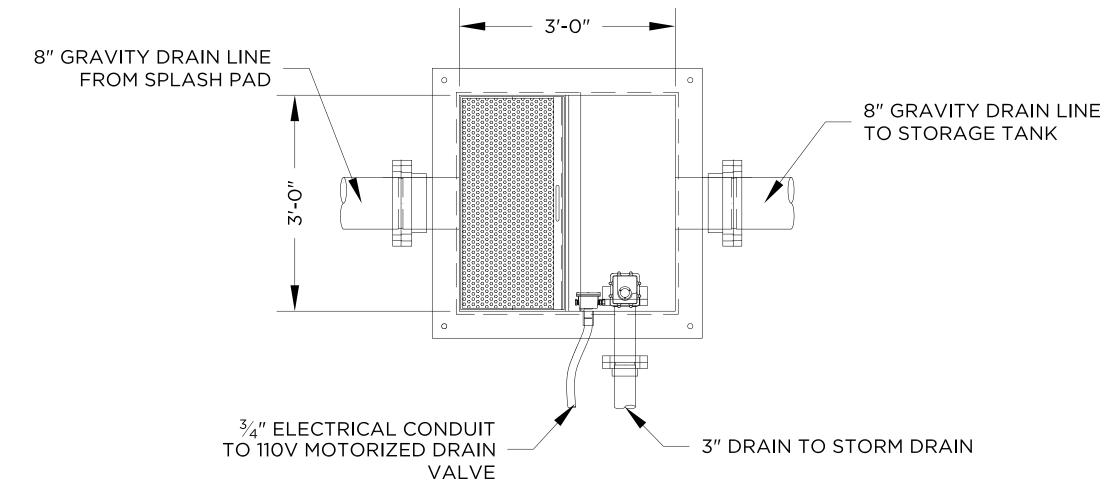
NOTES:

BEDDING REQUIREMENTS:

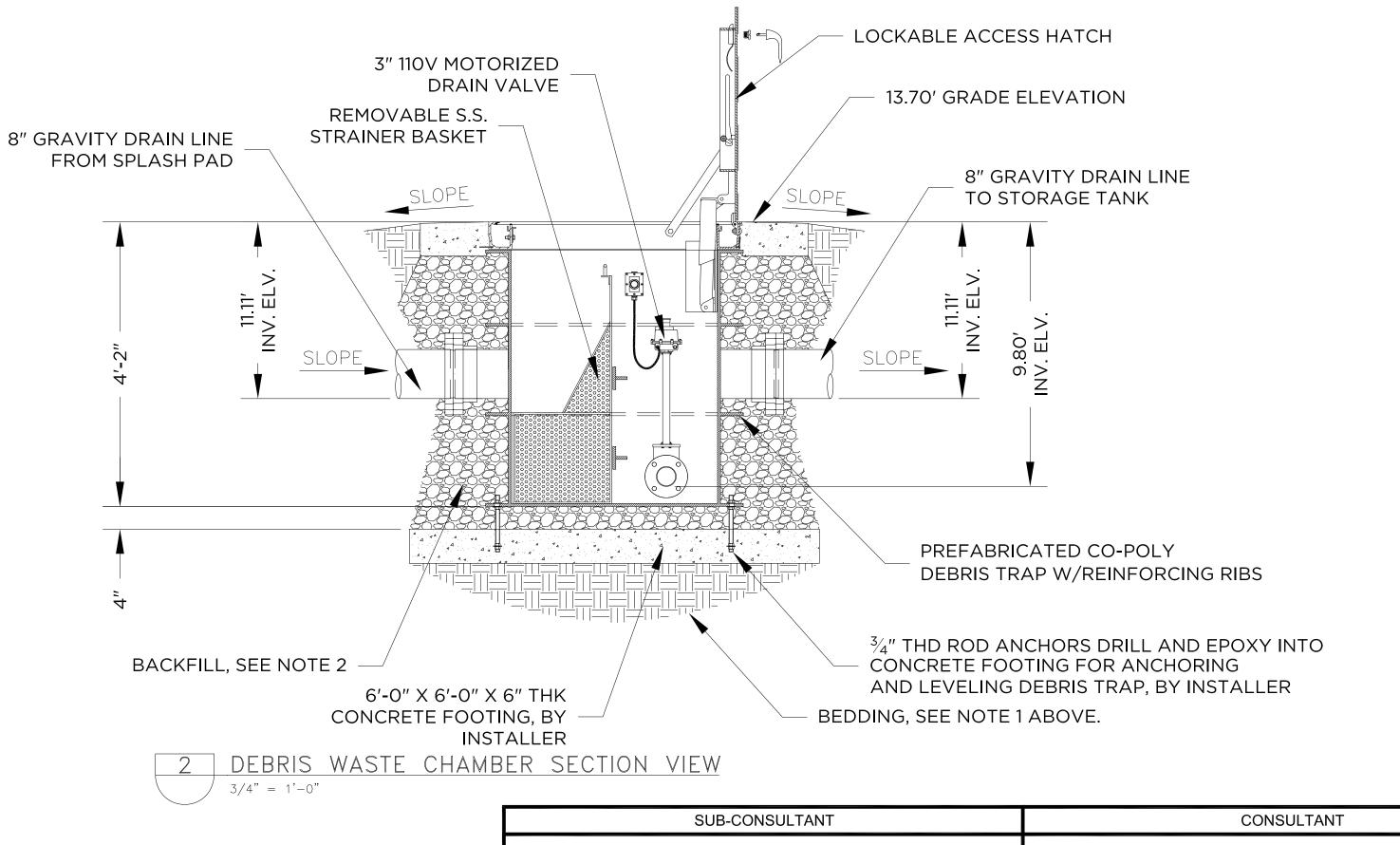
DEBRIS TRAP SHALL BE PLACED ON SOILS CAPABLE OF BEARING WEIGHT OF TRAP. SOFT SOIL OR BEDROCK SHALL HAVE A MINIMUM OF 3" TAMPED BEDDING, 100% OF WHICH SHALL PASS THRU A 1/2" SCREEN, MADE OF SAND OR GRAVEL (CLEAN PEA ROCK IS PREFERABLE).

2. BACKFILLING:

WALLS REQUIRE BACKFILL WHICH 100% SHALL PASS A 2" SCREEN. MATERIAL MADE UP OF DRY SOIL, SAND, OR GRAVEL. MINIMUM OF 12" ON ALL SIDES OF TRAP. NO PARALLEL BACKFILLING OR COMPACTION ALONG SIDEWALLS IS PERMITTED. NO WHEEL OR TRACK LOADING ON WALLS.



DEBRIS WASTE CHAMBER PLAN VIEW 3/4" = 1'-0"



CITY OF IMPERIAL BEACH, CALIFORNIA ENGINEERING DEPARTMENT SHEET 30 OF 40 SHEETS

FOR CITY ENGINEER DATE DESCRIPTION APPROVED DATE ORIGINAL SCHMIDT CONTRACTOR_ DATE STARTED_ DATE COMPLETED

RECORD DRAWING REVIEWED BY:

PROJECT MANAGER/ENGINEER

<u>NOTE:</u> This drawing may be a REDUCED SCALE PRINT OF THE ORIGINAL DRAWING. UTILIZE GRAPHIC SCALES 1 VERIFY IF DRAWING IS A REDUCTION, AND ADJUST SCALES ACCORDINGLY TO THE GRAPHIC SCALES SHOWN.

WBS NO. BC-0004-01 PEC NO. **2025-02** ROJECT ENGINEER ONTRACTOR ONSTRUCTION COMPLETED DATE / APPROVED

PORT of SAN DIEGO

JM JJ

LIC. CA 2138 | NV 219 | AZ 34139

SCHMIDTDESIGN.COM

SDG PRJ# 24-408

619.236.1462

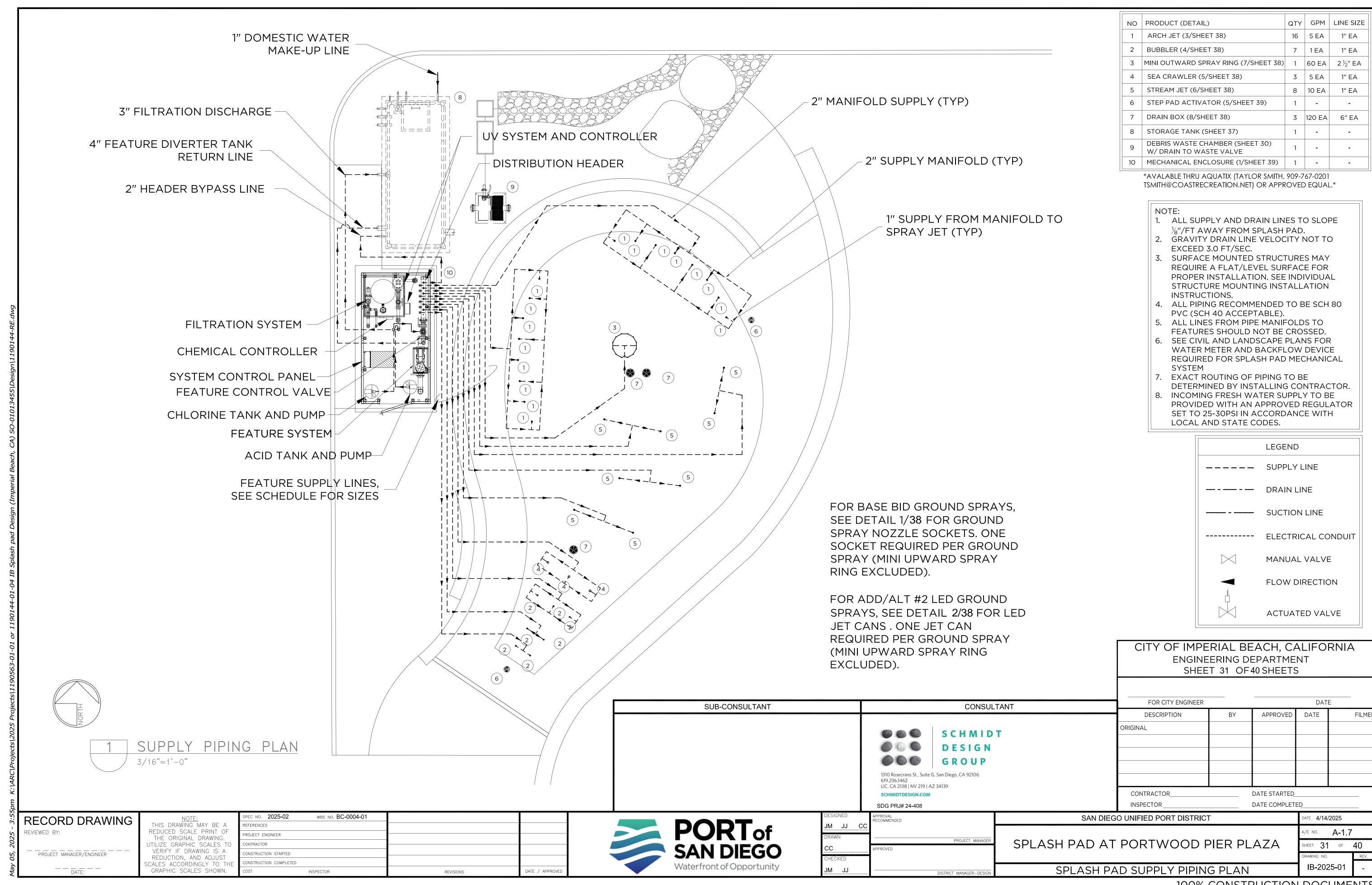
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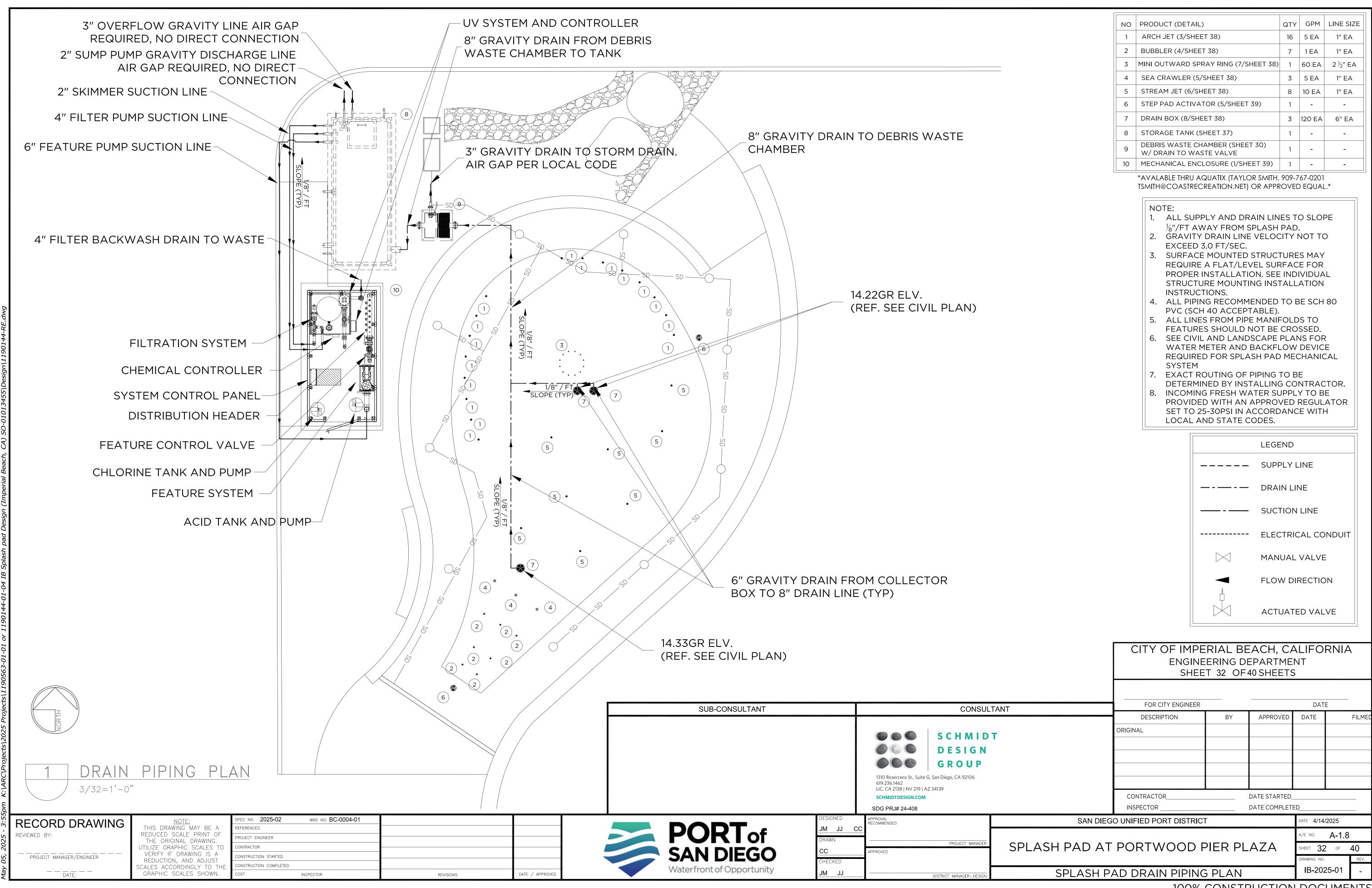
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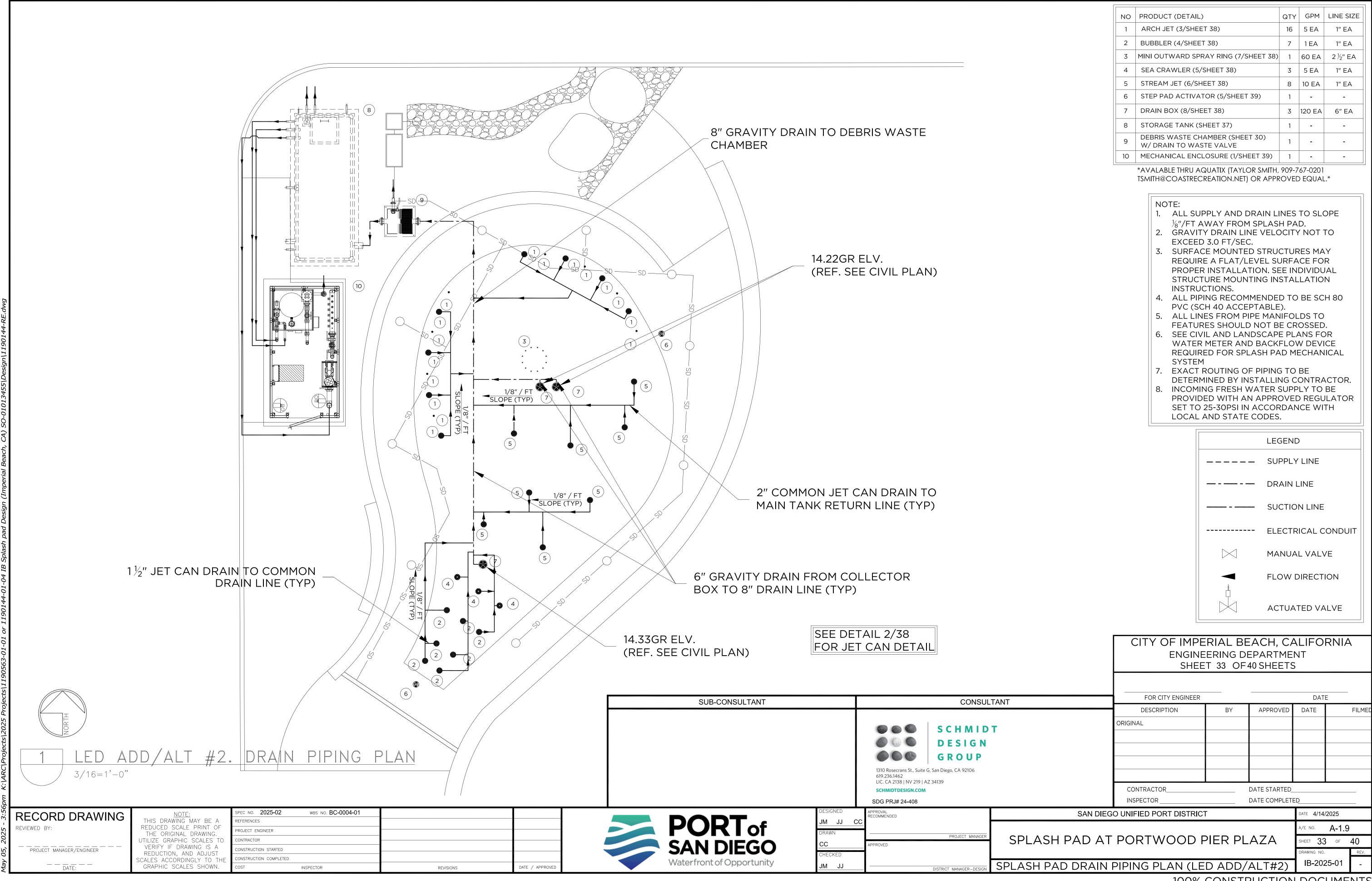
1310 Rosecrans St., Suite G, San Diego, CA 92106

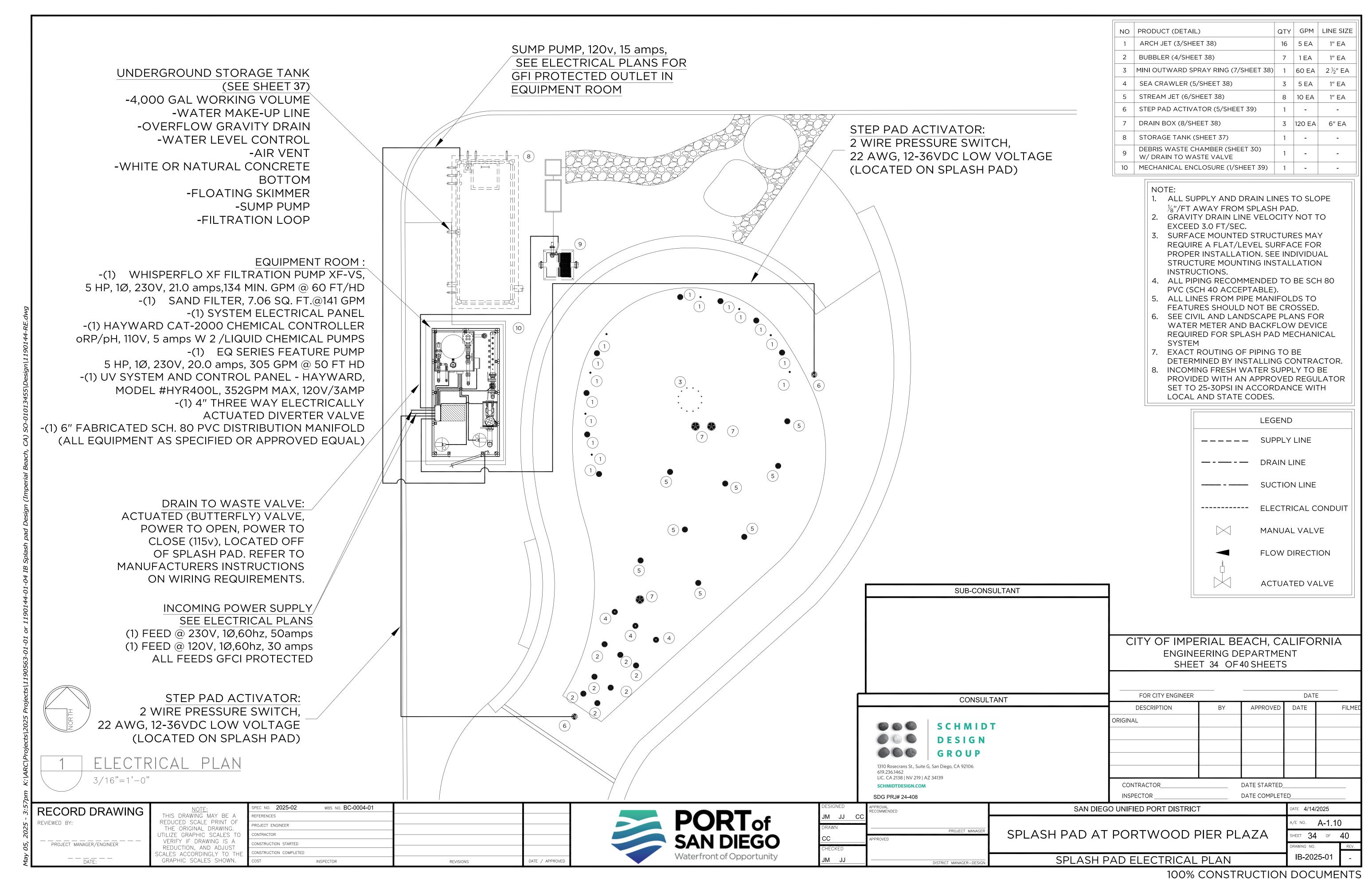
SAN DIEGO UNIFIED PORT DISTRICT SPLASH PAD AT PORTWOOD PIER PLAZA

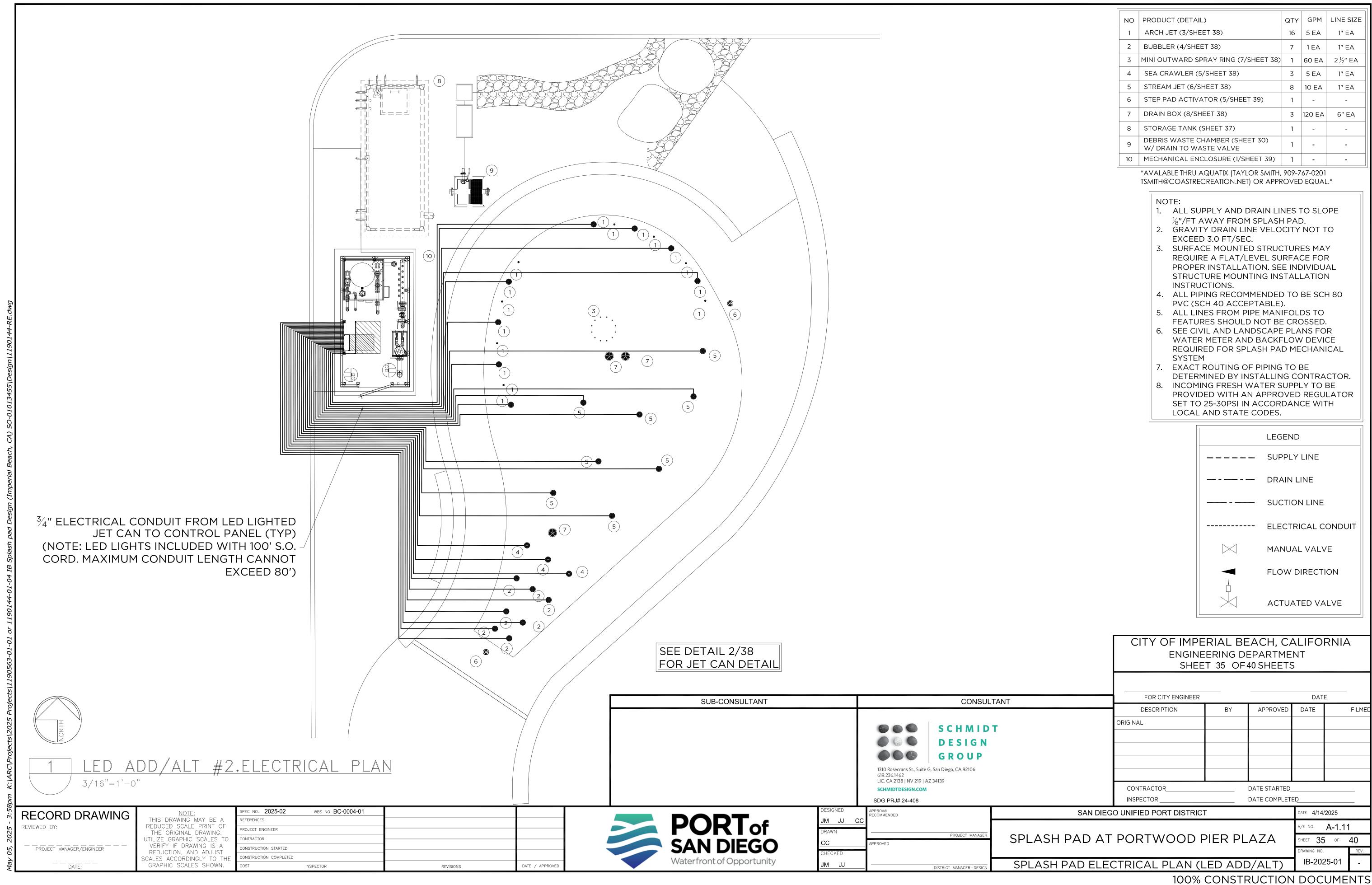
DATE 4/14/2025 /E NO. **A-1.6** HEET 30 OF 40 IB-2025-01 SPLASH PAD DEBRIS WASTE CHAMBER DETAILS

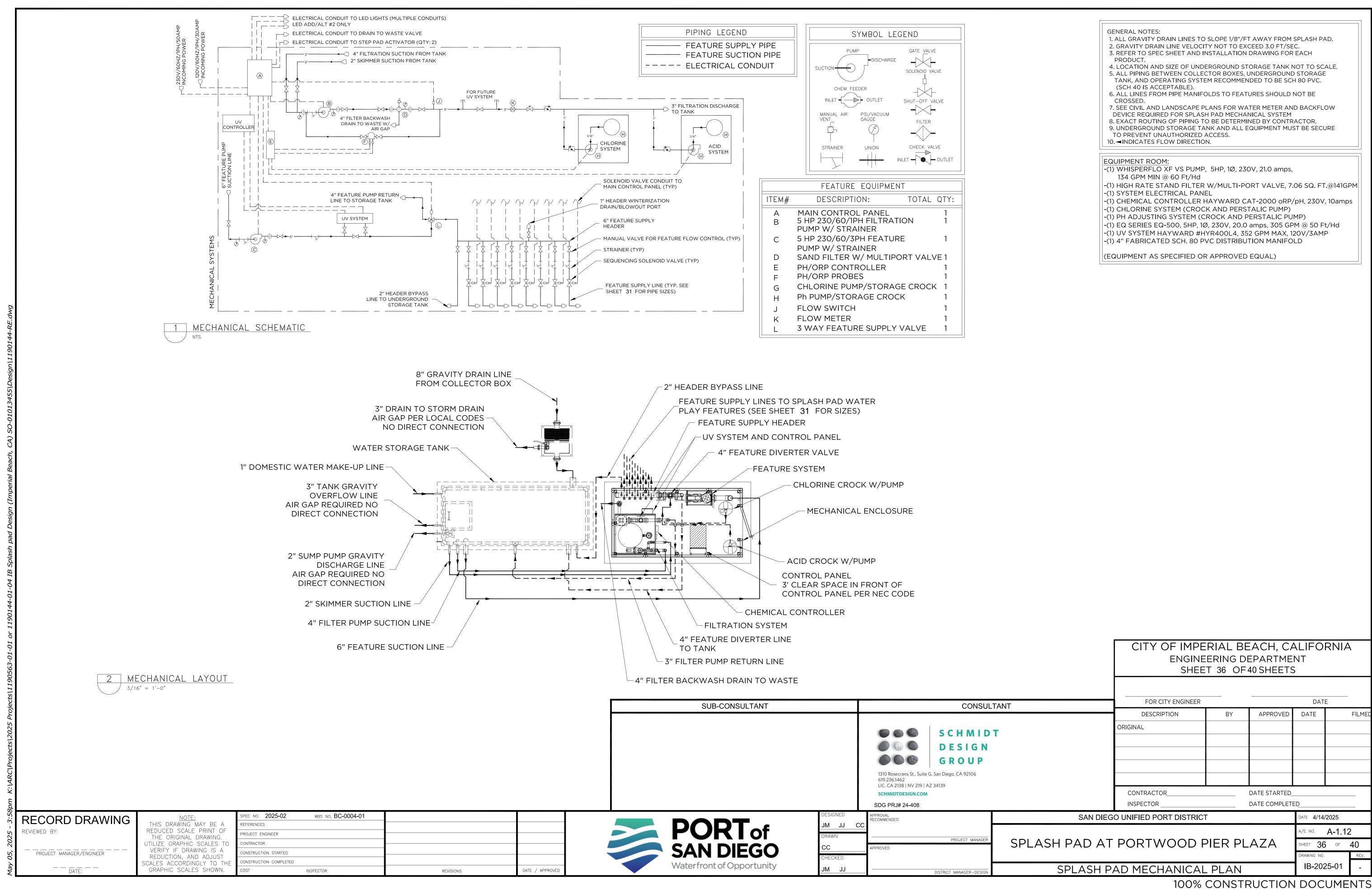


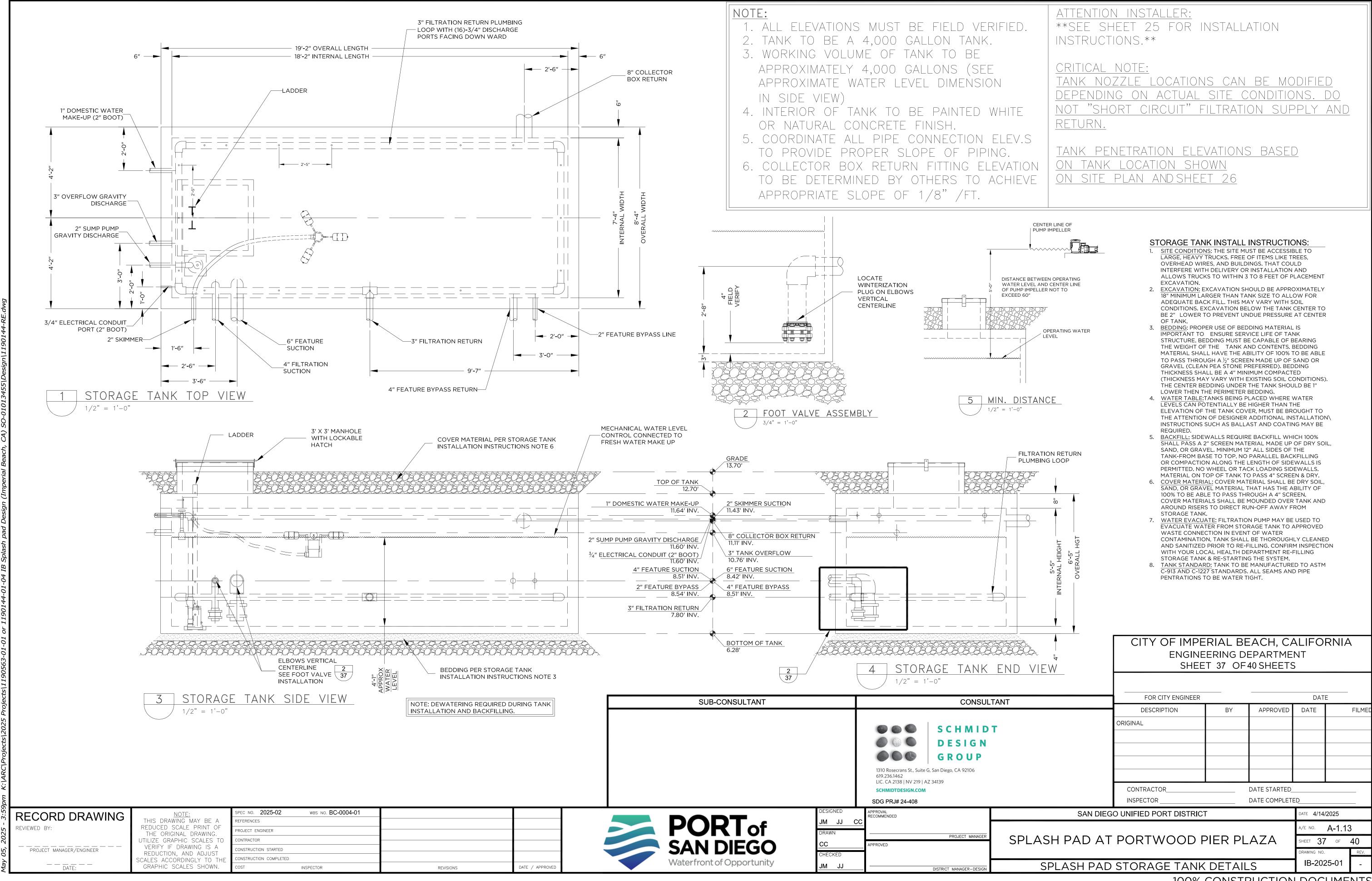


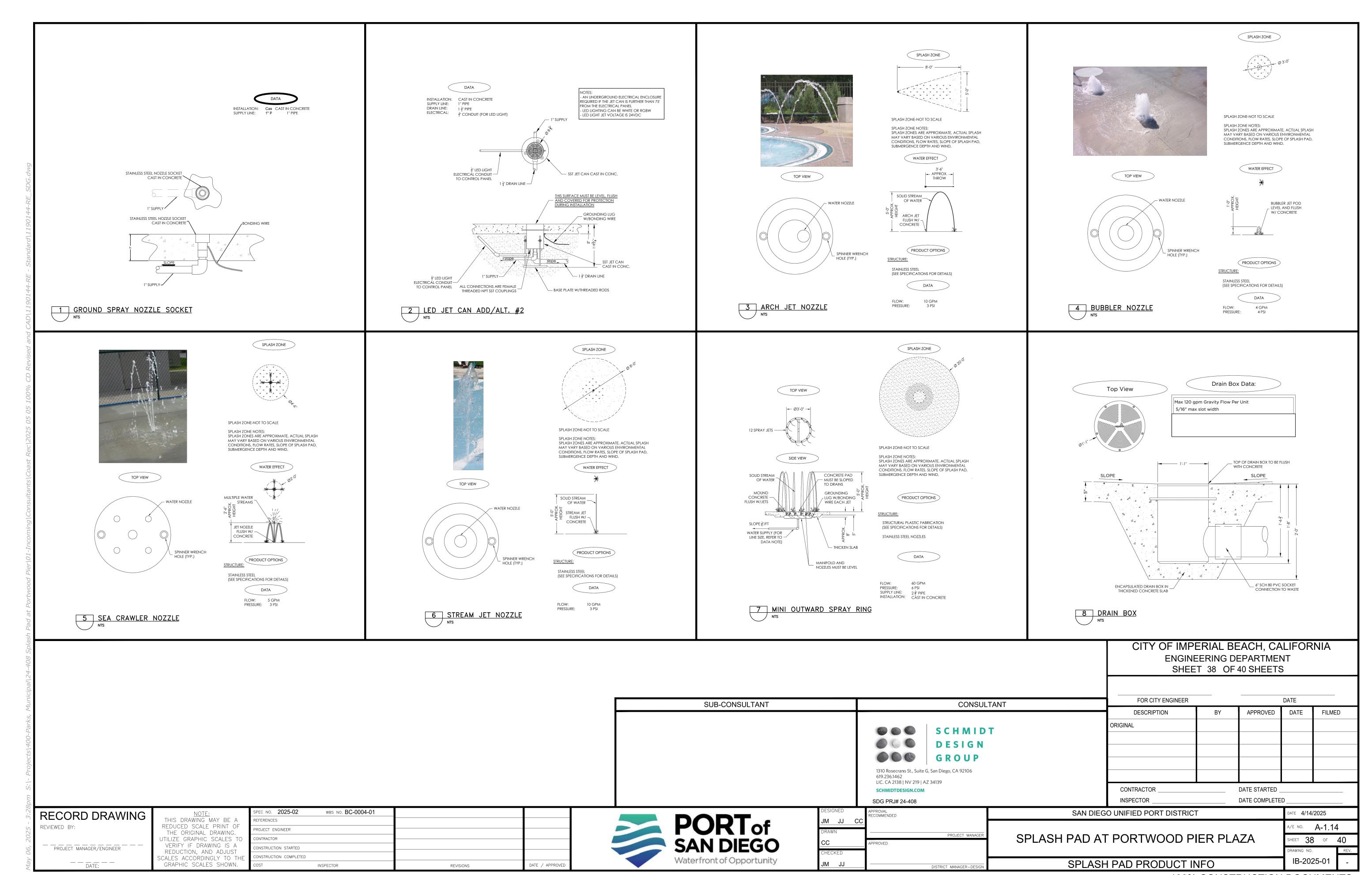


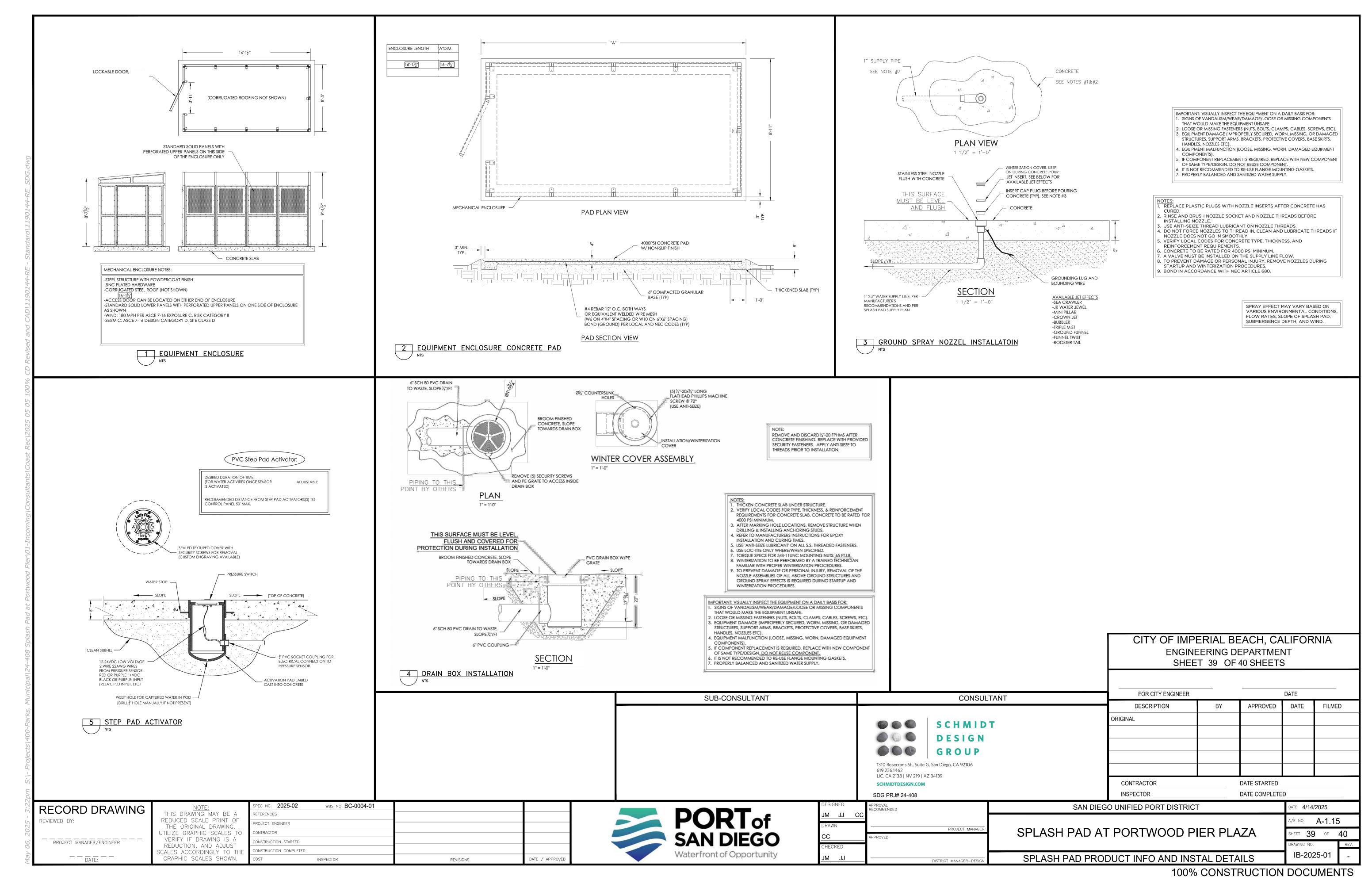


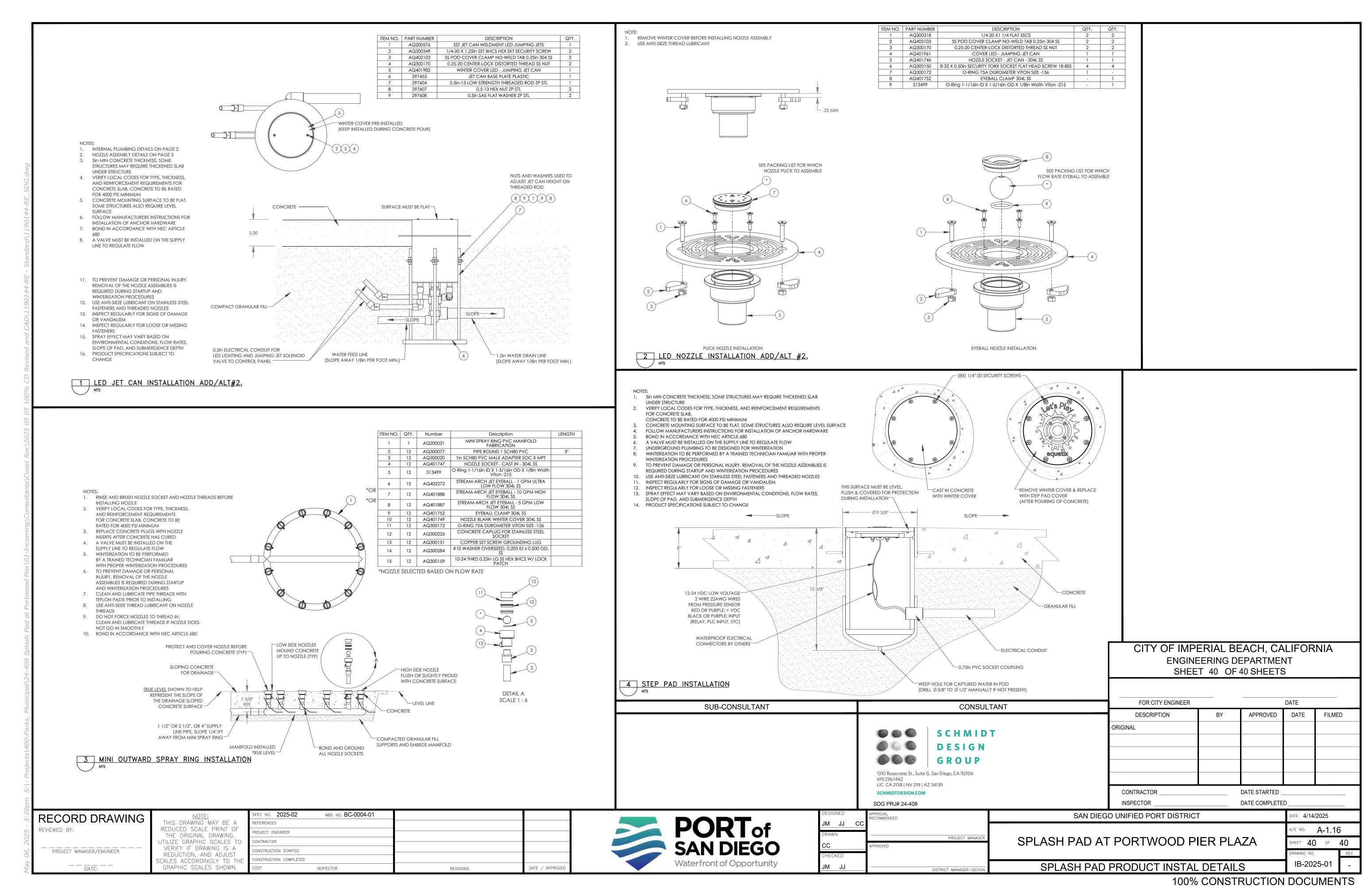




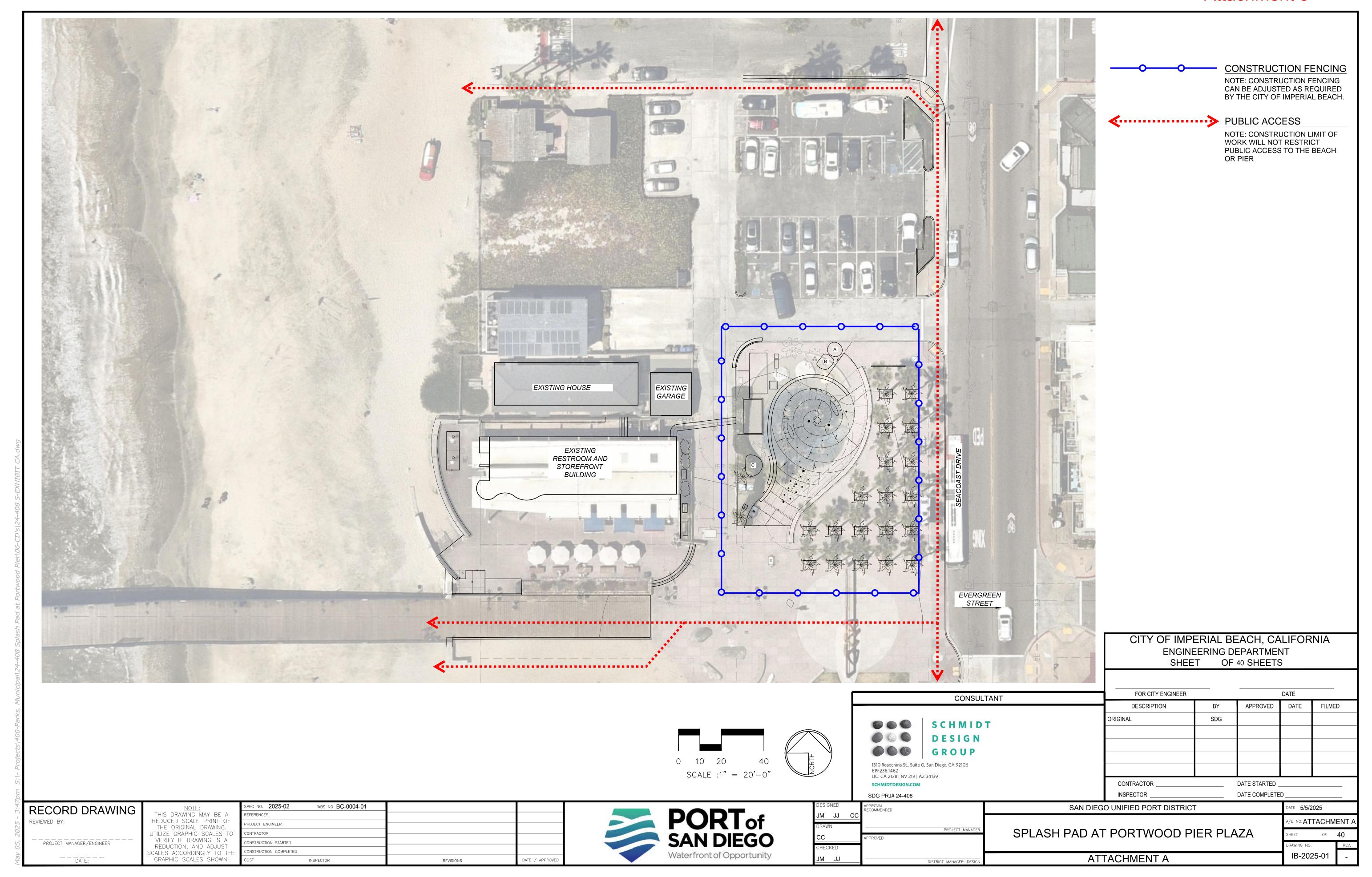








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Attachment 4

SCHMIDT
DESIGN
ROUP



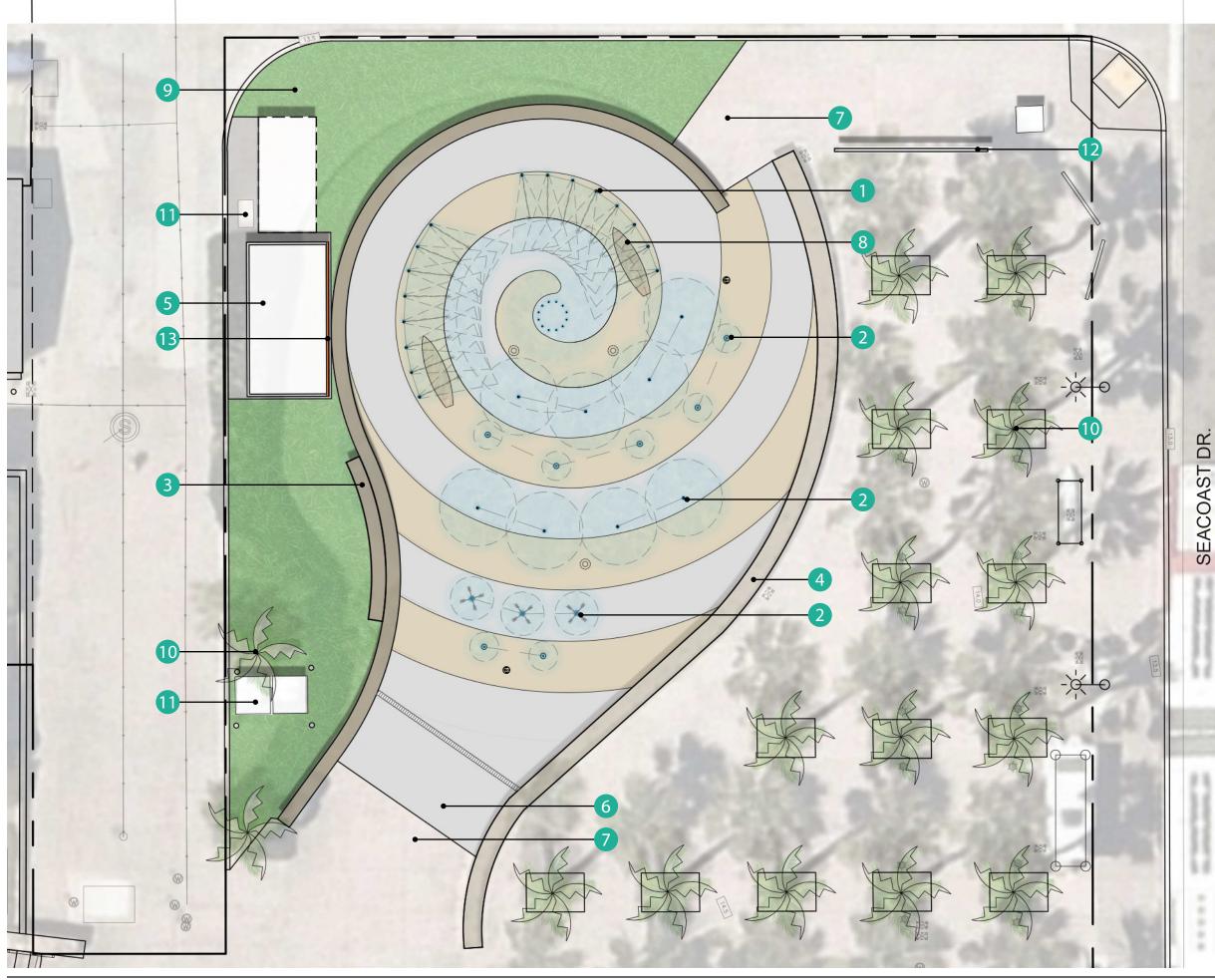
Page 1 of 1

Imperial Beach Splash Pad Materials Board and Imagery

January 27, 2024







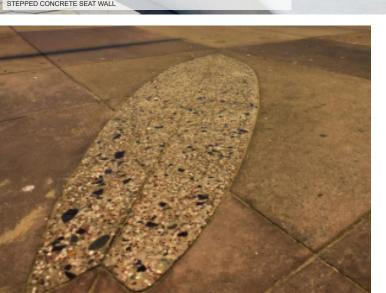
LEGEND

- Arch 'Wave' Element, Typ.
- Ground-Level Jets, Typ.
- Stepped 'Art' Seat Wall
- 4 Existing Seat Wall to Remain
- Mechanical Enclosure
- 6 Extents of New Concrete
- 7 Existing Concrete to Remain
- 8 Surfboard Enhanced Concrete
- 9 New Shrub Area
- 10 Existing Palm Trees to Remain, Typ.
- 11 Existing Utilities to Remain, Typ.
- 12 Existing Bike Rack to Remain
- Mechanical Enclosure 'Surf Art'





































May 21, 2025

ITEM TITLE: CONSIDERATION OF A REGULAR COASTAL PERMIT, CONDITIONAL USE PERMIT, DESIGN REVIEW, AND SITE PLAN REVIEW TO CONTINUE OPERATION OF AN EXISTING TELECOMMUNICATION FACILITY MOUNTED ON A LIGHT POLE WITH ASSOCIATED EQUIPMENT SHELTER AT 911 SEACOAST DR. (0600-20)

ORIGINATING DEPARTMENT:

Community Development

EXECUTIVE SUMMARY:

An application (USE-24-0047) has been submitted for a Regular Coastal Permit (CP-25-0002), Conditional Use Permit (CUP-24-0004), Design Review Case (DRC-24-0007), and Site Plan Review (SPR-24-0007) and a categorical exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15301 Class 1 (Existing Facilities) requesting approval to operating continue telecommunications facility mounted on a light pole with an associated equipment shelter located at 911 Seacoast Drive (APN 625-351-01-00) in the



C/MU-2 (Seacoast Commercial and Mixed Use) Zone. The original wireless facility was approved by the City Council in 2009 (Reso. 2009-6719) and new authorizations are required to continue operation per Imperial Beach Municipal Code Chapter 19.90, Wireless Communications Facilities. The facility was built per the original approval and no significant alterations to the building or property are proposed beyond what exists today and what was originally approved.

RECOMMENDATION:

Staff recommends the City Council adopt Resolution 2025-027, approving Regular Coastal Permit (CP-25-0002), Conditional Use Permit (CUP-24-0004), Design Review Case (DRC-24-0007), and Site Plan Review (SPR-24-0007) to continue operating a telecommunications facility mounted on a light pole with an associated equipment shelter located at 911 Seacoast Drive (APN 625-351-01-00) in the C/MU-2 (Seacoast Commercial and Mixed Use) Zone.

OPTIONS:

In addition to adopting staff's recommendations, the City Council can:

- Approve the project with modifications; or
- Disapprove the project and deny the requested permits by making specific findings for denial: or
- Continue the Public Hearing to a specific future meeting to allow staff to provide additional information upon which a decision can be rendered.

BACKGROUND/ANALYSIS:

The original wireless facility at 911 Seacoast Drive was approved by the City Council in 2009 (Reso. 2009-6719) and new authorizations are required to continue operation per Imperial Beach Municipal Code Chapter 19.90. Wireless Communications Facilities. The facility was built per the original approval and no significant alterations to the building or property are proposed beyond what exists today and what was originally approved.

The existing telecommunications facility consists of three antennas mounted on a thirty-foot (30') light standard with a twenty-four inch (24") radome and ten ten-foot (10') tall equipment shelter (15' x 16') on the eastern portion of the property.



Electric and telephone services are provided to the project area via underground conduits.

The existing 30-foot light standard with the shrouded antenna and the base station equipment are the most conspicuous aspects of the facility. The light standard is designed to match the same height and color of the surrounding light standards, with a radome (cylinder shaped cover) at the upper segment of the standard to conceal the antennas. The radome section where the antennas are be hidden is wider than the pole (24" in diameter).

Design

The existing equipment shelter is stucco-finish and painted to match the existing buildings on site. The light standard provides function in that it provides light for two off-street parking spaces located off the existing driveway along Elm Street, which was . An alternate design with the antenna on top of the pole is not feasible because mounting three panel antennas would have a less balanced appearance if placed on top of the light standard.

Landscaping

The equipment shelter is located behind an existing driveway and adjacent to landscaping intended to enhance the aesthetic appeal of this mechanical enclosure. No modifications to the existing landscape areas are proposed.

Height

The height and location of the antenna is integral to the facilities performance because the signal must be elevated above ground level at a height that provides a clear line-of-sight to clear any topographical barriers and the existing natural and built environment. The antennas are not functional at a lower height because the signal would be significantly reduced and obstructed by nearby buildings and trees. Imperial Beach Municipal Code (IBMC) Section 19.90.070(C) states that wireless facilities must meet the height requirement of the underlying zone (C/MU-2), which is a maximum height limit of 30 feet. Furthermore, placing the antenna on the existing building is not possible because of the building's low height.

Location

According to the applicant, the proposed site was chosen because it offered an area to place an antenna at the proposed height and space to house the base station equipment. Originally, other locations were explored: City Hall, Dempsey Holder Safety Center, Elkwood parking lot, colocating with the T-Mobile facility at 933 Seacoast Drive (Argus Village), co-locating at a wireless facility that previously existed at Sports Park, and the property to the north of the proposed project site. Each alternate site would not provide the necessary service coverage. As such, continuing use of the existing site would provide optimal service.

Co-location

Co-location is not proposed with this design because the light standard would have to increase beyond the height restrictions in the C/MU-2 zone, would no longer blend in among the other light standards along Seacoast Drive, and because there would be insufficient space for another provider's base station equipment.

General Plan/Zoning Consistency:

The proposed development is subject to Imperial Beach Municipal Code Chapter 19.90, Wireless Communications Facilities. The purpose of the chapter is to establish standards for the siting, development and maintenance of wireless communications facilities and antenna throughout the city. The chapter is also intended to protect and promote the public health, safety and welfare, as well as the aesthetic quality of the city as set forth in the goals, objectives and policies of the General Plan. The proposed development meets the Development and Design Standards as outlined in Chapter 19.90. The project is located in the C/MU-2 (Seacoast Commercial) Zone. The purpose of the C/MU-2 Zone is to meet the demand for goods and services required by the tourist population and local residents who use the beach area. Providing telecommunication services to an area providing insufficient service would be consistent with the General Plan and Zoning.

Design Review Standards:

STANDARDS	PROVIDED/PROPOSED
The installation of wireless communications facilities may not reduce the number of required parking spaces on a proposed site.	No parking demand to be generated and the facility would not reduce existing parking.
Wireless communications facilities and accessory equipment must meet the required setbacks of the underlying zone, except that in a residential zone, the minimum setback for an antenna or	There are no setbacks for the C/MU-2 Zone.

equipment building from any property line is twenty feet.	
Wireless communications facilities must meet the height requirement of the underlying zone, unless a greater height is approved through the conditional use permit.	There is a 30 foot height limit in the C/MU-2 zone. The project would maintain a light standard of 30 feet and equipment shelter of 10 feet.
A service provider with a wireless communications facility in the city must obtain a city business license.	This would be a condition of approval for the CUP.
The visual impact of wireless communications facilities must be minimized to the maximum extent feasible, taking into consideration technological requirements, through the use of placement, screening, camouflage, and landscaping, so that the facility is compatible with adjacent uses, existing architectural elements, topography, neighborhood landscaping, building materials, and other site characteristics.	The antennae are concealed on a light standard to match existing light standards on Seacoast Drive. The electrical/ mechanical equipment would continue to be contained in an existing equipment shelter.
The colors and materials of wireless communications facilities must blend into their backgrounds.	The light standard is painted to match the existing light standards along Seacoast Drive. The equipment shelter is stucco finish and painted to match the existing buildings.
Facade-mounted antennae must be integrated architecturally into the style and character of the structure to which they are attached; they must be painted and textured to match the existing structure; and they may not project more than eighteen inches from the face of the building or other support structure unless approved by a conditional use permit.	There are no proposed façade-mounted facilities.
Roof-mounted antennae may not exceed the minimum height necessary to serve the operator's service area, while complying with the building height requirements of this title; they must be designed to minimize their visibility from surrounding areas; and they must be painted and textured to match the existing structure or building.	There are no proposed roof-mounted facilities.
Freestanding facilities, including towers, lattice towers, and monopoles, are discouraged unless no reasonable alternative is possible. If a freestanding facility is necessary, it may not exceed the minimum functional height and width	The freestanding antenna is concealed on a light standard structure designed to blend in with the surrounding area and other light standards on Seacoast Drive. The proposed 30-foot light standard is the desired functional height for the transmitting antennae.

required to support the proposed wireless facility.	
Proposed freestanding facilities must be stealth facilities; they must be painted and designed to blend in with the surrounding area; and they must be landscaped, if necessary, to minimize visual impacts.	The freestanding antenna would continue to be concealed on a light standard structure designed to blend in with the surrounding area.
Wireless facility support structures, such as equipment buildings, cabinets, cables, air conditioning units, and fencing, must be painted and textured to match the surrounding physical area and screened with landscaping in order to minimize visual impacts.	The base station equipment would continue to be concealed within an existing equipment shelter that was built as part of the original approval.
No advertising signs may be placed on any facility or equipment.	There are no proposed advertising signs.

Surrounding Zoning and Land Use

North	C/MU-2 (Seacoast Commercial and Mixed-use Zone)	Commercial
South	C/MU-2 (Seacoast Commercial and Mixed-use Zone)	Retail/Residential/Commercial
East	R-2000 (Medium-Density Residential Zone)	Residential
West	C/MU-2 (Seacoast Commercial and Mixed-use Zone)	Commercial (parking lot)

ENVIRONMENTAL DETERMINATION:

The project may be categorically exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15301 Class 1 (Existing Facilities)

FISCAL IMPACT:

The Applicant has paid \$23,228.00 to fund processing of this application.

ATTACHMENTS:

ATT 1 - Resolution 2025-027

ATT 2 - Verizon Plans

ATT 3 - Photo Simulations

RESOLUTION NO. 2025-027

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF IMPERIAL BEACH, CALIFORNIA, APPROVING A REGULAR COASTAL PERMIT (CP-25-0002), CONDITIONAL USE PERMIT (CUP-24-0004), DESIGN REVIEW CASE (DRC-24-0007), AND SITE PLAN REVIEW (SPR-24-0007), AND CATEGORICAL EXEMPTION PURSUANT TO CEQA GUIDELINES SECTION 15301 CLASS 1 (EXISTING FACILITIES), TO CONTINUE OPERATING A TELECOMMUNICATIONS FACILITY ON AN EXISTING LIGHT STANDARD AND EQUIPMENT SHELTER LOCATED AT 911 SEACOAST DRIVE IN THE C/MU-2 (SEACOAST COMMERCIAL ZONE). USE-24-047.

WHEREAS, on March 21, 2025 the City Council of the City of Imperial Beach held a duly noticed public meeting to consider the merits of approving or denying an application for a Regular Coastal Permit (CP-25-0002), Conditional Use Permit (CUP-24-0004), Design Review Case (DRC-24-0007), and Site Plan Review (SPR-24-0007) requesting approval to continue operating a telecommunications facility mounted on an existing light pole with an associated equipment shelter located at 911 Seacoast Drive (APN 625-351-01-00) in the C/MU-2 (Seacoast Commercial and Mixed Use) Zone.

WHEREAS, the project design of a telecommunications facility on an existing light standard is compatible in use and appearance with other structures in the vicinity because it would be hidden; and, therefore, would be consistent with Policy D-8 of the Design Element of the General Plan; and,

WHEREAS, this project, consisting of one stealth antenna structure and equipment shelter complies with the Application Requirements of Section 19.90.050, the Development and Design Standards of Section 19.90.070 and will be required to comply with the Operations and Maintenance Standards of Section 19.90.080 of Chapter 19.90, Wireless Communication Facilities, of the zoning ordinance; and

WHEREAS, the City Council of the City of Imperial Beach hereby finds that necessity compels the placement of this facility in this location to avoid a significant gap in wireless communications coverage; and

WHEREAS, this project complies with the requirements of the California Environmental Quality Act (CEQA) as this project shall be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15301 Class 1 (Existing Facilities); and

WHEREAS, the City Council further offers the following findings in support of its decision to conditionally approve the project:

CONDITIONAL USE PERMIT FINDINGS:

 The proposed use at the particular location is necessary or desirable to provide a service or facility, which will contribute to the general well-being of the neighborhood or community.

The proposed wireless telecommunication facility at 911 Seacoast Drive (APN 625-351-01-00) will continue to provide communication services to the City of Imperial Beach commercial and residential development, avoiding gaps in wireless communications coverage and therefore contributing to the general well-being of the neighborhood or community. The structure already exists and is disguised as a street light standard with an equipment shelter. The project is subject to Chapter 19.90, Wireless Communications Facilities, which establishes the standards for

siting, developing and maintaining wireless communications facilities and antennas throughout the city.

2. The proposed use will not, under any circumstances, of the particular use, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity.

The development, consisting of an existing telecommunications facility concealed on an existing light standard with 24" radome and equipment shelter in an existing vacant area with concrete and landscaping at 911 Seacoast Drive, will not be detrimental to the health, safety or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity as it will be required to comply with Chapter 19.90, Wireless Communications Facilities, which provides standards for the public safety, health, and welfare, as well as for the aesthetic quality as set forth in the goals, objectives and policies of the General Plan.

3. The proposed use will comply with the regulations and conditions specified in the title for such use and for other permitted uses in the same zone.

The proposed use will comply with the regulations and conditions specified in the title for such use and for other permitted uses for wireless communication facilities (Chapter 19.90).

4. The granting of such conditional use permit will be in harmony with the purpose and intent of this code, the adopted general plan and the adopted local coastal program.

The granting of the conditional use permit to continue operating a telecommunication antenna concealed on a stealth structure at 911 Seacoast Drive, will be in harmony with the purpose and intent of the zoning code (Chapter 19.90) and with the adopted general plan as the potential visual impacts of the proposal have been mitigated by design; i.e. the antennae shall be mounted in a 24" radome on an existing light standard, and the equipment shelter matches the existing structures on the site, with landscaping.

COASTAL PERMIT FINDINGS:

5. The proposed development conforms to the Certified Local Coastal Plan including Coastal Land Use Policies.

The proposed project, located inland and not adjacent to the oceanfront, does not necessitate shore protection measures. Furthermore, its location is not between the ocean and the first public road, thus posing no issues regarding public beach access. Finally, the visual impact of the proposed antennae within a 24-inch radome on a 30-foot light standard and the accompanying equipment shelter has been mitigated through design, resulting in no identified impacts on scenic or coastal views.

6. For all development seaward of the nearest public highway to the shoreline, the proposed development meets standards for public access and recreation of Chapter Three of the 1976 Coastal Act and regulations promulgated thereunder.

The subject site is not located between the ocean and the first public road, which, in most cases, is Seacoast Drive. No issue regarding public access to the beach is identified for this project.

7. The proposed development meets the minimum relevant criteria set forth in Title 19, Zoning.

The project has complied with the application requirements for telecommunications facilities pursuant to Section 19.90.050, with the development and design standards of Section 19.90.070, and will be required to comply with the operations and maintenance standards of Section 19.90.080 of the City's Wireless Communication Facilities Ordinance.

8. For all development involving the construction of a shoreline protective device, a mitigation fee shall be collected which shall be used for beach sand replenishment purposes. The mitigation fee shall be deposited in an interest bearing account designated by the Executive Director of the California Coastal Commission and the City Manager of Imperial Beach in lieu of providing sand to replace the sand and beach area that would be lost due to the impacts of any protective structures.

This finding does not apply since the project site is not adjacent to the oceanfront that would require shore protection.

NOW, THEREFORE, BE IT RESOLVED that Regular Coastal Permit (CP-25-0002), Conditional Use Permit (CUP-24-0004), Design Review Case (DRC-24-0007), and Site Plan Review (SPR-24-0007), and categorical exemption pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15301 Class 1 (Existing Facilities), requesting approval to continue operating a telecommunications facility mounted on a light pole with an associated equipment shelter located at 911 Seacoast Drive (APN 625-351-01-00) in the C/MU-2 (Seacoast Commercial and Mixed Use) Zone is hereby **approved** by the City Council of the City of Imperial Beach subject to the following:

CONDITIONS OF APPROVAL

PLANNING

- 1. Final building plans and project development shall be in substantial accordance with the conceptual plans dated January 28, 2025, on file in the Community Development Department and with the conditions required herein.
- 2. Should redevelopment of the site occur in the future, relocation and/or reincorporation of the facility shall be provided.
- 3. All landscaping must be maintained at all times by the applicant.
- 4. Antenna(s) are to be located in the 24" radome on the light standard stealth structure. Any equipment must be screened and concealed.
- 5. Appropriate BMP's shall be in place during any maintenance of base station equipment to prevent any materials from entering the storm drain conveyance system.
- 6. Noise from the equipment shall not have a negative effect on the existing neighborhood. If the facility receives any noise complaints, the applicant shall

- investigate said complaint and mitigate any issues to meet Imperial Beach Municipal Code noise requirements.
- 7. Any electric and telephone services shall be connected via underground conduits extended to the project area.
- 8. Applicant shall obtain a city business license prior to issuance of building permit, which must be maintained and renewed.
- 9. Colors and materials for the light standard and equipment shelter are subject to staff review and shall match the photosimulations.
- 10. Applicant must annually submit any required statements that the wireless communications facility conforms with the current FCC safe-exposure standards to the director of community development.
- 11. Approval of this request shall not waive compliance with any portion of the International Building Code and Municipal Code in effect at the time a building permit is issued.
- 12. All negative balances in the project account (USE-24-0047) shall be paid prior to building permit issuance and final inspection.
- 13. Approval of Regular Coastal Permit (CP-25-0002), Conditional Use Permit (CUP-24-0004), Design Review Case (DRC-24-0007), and Site Plan Review (SPR-24-0007) for this project is valid for a one-year **vesting** period from the date of approval, to **expire** on **May 21, 2026**. Conditions of approval must be satisfied, building permits issued, and substantial construction must have commenced prior to this date, or a time extension is granted by the City prior to expiration. This expiration date is separate from the sunset expiration date of 10 years for the life of the conditional use permit.
- 14. The applicant or applicant's representative shall read, understand, and accept the conditions listed herein and shall, within 30 days, return a signed statement accepting said conditions.
- 15. Conditional use permits for wireless communication facilities have a maximum term of ten (10) years, with an automatic review in five (5) years at a public hearing (IBMC 19.90.090). The applicant will be required to renew the Conditional Use Permit prior to the **expiration** date, **May 21, 2035**, in accordance with Chapter 19.82. It is the applicant's responsibility to monitor and process renewals.

PUBLIC WORKS

16. For any project that proposes work within the public right-of-way (i.e., driveway removal/construction, sidewalk removal/construction, street or alley demolition/reconstruction, landscaping and irrigation, fences, walls within the public right-of-way, etc.), a Temporary Encroachment Permit (TEP) shall be applied for and approved by the City either prior to or concurrent with issuance of the building permit required for the project.

APPEAL PROCESS UNDER THE CALIFORNIA CODE OF CIVIL PROCEDURE (CCP): The time within which judicial review of a City Council decision must be sought is governed by Section 1094.6 of the CCP. A right to appeal a City Council decision is governed by CCP Section 1094.5 and Chapter 1.18 of the Imperial Beach Municipal Code.

Resolution No. 2025-027 Page 5 of 5

PROTEST PROVISION: The 90-day period in which any party may file a protest, pursuant to Government Code Section 66020, of the fees, dedications or exactions imposed on this development project begins on the date of the final decision.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Imperial Beach at its regular meeting held on the 21st day of May 2025, by the following roll call vote:

AYES: NOES: ABSENT:	COUNCILMEMBERS: COUNCILMEMBERS: COUNCILMEMBERS:	
		PALOMA AGUIRRE, MAYOR
ATTEST:		
JACQUELI CITY CLER	NE M. KELLY, MMC	

ABBREVIATIONS					
ABV.	ABBREVIATION	EQ.	EQUAL	MECH.	MECHANICAL
AC	ACOUSTIC(AL)	EQUIP.	EQUIPMENT	MET.	METAL
A/C	AIR CONDITIONING	EXIST.	EXISTING	MIN.	MINIMUM
ALT.	ALTERNATE	EX.	EXTERIOR	MISC.	MISCELLANEOUS
ALUM.	ALUMINUM	F.S.	FACE OF STUD	NAT.	NATURAL
A.B.	ANCHOR BOLT	FIN.	FINISH	N.	NORTH
APPROX.	APPROXIMATE	FIX.	FIXURE	N.I.C.	NOT IN CONTRACT
ARCH.	ARCHITECT(URAL)	FL.	FLOOR	N.T.S.	NOT TO SCALE
A.C.	ASPHALTIC CONCRETE	F.L.	FLOW LINE	0.C.	ON CENTER
BM.	BEAM	F.D.	FLOOR DRAIN	0.D.	OUTSIDE DIAMETER
BLK(G)	BLOCKING	FLOUR.	FLOURESCENT	OPNG.	OPENING
BD.	BOARD	FT./	FOOT PER	OPP.	OPPOSITE
BOT.	BOTTOM	FTG.	FOOTING	PL.	PLATE
BLDG.	BUILDING	FDN.	FOUNDATION	PLYWD.	PLYWOOD
CAB.	CABINET	GAL.	GALLON	REINF.	REINFORCE(ING)
C.I.	CAST IRON	GALV.	GALVANIZED	RM.	ROOM
C.B.	CATCH BASIN	G.I.	GALVANIZED IRON	SCHED.	SCHEDULE
CLG.	CEILING	G.	GAS	SEC.	SECTION
CEM.	CEMENT	GA.	GAUGE	SHT.	SHEET
CER.	CERAMIC	GL.	GLASS	SIM.	SIMILAR
C.O.	CLEAN OUT	G.L.	GLUED LAMINATE	S.	SOUTH
CLR.	CLEAR	GYP.	GYPSUM	SPECS.	SPECIFICATIONS
COL.	COLUMN	HT.	HEIGHT	SQ.	SQUARE
CONC.	CONCRETE	H.M.	HOLLOW METAL	STD.	STANDARD
CONN.	CONNECTION	HORIZ.	HORIZONTAL	STL.	STEEL
CONT.	CONTINUE(OUS)	H.B.	HOSE BIBB	STRUCT.	
DET.	DETAIL	INFO.	INFORMATION	SUSP.	SUSPENDED
DIAM.	DIAMETER	I.D.	INSIDE DIAMETER	T & P	TELEPHONE & POWER
DIM.	DIMENSION	INSUL.	INSULATE(ION)	THK.	THICK
DR.	DOOR	INT.	INTERIOR	T & B	TOP & BOTTOM
DBL.	DOUBLE	JT.	JOINT	TYP.	TYPICAL
DN.	DOWN	KIT.	KITCHEN	U.N.O.	UNLESS NOTED OTHERWISE
DS.	DOWN SPOUT	LAB.	LABORATORY	VENT.	VENTILATION
DWG.	DRAWING FOUNTAIN	LAD. LT.	LIGHT	VERT.	VERTICAL
D.F.	DRINKING FOUNTAIN	LIN.	LINEAL	W.	WATER
EA.	EACH	MFR.	MANUFACTUR(ER'S)	WT.	WEIGHT
E.	EAST	мгк. M.O.	MASONRY OPENING	W.W.M. w	WELDED WIRE MESH
ELEC.	ELECTRIC(AL)			W. w./	WEST
EL.	ELEVATION ENCLOSURE	MAT.	MATERIAL	W/ WD	WITH
ENCL.	ENCLOSURE	MAX.	MAXIMUM	WD.	WOOD

PROJECT DESCRIPTION

PROPOSED PLANNING DEPARTMENT CUP RENEWAL FOR AN EXISTING VERIZON WIRELESS COMMUNICATIONS UNMANNED SUBSTATION TO CONSIST OF THE FOLLOWING:

- REMOVAL OF (3) PREVIOUSLY APPROVED PANEL ANTENNAS MOUNTED ON AN EXISTING 30' H. LIGHT POLE, CONCEALED WITHIN AN EXISTING 24" DIA. x 7' H. FRP RAYDOME ATOP THE POLE.
- INSTALLATION OF (3) PANEL ANTENNAS MOUNTED ON THE EXISTING 30' H. LIGHT POLE, CONCEALED WITHIN AN EXISTING 24" DIA. x 7' H. FRP RAYDOME ATOP THE POLE. INSTALLATION OF (3) NEW VZW RRU'S AT THE BASE OF THE (E) LIGHT POLE, CONCEALED WITHIN THE EXISTING FENCED ENCLOSURE.
- REMOVAL OF (1) PREVIOUSLY APPROVED VZW 3315 RAYCAP SURGE PROTECTION BOX AT THE BASE OF THE (E) LIGHT POLE, CONCEALED WITHIN THE EXISTING FENCED ENCLOSURE.
- INSTALLATION OF (1) NEW VZW 6627 RAYCAP SURGE PROTECTION BOX AT THE BASE OF THE (E) LIGHT POLE, CONCEALED WITHIN THE EXISTING FENCED ENCLOSURE. REMOVAL OF (3) PREVIOUSLY APPROVED VZW 8843 RRU'S AT THE BASE OF THE (E)
- LIGHT POLE, CONCEALED WITHIN THE EXISTING FENCED ENCLOSURE. INSTALLATION OF (3) NEW VZW 4490 RRU'S AT THE BASE OF THE (E) LIGHT POLE, CONCEALED WITHIN THE EXISTING FENCED ENCLOSURE.
- INSTALLATION OF (3) NEW VZW 8863 RRU'S AT THE BASE OF THE (E) LIGHT POLE, CONCEALED WITHIN THE EXISTING FENCED ENCLOSURE.

ITEMS TO REMAIN UNCHANGED:

- PREVIOUSLY APPROVED ±33 S.F. FENCED ENCLOSURE AT BASE OF (E) LIGHT POLE. PREVIOUSLY APPROVED 16' x 14' VERIZON WIRELESS EQUIPMENT BUILDING
- PREVIOUSLY APPROVED GROUND MTD. HVAC CONDENSER UNITS (TYP. OF 2) PREVIOUSLY APPROVED UNDERGROUND COAX CABLES FROM EQUIPMENT ROOM TO
- ANTENNAS WITHIN LIGHT POLE PREVIOUSLY APPROVED UTILITY ROUTES FOR POWER & FIBER TO VERIZON WIRELESS EQUIPMENT ROOM (BUILDING)

CONSTRUCTION DATA:

CITY OF IMPERIAL BEACH JURISDICTION: TYPE OF CONSTRUCTION: OCCUPANCY: ZONING

Verizon^V

SITE NAME: "SEACOAST BEACH" (CBAND MOD/CUP RENEWAL)

> FUZE ID#: 16621670 911 SEACOAST DRIVE

IMPERIAL BEACH, CA 91932 PROJECT TEAM VICINITY MAP REFERENCE GOOGLE MAPS THIS VICINITY MAP NOT TO SCALE APPLICANT:

Ebony Ave Imperial Beach Blvd Grove Ave Hickory Ct Holly Ave Holly Ave Oneonta Ave Hemlock Ave Hemlock Av Iris Ave

PROJECT INFORMATION

2022 CALIFORNIA ADMINISTRATIVE CODE

2022 CALIFORNIA BUILDING CODE (C.B.C.)

2022 CALIFORNIA ELECTRICAL CODE (C.E.C.)

2022 CALIFORNIA MECHANICAL CODE (C.M.C.)

2022 CALIFORNIA PLUMBING CODE (C.P.C.)

2022 CALIFORNIA FIRE CODE (C.F.C.)

(BASED ON THE 2020 NATIONAL ELECTRICAL CODE)

BASED ON THE 2021 UNIFORM PLUMBING CODE)

2022 CALIFORNIA ENERGY CODE (PART 6, TITLE-24, CCR)

PART 1, TITLE 24, C.C.R.

PART 2, TITLE 24, C.C.R.

PART 3, TITLE 24, C.C.R.

PART 4, TITLE 24, C.C.R.

PART 5, TITLE 24, C.C.R.

PART 9, TITLE 24, C.C.R.

REQUIRED.

AMENDMENTS)

ALL WORK AND MATERIALS SHALL COMPLY WITH THE FOLLOWING:

BASED ON THE 2021 INTERNATIONAL BUILDING CODE WITH 2022 CALIFORNIA

(BASED ON THE 2021 UNIFORM MECHANICAL CODE WITH 2022 CALIFORNIA AMENDMENTS)

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (C.G.B.S.C.) (PART 11, TITLE-24, CCR)

BASED ON THE 2021 INTERNATIONAL FIRE CODE WITH 2022 CALIFORNIA AMENDMENTS)

CONSERVATION, LISTS OF STANDARDS, AND DISABLED ACCESS REGULATIONS WHERE

2022 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

AND ALL APPLICABLE CODES, LOCAL, CURRENT OSHA LAWS, T-24 ENERGY

VERIZON WIRELESS 15505 SAND CANYON AVE. BUILDING C IRVINE, CA. 92618

APPLICANT'S AGENT PLANCOM, INC. PH: (619) 208-4685 CONTACT: SHELLY KILBOURN

ARCHITECT: DERRA DESIGN, INC. 1750 CALIFORNIA AVE., SUITE #102 CORONA, CA 92881 PH: (951) 268-1650 CONTACT: JEFF ROEBUCK

BIBBEY REVOCABLE FAMILY TRUST 07-12-04 911 SEACOAST DRIVE IMPERIAL BEACH, CA 91932 619-4235133

CONTACT: MICHAEL BIBBEY

APPROVALS		
APPROVED BY	DATE	

NORTH

RF ENGINEER		
SITE DEV.		
SITE ACQ.		
PM		

INITIALS | COMMENTS

COMMENTS:

NOTES

THE CURRENT NUMBER OF DIRECTIONAL PANEL ANTENNAS INSTALLED IS THREE (3)

ENLARGED ANTENNA PLAN/ ENLARGED LEASE AREA PLAN

2. THE MAXIMUM NUMBER OF GPS ANTENNAS TO REMAIN IS ONE (1)

LEGAL DESCRIPTION

APN: 625-351-01

SHEET INDEX

DESCRIPTION

TITLE SHEET

- 3. THE SIZE, HEIGHT, DIRECTION AND LOCATION OF ANTENNAS SHALL BE ADJUSTED TO MEET SYSTEM REQUIREMENTS AS NEEDED
- 4. ALL ITEMS, WHETHER EXISTING OR NEW, WHICH ARE WITHIN THE VERIZON WIRELESS LEASE AREA ARE TO BE APPROVED

PROPRIETARY INFORMATION

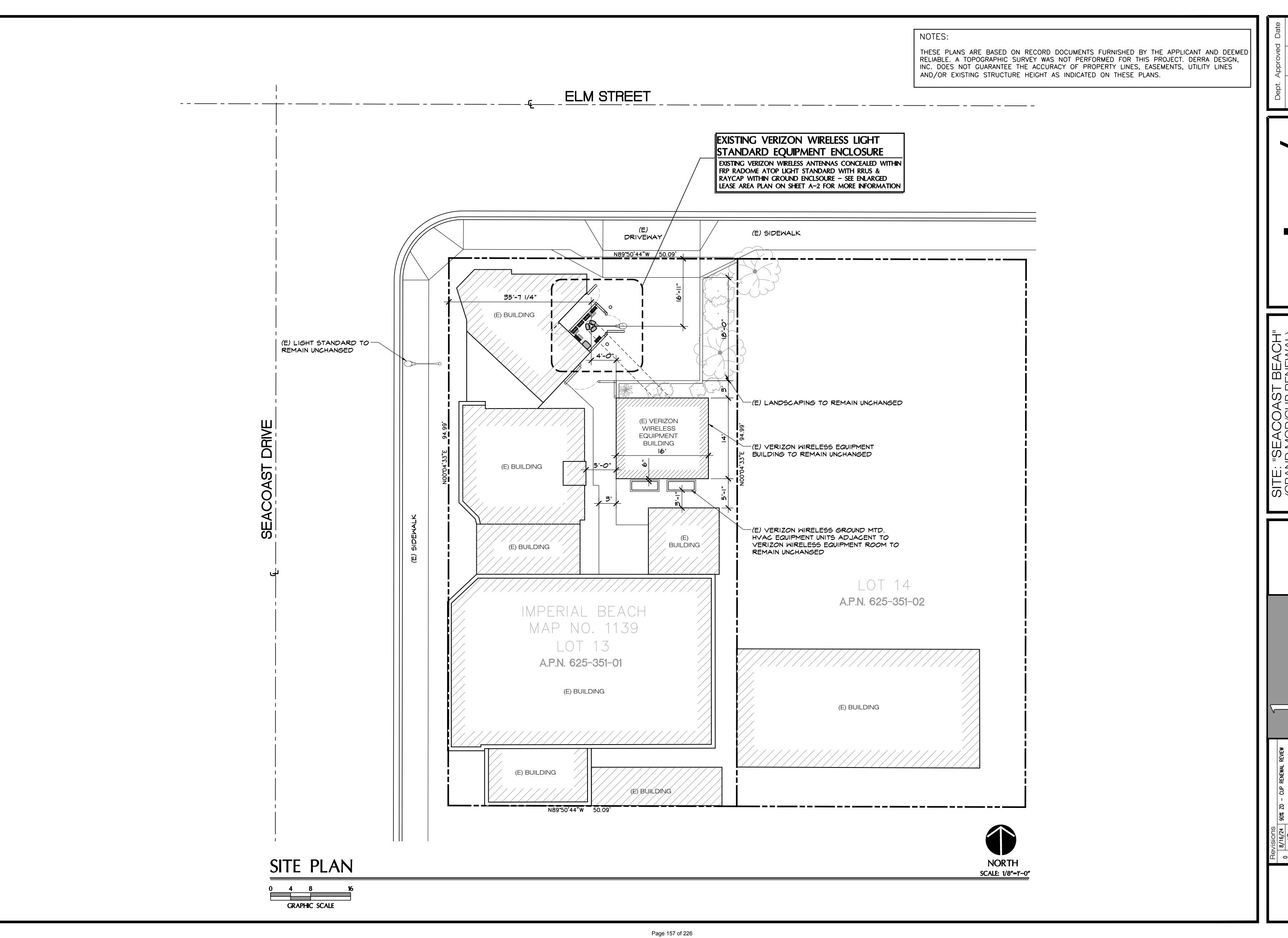
NOT FOR USE OR DISCLOSURE OUTSIDE VERIZON WIRELESS EXCEPT UNDER WRITTEN AGREEMENT

SPECIAL INSPECTIONS

NONE



lob No. 2407H





EXAMPLE OF5505 Sand Canyon Ave. C2

SITE: "SEACOAST BEACOBAND MOD/CUP RENEW, 911 SEACOAST DRIVE IMPERIAL BEACH, CA 919

1750 California Ave., Suite #102

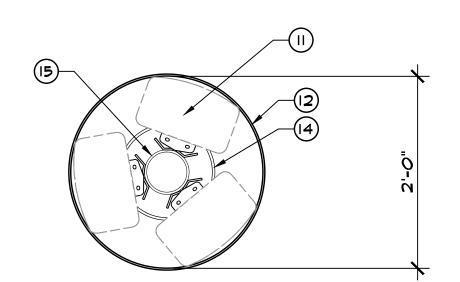
| 1/22/25 | 100% ZD - CUP RENEWAL REVIEW | 1/10/25 | 100% ZD - CUP RENEWAL DRM | 1/10/25 | 100% ZD - PLANNING COMMENTS | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/25 | 1/22/

A-1

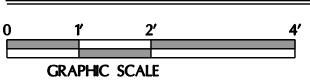
Job No. 2407H

KEYNOTES:

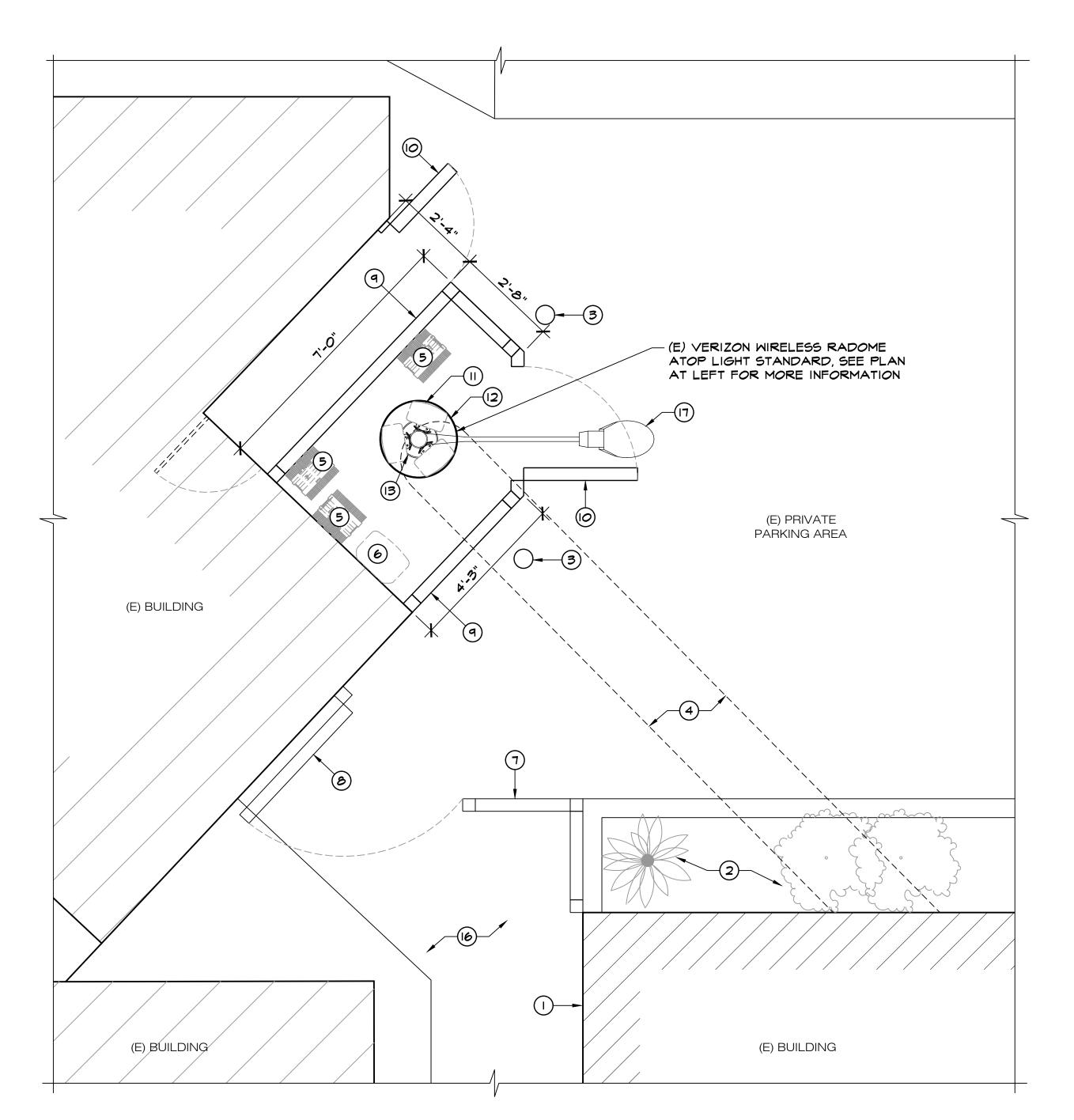
- (E) VERIZON WIRELESS EQUIPMENT BUILDING TO REMAIN UNCHANGED
- (2) (E) LANDSCAPE PLANTER
- (3) (E) BOLLARDS TO REMAIN UNCHANGED
- (4) (E) EXIST. 1-5/8" PHYBRIFLEX CABLES THROUGH (E) U/G CONDUITS TO (E) LIGHT STANDARD
- (5) (E) VERIZON WIRELESS REMOTE RADIO UNIT (RRU) (TYP. OF 3) MTD. ON UNISTRUT TO INTERIOR OF FENCE, TO BE REMOVED & REPLACED
- (E) VERIZON WIRELESS RAYCAP SURGE PROTECTION UNIT (TYP. OF I) MTD. ON UNISTRUT TO WALL AT INTERIOR OF FENCE TO BE REMOVED & REPLACED
- (E) 5'H WOOD FENCE TO REMAIN UNCHANGED
- (8) (E) 4050 WOOD GATE
- (E) 6'H WOOD FENCE AT BASE OF VERIZON WIRELESS LIGHT STANDARD & RADOME
- (E) 6'H WOOD GATE
- (I) (E) VERIZON WIRELESS PREVIOUSLY APPROVED PANEL ANTENNAS (TYP. OF 3) CONCEALED WITHIN FRP RADOME AT (E) LIGHT STANDARD, TO BE REMOVED & REPLACED
- (E) VERIZON WIRELESS 24"\$ x 7" H, FRP RAYDOME W/ FAUX CONC. AGGREGATE FINISH TO REMAIN UNCHANGED ATOP LIGHT STANDARD
- (B) VERIZON WIRELESS LIGHT STANDARD TO REMAIN UNCHANGED
- (4) (E) 12" \$\Pipe STD. PIPE LIGHT STD. TO REMAIN UNCHANGED
- (E) ANTENNA PIPE MAST CONCEALED WITHIN RADOME TO REMAIN UNCHANGED
- (6) (E) SIDEWALK
- (17) (E) LIGHT FIXTURE



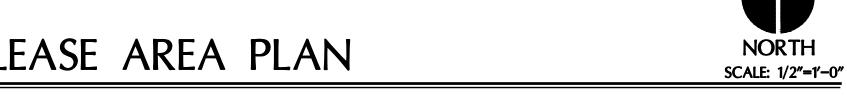


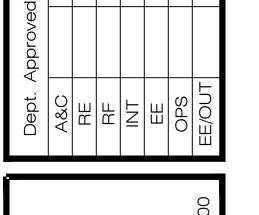












VETIZON 5505 Sand Canyon Ave. C2

CBAND MOD/CUP RENEWA!

911 SEACOAST DRIVE
IMPERIAL BEACH, CA 9193
ENLARGED ANTENNA PLAN
INLARGED LEASE AREA PLAN
ZONING DRAWINGS



ViSiONS

8/16/24 90% ZD - CUP RENEWAL REVIEW

JJR

1/10/25 100% ZD - CUP RENEWAL DRM

JJR

1/22/25 100% ZD - PLANNING COMMENTS

JJR

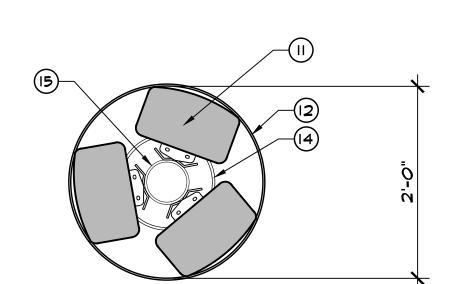
CBAND ANT MOD

A-2.0

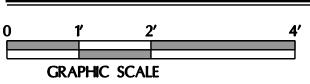
Job No. 2407H

KEYNOTES:

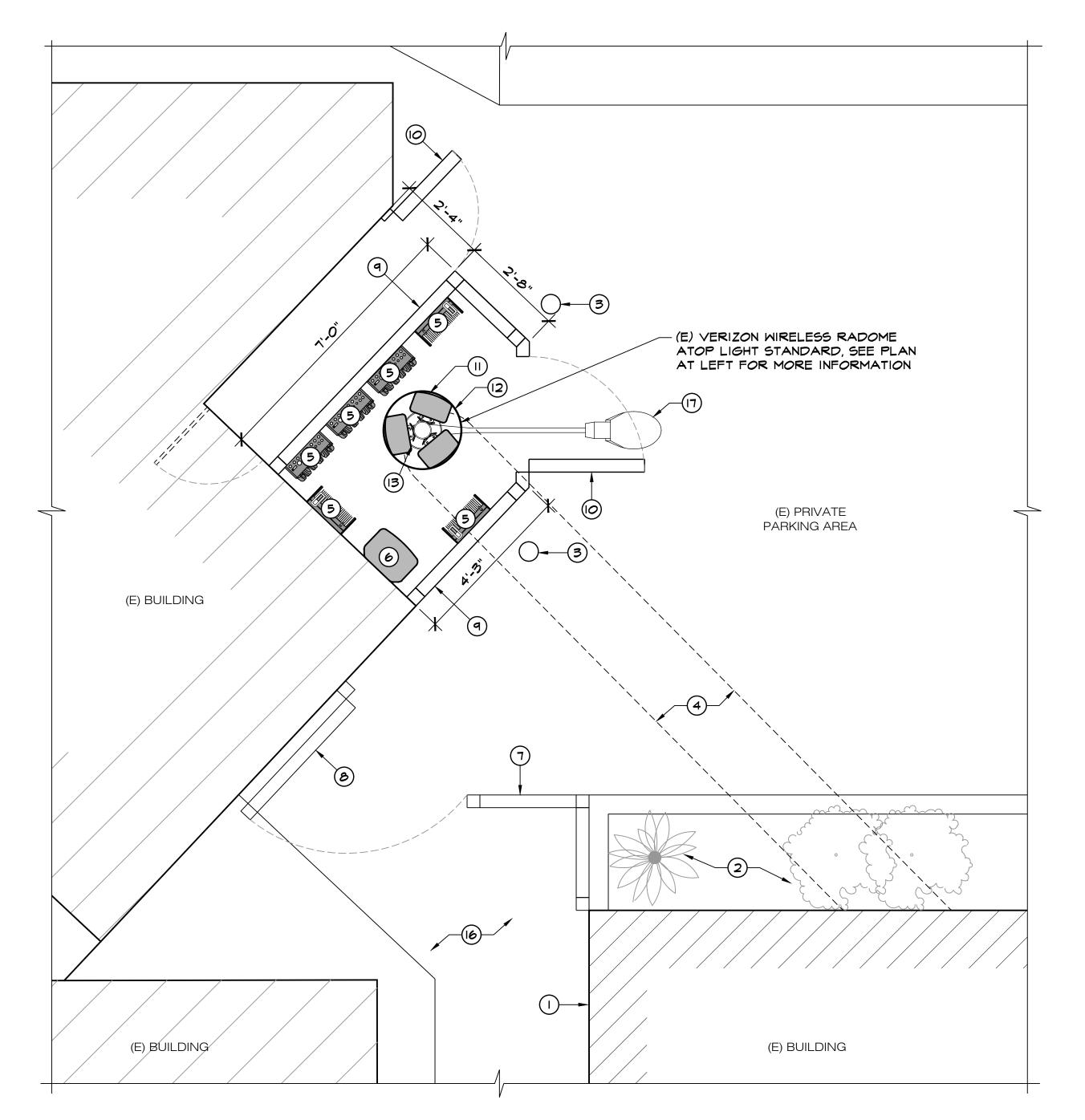
- (E) VERIZON WIRELESS EQUIPMENT BUILDING TO REMAIN UNCHANGED
- (2) (E) LANDSCAPE PLANTER
- (3) (E) BOLLARDS TO REMAIN UNCHANGED
- (4) (E) EXIST. 1-5/8" PHYBRIFLEX CABLES THROUGH (E) U/G CONDUITS TO (E) LIGHT STANDARD
- (5) (NEW) VERIZON WIRELESS REMOTE RADIO UNIT (RRU) (TYP. OF 6) MTD. ON UNISTRUT TO INTERIOR OF FENCE
- (NEW) VERIZON WIRELESS 6627 RAYCAP SURGE PROTECTION UNIT (TYP. OF 1) MTD. ON UNISTRUT TO WALL AT INTERIOR OF
- (E) 5'H WOOD FENCE TO REMAIN UNCHANGED
- (B) (E) 4050 WOOD GATE
- (E) 6'H WOOD FENCE AT BASE OF VERIZON WIRELESS LIGHT STANDARD & RADOME
- (E) 6'H WOOD GATE
- (I) (NEW) VERIZON WIRELESS PANEL ANTENNAS (TYP. OF 3) CONCEALED WITHIN FRP RADOME AT (E) LIGHT STANDARD, TO BE REMOVED & REPLACED
- (E) VERIZON WIRELESS 24" ϕ x 7" H, FRP RAYDOME W/ FAUX CONC. AGGREGATE FINISH TO REMAIN UNCHANGED ATOP LIGHT STANDARD
- (B) VERIZON WIRELESS LIGHT STANDARD TO REMAIN UNCHANGED
- (4) (E) 12" PSTD. PIPE LIGHT STD. TO REMAIN UNCHANGED
- (E) ANTENNA PIPE MAST CONCEALED WITHIN RADOME TO REMAIN UNCHANGED
- (6) (E) SIDEWALK
- (17) (E) LIGHT FIXTURE





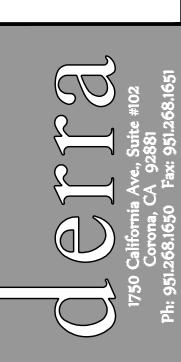




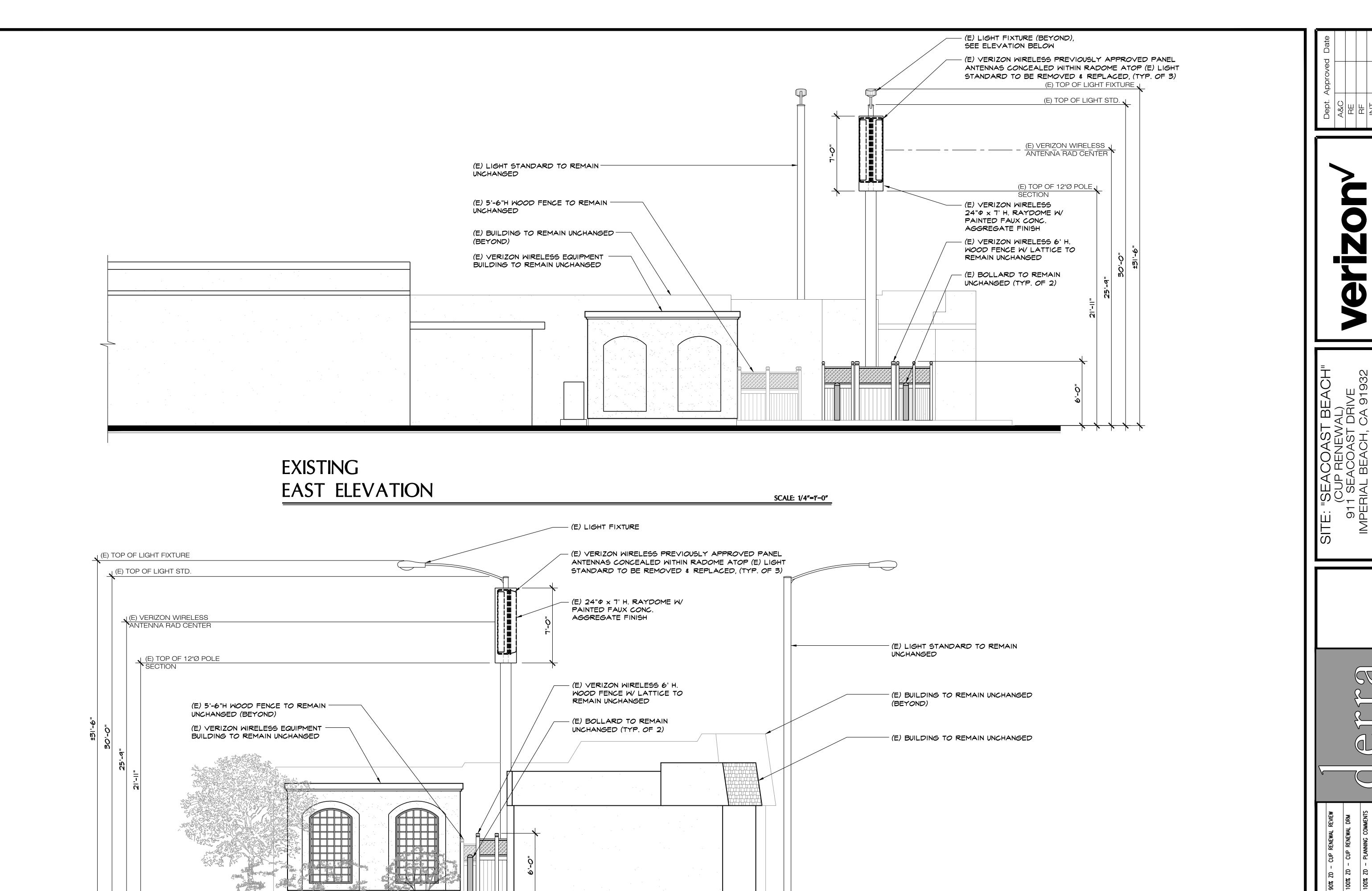








Job No. 2407H

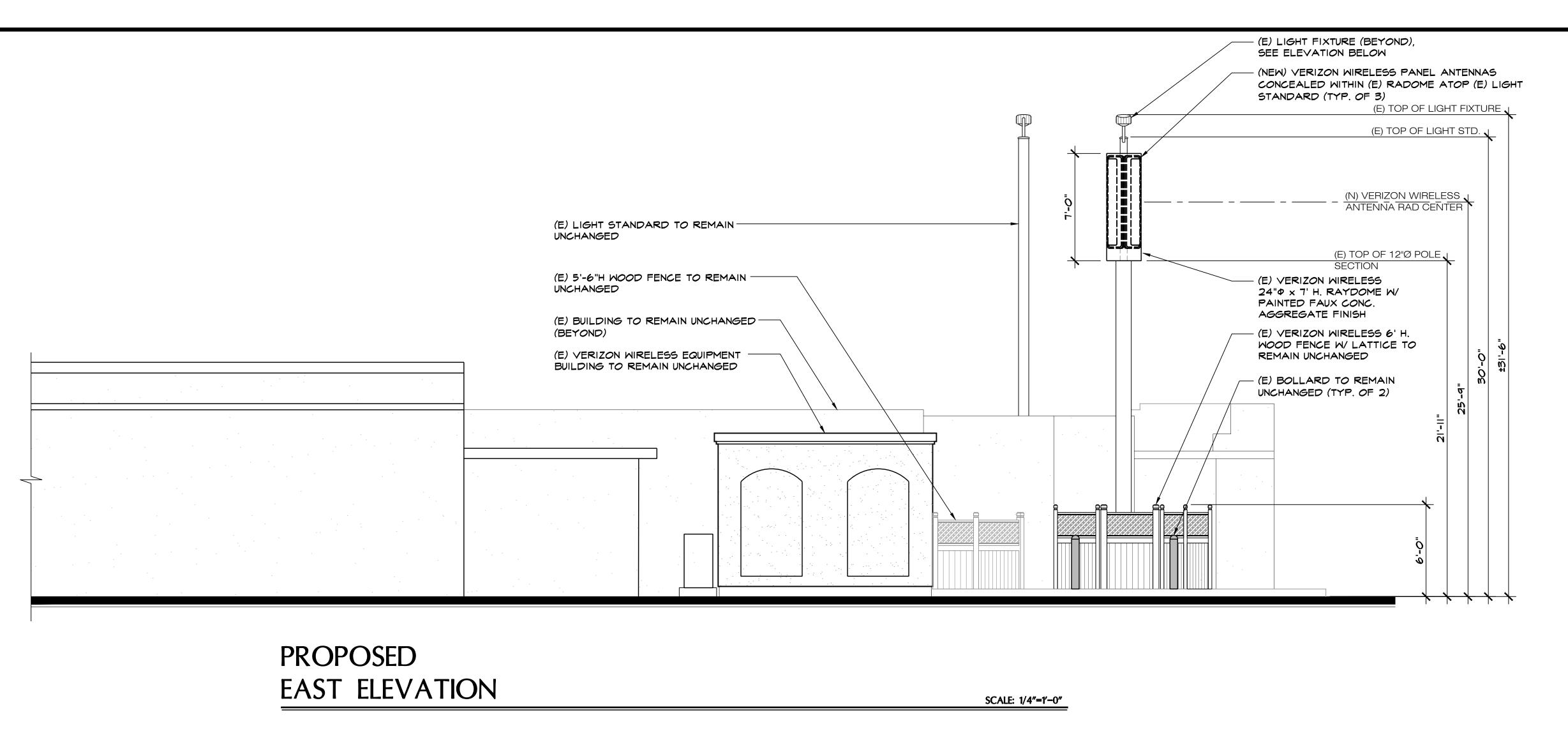


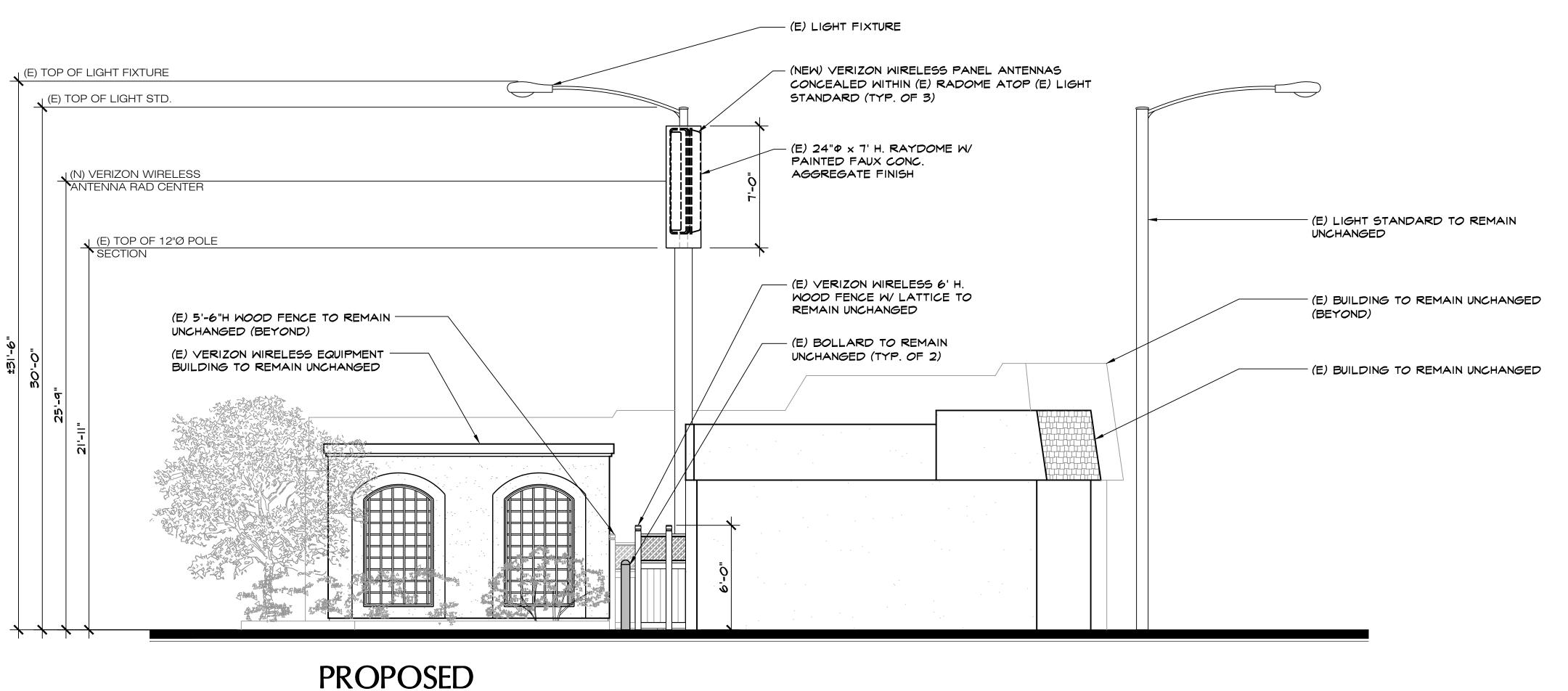
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Job No. 2407H

EXISTING

NORTH ELEVATION





NORTH ELEVATION

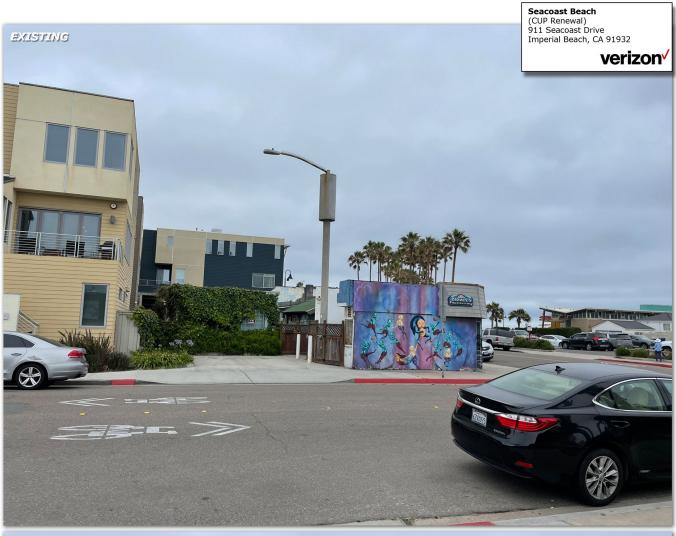


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May 21, 2025

ITEM TITLE: PUBLIC HEARING TO CONSIDER RESOLUTION 2025-022 APPROVING THE INTEGRATED SOLID WASTE MANAGEMENT SERVICES FEE INCREASE BY EDCO DISPOSAL CORPORATION EFFECTIVE JULY 1, 2025 AND AUTHORIZING ANNUAL FUTURE INFLATIONARY ADJUSTMENTS THROUGH JULY 1, 2029. (0270-40)

ORIGINATING DEPARTMENT:

Environmental & Natural Resources

EXECUTIVE SUMMARY:

This item is a public hearing to allow City Council and the public an opportunity to review the proposed increase of EDCO's solid waste management service fee. The City's trash service agreement with EDCO provides for an annual customer rate adjustment based on changes to the Consumer Price Index (CPI) and any fluctuation in disposal tipping fees. The attached resolution approves the proposed rate change for Fiscal Year 2026 (effective July 1, 2025) at this public hearing and authorizes annual future inflationary adjustments to service rates for a five-year period through July 1, 2029 using the same methodology and formulas as allowed under the terms of the City's Agreement with EDCO and consistent with the public noticing procedures of Proposition 218.

RECOMMENDATION:

Open the public hearing and receive public comments; close the public hearing and allow City Clerk to tabulate number of written protests received; and if there is no majority protest received, consider adoption of Resolution 2025-022 to approve the integrated solid waste management service maximum fee increase requested by EDCO effective July 1, 2025 and authorize future annual inflationary adjustments to refuse service rates through July 1, 2029 using the same methodology and formulas as allowed under the terms of the City's Agreement with EDCO.

OPTIONS:

- Adopt Resolution 2025-022;
- Continue the item and provide further direction to the City Manager

BACKGROUND/ANALYSIS:

On June 16, 1999, City Council adopted Resolution No. 99-5080 selecting EDCO Disposal Corporation as the City's provider of integrated waste management services. EDCO commenced services for the City on January 1, 2000. There have been three amendments to the Agreement since Resolution No. 99-5080 was adopted.

The EDCO Agreement with amendments specifies the method and formula to be used in calculating the maximum allowable annual rate adjustment based on the Consumer Price Index (CPI) and fluctuations in disposal tipping fees. If a rate adjustment is to be requested for the

succeeding year, EDCO must submit the request to the City no later than March 1st. Otherwise, the annual rate adjustment is forgone until the following fiscal year. Upon receipt of the rate adjustment request, the rates are subject to approval by City Council.

On February 20, 2025, EDCO delivered a letter to Public Works requesting a Solid Waste Fee adjustment in the maximum allowable service fee. The formula for the Solid Waste Fee adjustment is applied to three customer rate categories: 1) single family residential, 2) commercial and multifamily residential and 3) roll-off services. Collectively the proposed EDCO rate adjustments equate to a 3.49% increase for basic residential service, a 3.45% increase in basic commercial service, and 3.40% increase in standard roll-off rates. The proposed increases are to be effective July 1, 2025. City staff's review of the letter request found the rate fee adjustment consistent with the format and procedures contained within the EDCO agreement.

Under Proposition 218, the City may choose to authorize a scheduled rate adjustment for up to a five-year period if there is a noticed public hearing and no majority protest received. If Council decides to pass a five-year rate schedule, then future EDCO rate adjustments (beginning July 1, 2026 through July 1, 2029), if requested by EDCO, will only require a 30 day notice mailed to impacted rate payers prior to the new rate going into effect.

Public noticing procedures for the proposed rate increases have been followed pursuant to Proposition 218. The ratepayers were provided with 45 days advance written notice to consider the proposed EDCO rate changes. Additionally, the City provided extra notice of this public hearing by publication in the I.B. Eagle and Times. The City Clerk will provide a count of any protest letters received by the City as part of the public hearing.

The most recent Proposition 218 notice for Integrated Solid Waste Management Service Fees was issued in 2020, and the City Council thereafter approved a new rate scheduled after holding the noticed public hearing. Since then, EDCO has implemented the following annual rate adjustments for basic residential and commercial/multi-family customers:

- FY 2021 Introduced organics collection; rates increased by 2.78% for basic single-family residential and 2.72% for commercial/multi-family customers
- FY 2022 Rates increased by 1.59% for basic single-family residential and 1.59% for commercial/multi-family customers
- FY 2023 Rates increased by 4.30% for basic single-family residential and 4.06% for commercial/multi-family customers
- FY 2024 Rates increased by 5% for basic single-family residential and 5% for commercial/multi-family customers; this reflects a reduced CPI-based adjustment in response to high inflation
- FY 2025 Rates increased by 4.37% for basic single-family residential and 5.1% for commercial/multi-family customers; this reflects a reduced CPI-based adjustment in response to high inflation

The table below shows the proposed rate increase effective July 1, 2025. More information about the proposed rate increases can be found in the notice mailed to customers as shown in Attachment 2.

CURRENT MAX. MONTHLY SOLID WASTE FRANCHISE SERVICE RATE

PROPOSED July 1, 2025 MAX. MONTHLY SOLID WASTE FRANCHISE SERVICE RATE

35-gallon cart	\$39.57	\$40.95
64-gallon cart	\$40.63	\$42.05
90-gallon cart	\$41.88	\$43.34
Additional 64-gallon cart	\$8.67	\$8.97
Additional 90-gallon cart	\$9.27	\$9.59
3-yard bin once per week	\$200.89	\$207.82
3-yard bin twice per week	\$366.64	\$379.29
3-yard bin three times per week	\$532.34	\$550.71
3-yard bin four times per week	\$698.12	\$722.21
3-yard bin five times per week	\$863.87	\$893.67
3-yard bin six times per week	\$1029.61	\$1065.13
Standard roll-off charge per load	\$293.03	\$302.70
Compactor charge per load	\$439.54	\$454.04
Delivery or relocation charge	\$83.90	\$86.67
Commercial Organics 65 gallon	\$147.62	\$152.71
Commercial Organics 95 gallon	\$168.34	\$174.15
Commercial Organics 2-yard bin	\$280.71	\$290.39

The attached resolution approves the proposed rate change for Fiscal Year 2026 (effective July 1, 2025) at this public hearing and authorizes future annual inflationary adjustments to service rates for a five-year period through July 1, 2029 using the same methodology and formulas as allowed under the terms of the City's Agreement with EDCO and consistent with the public noticing procedures of Proposition 218.

ENVIRONMENTAL DETERMINATION:

Not a project as defined by CEQA.

FISCAL IMPACT:

None

ATTACHMENTS:

- 1. Resolution 2025-022
- 2. Proposition 218 Rate Notice

RESOLUTION NO. 2025-022

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF IMPERIAL BEACH, CALIFORNIA, APPROVING THE INTEGRATED SOLID WASTE MANAGEMENT SERVICES FEE INCREASE BY EDCO DISPOSAL CORPORATION EFFECTIVE JULY 1, 2025 AND AUTHORIZING FUTURE ANNUAL INFLATIONARY ADJUSTMENTS THROUGH JULY 1, 2029

WHEREAS, the City of Imperial Beach manages solid waste for its residents and businesses, as outlined in Section 8.36 of the Imperial Beach Municipal Code, through a franchise agreement with EDCO; and

WHEREAS, EDCO's services include the collection, transfer, processing, and disposal of all solid waste, recyclables, and organic waste (i.e., landscaping and food waste) generated in the City of Imperial Beach; and

WHEREAS, the City's Integrated Waste Management Services Agreement with EDCO ("Agreement") sets forth an inflation formula for annual adjustments to the rates, which includes variables such as the Consumer Price Index (CPI) and operational increases in disposal costs; and

WHEREAS, the City's last rate review in accordance with Proposition 218 occurred February 5, 2020; and

WHEREAS, EDCO is requesting a maximum allowable rate increase for FY 2025/26 and is requesting future inflationary adjustments in the solid waste disposal commencing July 1, 2026 and on July 1 of each year thereafter through July 1, 2029 calculated with the same methodology and formulas as allowed under the terms of the Agreement between the City and EDCO and in accordance with Proposition 218; and

WHEREAS, City staff has reviewed the proposed EDCO rate adjustment and concurs that it follows the formulas and methods stated in the Agreement; and

WHEREAS, consistent with Proposition 218, the City is holding a public hearing prior to approving this Resolution which was noticed by publication and a 45-day notice mailed to impacted rate payers; and

WHEREAS, adjustment of the refuse rate is being proposed due to the increased costs of providing refuse collection and recycling services to the residential and business communities. Revenues derived from the refuse rates are used solely for the actual and necessary expenses of providing refuse services to customers. The purpose of the proposed rate increases is to allow EDCO to collect sufficient revenue to enable it to continue providing refuse service to its customers in the face of increasing operating costs and legal mandates imposed by the State of California.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Imperial Beach as follows:

- 1. The above recitals are true and correct and incorporated into this Resolution as findings.
- The City Council of the City of Imperial Beach approves the EDCO rate adjustment for the integrated solid waste management services maximum fee increase of 3.49% for basic residential service, 3.45% for basic commercial/multi-family service, and 3.30% for standard roll off service effective July 1, 2025.
- 3. The City Council authorizes annual inflationary adjustments to the solid waste disposal

Resolution No. 2025-022 Page 2 of 2

rates, if requested by EDCO, effective July 1, 2026, and on July 1 of each year thereafter through July 1, 2029. These adjustments shall be calculated using the following six-step formula and methodology established in the Agreement between the City and EDCO, and in accordance with Proposition 218:

- Step 1: Determine gross rate revenue by deducting franchise fee for commercial and residential services.
- Step 2: Determine disposal expense and service revenue as a percent of actual gross rate revenue for commercial and residential services
- Step 3: Calculate the percent change in adjustment factors (CPI Los Angeles Index and disposal tipping fee per ton)
- Step 4: Calculate weighted percent change for commercial and residential services by multiplying the percent of gross revenue net of franchise fee adjustment factors.
- Step 5: Apply weighted percent change to commercial and residential service rates
- Step 6: Apply percent change in CPI Los Angeles Index to Roll-Off Rates.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Imperial Beach at its meeting held on the 21st day of May 2025, by the following vote:

AYES: COUNCILMEMBERS: NOES: COUNCILMEMBERS: ABSENT: COUNCILMEMBERS:

ATTEST:	PALOMA AGUIRRE, MAYOR
JACQUELINE M. KELLY, MMC	

City of Imperial Beach Notice of Public Hearing to Consider Proposed Refuse Rate Increase

If you are the owner of this property but have a tenant who is responsible for the refuse collection bill related to this property, please forward this notice to the tenant.

NOTICE OF PUBLIC HEARING ON PROPOSED REFUSE RATES

In compliance with Article XIII D of the California Constitution and the Proposition 218 Omnibus Implementation Act, notice is hereby given that the City Council of the City of Imperial Beach will hold a Public Hearing at a regular meeting of the City Council of the City of Imperial Beach on May 21, 2025, at 6:00 PM, or as soon as possible thereafter as the matter can be heard at the regularly scheduled City Council meeting in the Council Chamber of the Civic Center, 825 Imperial Beach Boulevard, Imperial Beach, California, for the purpose of considering an increase in refuses service rates charged by EDCO Disposal Corp ("EDCO"), the City's franchised waste hauler. As part of this hearing, the City will also consider authorizing future inflationary adjustments to the maximum allowable Integrated Solid Waste Management Services fees charged by EDCO through June 30, 2030 calculated with the same methodology and formulas as allowed under the terms of the Agreement between the City and EDCO and Proposition 218 as explained in more detail below.

Additional information pertaining to this matter may be obtained from the Public Works Department, 495 10th Street, Imperial Beach, California 91932 or by visiting the following website: https://www.imperialbeachca.gov/214/Solid-Waste-Recycling

PURPOSE OF PROPOSED RATE INCREASES

The City of Imperial Beach manages solid waste for its residents and businesses, as outlined in Section 8.36 of the Imperial Beach Municipal Code, through a franchise agreement with EDCO. EDCO's services include the collection, transfer, processing, and disposal of all solid waste, recyclables, and organic waste (i.e., landscaping and food waste) generated in the City of Imperial Beach. The City's last rate review occurred in 2020. The City's franchise agreement with EDCO sets forth an inflation formula for annual adjustments to the rates, which includes variables such as the Consumer Price Index (CPI) and operational increases in disposal costs. If the proposed rates are adopted, then annual adjustments to such rates may only continue for the next five (5) years or until another Public Hearing is held. Adjustment of the refuse rate is being proposed due to the increased costs of providing refuse collection and recycling services to the residential and business communities. Revenues derived from the refuse rates are used solely for the actual and necessary expenses of providing refuse services to customers. The purpose of the proposed rate increases is to allow EDCO to

collect sufficient revenue to enable it to continue providing refuse service to its customers in the face of increasing operating costs and legal mandates imposed by the State of California.

PROPOSED INCREASES

The amount of your refuse bill is determined by the quantity and size of your refuse containers and the frequency of collection.

The table below shows the proposed rate increase effective July 1, 2025.

	CURRENT MAX. MONTHLY SOLID WASTE FRANCHISE SERVICE RATE	PROPOSED July 1, 2025 MAX. MONTHLY SOLID WASTE FRANCHISE SERVICE RATE
35-gallon cart	\$39.57	\$40.95
64-gallon cart	\$40.63	\$42.05
90-gallon cart	\$41.88	\$43.34
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Delivery or relocation charge	\$83.90	\$86.67
Commercial Organics 65 gallon	\$147.62	\$152.71
Commercial Organics 95 gallon	\$168.34	\$174.15
Commercial Organics 2-yard bin	\$280.71	\$290.39

In addition, the City Council will consider a schedule of annual refuse rate adjustments based on the schedule below for subsequent fiscal years as allowed by law.

Integrated Solid Waste Management Services Fee Schedule

The City Council will also consider approving an annual rate adjustment commencing **July 1, 2026** and on July 1 of each year thereafter through **July 1, 2029** utilizing the following six step formula:

- Step 1: Determine gross rate revenue by deducting franchise fee for commercial and residential services
- Step 2: Determine disposal expense and service revenue as a percent of actual gross rate revenue for commercial and residential services
- Step 3: Calculate the percent change in adjustment factors (CPI Los Angeles Index and disposal tipping fee per ton)
- Step 4: Calculate weighted percent change for commercial and residential services by multiplying the percent of gross revenue net of franchise fee adjustment factors.
- Step 5: Apply weighted percent change to commercial and residential service rates
- Step 6: Apply percent change in CPI Los Angeles Index to Roll-Off Rates.

PROTESTS

Persons interested may appear before the Council at the public hearing at the above date, place and time. At the public hearing, the City Council will consider objections and protests to the proposed charges. Oral comments at the public hearing will not qualify as a formal protest unless accompanied by a written protest. Any property owner or any tenant directly responsible for the payment of such rates may submit a written protest to the proposed increases to the rates; provided, however, that only one protest will be counted per identified parcel. Written protests may be delivered to Attn: City Clerk, City of Imperial Beach, 825 Imperial Beach Boulevard, Imperial Beach, California 91932, by 2:00 p.m., May 21, 2025, or filed with the City Clerk prior to the conclusion of the public hearing. Any written protest must: (1) state that the identified property owner or tenant is opposed to the proposed rate increase(s); (2) provide the location of the identified parcel (by assessor's parcel number or street address); and (3) include the name and signature of the property owner or tenant submitting the protest. Owners of multiple properties must file a separate written protest for each property. Protests sent by email or other electronic means or received after the Public Hearing is closed will not be accepted.

The City Council will receive a final tabulation of all written protests received by the City at the hearing. If written protests are submitted by a majority of affected property owners/tenants, the proposed new rates may not be implemented. If you challenge the matter in court, you may be limited to raising those issues regarding the manner, method, costs or other matters concerning the basis of the rates which you or someone else raised at the public hearing described in this Notice or in written correspondence delivered to the City at, or prior to, the public hearing.

May 21, 2025

ITEM TITLE: CITY VACANCIES AND RECRUITMENT AND RETENTION EFFORTS IN COMPLIANCE WITH ASSEMBLY BILL 2561. (0640-40)

ORIGINATING DEPARTMENT:

Human Resources

EXECUTIVE SUMMARY:

Assembly Bill 2561 (AB 2561 codified California Government Code § 3502.3), signed into law in September 2024 with an effective date of January 1, 2025, requires public agencies, including the City of Imperial Beach, to hold at least one public hearing per fiscal year to report on vacancies and recruitment and retention efforts.

RECOMMENDATION:

Open and hold the Public Hearing pursuant to Assembly Bill 2561 for comment and receive the presentation and report from staff.

OPTIONS:

- 1. Open and hold the Public Hearing; and
- 2. Receive and file the report; or
- 3. Provide direction to the City Manager and return with a supplemental report at a future meeting.

BACKGROUND/ANALYSIS:

Assembly Bill 2561 was recently signed into law and became effective on January 1, 2025. The law, which added Section 3502.3 to the California Government Code, requires public agencies to present on the status of vacancies and recruitment and retention efforts during a public hearing before their governing board.

Local government agencies are required to:

- Provide a yearly update to the City Council on employee vacancies, recruitment and retention efforts, and any obstacles in the hiring process.
- Present additional information regarding vacancies upon request by an employee organization if the vacancy rate within a bargaining unit is at least 20%.
- Allow employee organizations to make a presentation to the City Council.

Analysis:

The City recognizes that recruitment is about identifying, attracting, and hiring the right people for the organization, and retention is about keeping employees engaged, satisfied, and committed to the organization in the long term. Both efforts are critical for the organization's success, especially in today's competitive job market.

AB 2561 acknowledges that recruitment and retention is currently a challenge for all public sector employers in California. In this regard, the City experiences similar challenges with respect to its recruitment efforts since it is competing for a limited pool of qualified candidates among other cities within the region. The following are the current vacancy rates from January 1, 2025 through May 9, 2025 listed per Bargaining Unit:

- Service Employees International Union (SEIU): 8.2%
- Imperial Beach Firefighters' Association (IBFA): 0.0%
- Unrepresented groups (confidential, mid-management, management): 18.92%

The following provides an update on the current vacancies for the following positions:

Position Title	Bargaining Unit	Status
Building/Housing Inspector I	SEIU	Recruitment will begin June 2025
Facilities Supervisor	SEIU	Recruitment will begin June 2025
Maintenance Worker II (Facilities)	SEIU	Currently recruiting
Maintenance Worker I (Sewer)	SEIU	Currently recruiting for two (2) openings
Ocean Lifeguard I (seasonal)	SEIU	Currently recruiting
Senior Administrative Assistant	Confidential	Currently recruiting
(City Clerk's Department)	(non-represented)	
Administrative Assistant	Confidential	Recruitment will begin in FY26
(Council & City Manager's Office)	(non-represented)	
Division Chief	Mid-Management	Recruitment will begin in FY26
	(non-represented)	
Community Development Director	Management	Recruitment will begin in FY26
	(non-represented)	
Parks, Recreation & Community	Management	Will remain vacant for two years
Services Director	(non-represented)	(FY26 &FY27)

Employee retention remains a central focus for the City. Over the years, the City has implemented several initiatives designed to improve employee satisfaction, promote longevity, and enhance professional growth. The City has implemented the following recruitment and retention efforts:

- Utilizing various platforms (LinkedIn, specialty/industry job boards) and social media platform outreach promoting job vacancies to attract a wider candidate pool
- Participate in high school, college, and community events and career fairs
- Continuously review salary structures to remain market-competitive
- Existing partnerships with local colleges and offering internship programs to students
- Conducted a compensation study for all represented employees in IBFA and implemented median adjustments during the current Memorandum of Understanding
- Conducted an Independent Operational Assessment for the Marine Safety Department which included a compensation study
- Conducted a compensation study for all represented employees in SEIU and the City is in the middle of negotiating implementing median adjustments
- Increased the Tuition Reimbursement Program for job-related degrees and certifications
- Offer pay differentials: bilingual-pay, commercial driver certification pay, dive team pay, notary pay, and longevity pay
- Offer flexible work schedules such as 9/80 and 4/10
- 14 paid holidays

- 36 hours of paid floating holiday
- Paid holiday furlough between December 24th and January 1st
- Vacation and sick pay, including vacation cash out opportunities
- Paid health insurance benefits for employee and family members plus dental and vision coverage
- Short-term and long-term disability and life insurance benefits
- Retirement benefits
- Annual years-of-service recognition event
- Employee wellness programs

Next Steps

The Human Resources Department will continuously monitor vacancy rates for each employee association and will notify the association if their respective vacancy rate reaches 20%. The City will continue to make a presentation at a public hearing at least once per fiscal year to comply with Assembly Bill 2561.

ENVIRONMENTAL DETERMINATION:

Not a project as defined by CEQA.

FISCAL IMPACT:

There is no direct fiscal impact associated with conducting the public hearing required under Government Code section 3205.3. However, addressing recruitment and retention issues may involve future budget and bargaining considerations, which will be presented to the City Council as necessary.



May 21, 2025

ITEM TITLE: RESOLUTION NO. 2025-023 APPROVING FORMAL AMENDMENT NO. 08 (25-08) TO THE 2025 TRANSNET LOCAL STREET IMPROVEMENT PROGRAM OF PROJECTS FOR FISCAL YEARS 2025 THROUGH 2029. (0680-95)

ORIGINATING DEPARTMENT:

Public Works

EXECUTIVE SUMMARY:

This is the Public Hearing to approve Amendment No. 08 (25-08), to the 2025 Regional Transportation Improvement Program (RTIP) updating *TransNet* programmed funds to match funding changes to projects in the City's Capital Improvement Program that use *TransNet* funds. The 2025 *TransNet* Program of Projects is periodically adjusted to reflect the latest SANDAG estimates of the City's annual income from *TransNet* sales tax revenues and to account for any changes in programmed project funding. The *TransNet* Extension Ordinance (Proposition A) requires *TransNet* recipients to hold a Public Hearing and submit a formal amendment any time *TransNet* funds are impacted.

RECOMMENDATION:

- 1. Receive this report;
- 2. Open the Public Hearing;
- 3. Receive public comment;
- 4. Close the Public Hearing;
- 5. Adopt Resolution 2025-023 A Resolution of the City Council of the City of Imperial Beach, California approving the 2025 *TransNet* Local Street Improvement Program of Projects for Fiscal Years 2025 through 2029.

OPTIONS:

- Adopt Resolution No. 2025-023 approving Amendment No. 08 (25-08) to the 2025
 TransNet Local Street Improvement Program of Projects for Fiscal Years 2025 through
 2029; or
- Adopt Resolution No. 2025-023 and approve Amendment No. 08 (25-08) to the 2025
 TransNet Local Street Improvement Program of Projects for Fiscal Years 2025 through
 2029 as modified by City Council; or
- Request additional information and an additional report.

BACKGROUND/ANALYSIS:

The *TransNet* Extension Ordinance became effective in Fiscal Year 2009. The *TransNet* Extension Ordinance limited the maintenance expenditures to a maximum of 30% of the total Local Streets and Roadway Program allocation. The remaining 70% of the allocated funds are

to be expended on major roadway capital improvement projects.

On June 18, 2024, Council held a Public Hearing and adopted the 2025 RTIP for Fiscal Years 2025 through 2029.

The following four City projects have *TransNet* funds programmed in the current RTIP Program of Projects:

- 1. IB02 Street Maintenance Operations
- 2. IB12 Major Street Improvements
- 3. IB22 9th Street Active Transportation Corridor
- 4. IB24 Palm Avenue Complete Multimodal Corridor.

Attachment 2 provides the 2025 RTIP Formal Amendment No. 08 Program of Projects for the City of Imperial Beach for the five-year period (FYs 2025-2029) and includes those four projects. Under each of those projects, the updated *TransNet* programmed funds included in this amendment as well as the *TransNet* programmed funds when the projects were last amended prior to this amendment are shown.

ENVIRONMENTAL DETERMINATION:

Not a project as defined by CEQA.

FISCAL IMPACT:

Programmed funds in the 2025 *TransNet* Local Street Improvement Program of Projects for Fiscal Years 2025 through 2029 will match the funding in the City's Capital Improvement Program.

ATTACHMENTS:

ATT 1 – Resolution No. 2025-023

ATT 2 – 2025 RTIP Formal Amendment No. 08 Program of Projects

RESOLUTION NO. 2025-023

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF IMPERIAL BEACH, CALIFORNIA, APPROVING FORMAL AMENDMENT NO. 08 (25-08) TO THE 2025 TRANSNET LOCAL STREET IMPROVEMENT PROGRAM OF PROJECTS FOR FISCAL YEARS 2025 THROUGH 2029

WHEREAS, on November 4, 2004, the voters of San Diego County approved the San Diego Transportation Improvement Program Ordinance and Expenditure Plan (*TransNet* Extension Ordinance); and

WHEREAS, the *TransNet* Extension Ordinance provides that SANDAG, acting as the Regional Transportation Commission, shall approve on a biennial basis a multi-year program of projects submitted by local jurisdictions identifying those transportation projects eligible to use transportation sales tax (*TransNet*) funds; and

WHEREAS, the City of Imperial Beach was provided with an estimate of annual *TransNet* local street improvement revenues for fiscal years 2025 through 2029; and

WHEREAS, the City of Imperial Beach approved its 2025 TransNet Local Street Improvement Program of Projects (POP) on June 18, 2024 and the City of Imperial Beach desires to make adjustments to its Program of Projects; and

WHEREAS, the City of Imperial Beach has held a noticed public hearing with an agenda item that clearly identified the proposed amendment prior to approval of the projects by its authorized legislative body in accordance with Section 5(A) of the *TransNet* Extension Ordinance and Rule 7 of SANDAG Board Policy No. 31; and

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of Imperial Beach as follows:

- 1. Requests that SANDAG make the following changes to its POP (the "Amendment") as programmed in the 2025 RTIP and:
- 2. Pursuant to Section 2(C)(1) of the *TransNet* Extension Ordinance, the City of Imperial Beach certifies that no more than 30 percent of its annual revenues shall be spent on local street and road maintenance-related projects as a result of the Amendment.
- 3. Pursuant to Section 4(E)(3) of the *TransNet* Extension Ordinance, the City of Imperial Beach certifies that all new or changed projects, or major reconstruction projects included in the Amendment and funded by *TransNet* revenues shall accommodate travel by pedestrians and bicyclists, and that any exception to this requirement permitted under the Ordinance and proposed was clearly noticed as part of the City of Imperial Beach's public hearing process for the Amendment.
- 4. The City of Imperial Beach does hereby certify that all other applicable provisions of the *TransNet* Extension Ordinance and SANDAG Board Policy No. 31 have been met.
- 5. The City of Imperial Beach continues to agree to indemnify, hold harmless, and defend SANDAG, the San Diego County Regional Transportation Commission, and all officers and employees thereof against all causes of action or claims related to the City of Imperial Beach's *TransNet* funded projects.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Imperial Beach at its meeting held on the 21st day of May 2025, by the following vote:

Resolution No. 2025-023 Page 2 of 2

NOES:	COUNCILMEMBERS: COUNCILMEMBERS: COUNCILMEMBERS:	
ATTEST:		PALOMA AGUIRRE, MAYOR
JACQUELINE I	M. KELLY, MMC	

Table 1

2025 Regional Transportation Improvement Program Amendment No. 8 San Diego Region (in \$000s)

Imperial Beach, City of MPO ID: IB02 RTIP #:25-08 Street Maintenance Operations TransNet - LSI: Maint Project Title: Project Description: Various locations - preventative maintenance - slurry seals and localized pavement repairs Change Reason: Reduce funding, Revise funding between fiscal years Capacity Status:NCI Exempt Category:Safety - Pavement resurfacing and/or rehabilitation Est Total Cost: \$6,561 PRIOR **FUTURE** TOTAL 24/25 25/26 26/27 27/28 28/29 PE RW CON \$1,655 \$1,655 \$1,655 TransNet - L TransNet - LSI \$4,287 \$2,992 \$251 \$214 \$270 \$277 \$285 \$4,287 TransNet - LSI Carry Over \$619 \$618 \$2 \$619 TOTAL \$6,561 \$5,265 \$253 \$214 \$270 \$277 \$285 \$6,561 PROJECT LAST AMENDED 25-00 TOTAL **PRIOR** 24/25 25/26 26/27 27/28 28/29 **FUTURE** PE RW CON \$1,655 \$1,655 \$1,655 TransNet - L \$4,386 \$2,992 \$252 \$278 \$281 \$289 \$296 \$4,386 TransNet - LSI \$618 \$618 \$618 TransNet - LSI Carry Over TOTAL \$6,659 \$5,265 \$252 \$278 \$281 \$289 \$296 \$6,659

MPO ID: IB12										RTIP #:2	25-08
Project Title:	Major Street Improvements							TransNet - LSI: CR			
Project Description:											
Change Reason:	Reduce fundi	ng, Revise	funding be	etween fisc	cal years						
Capa	city Status:NCI	Exemp	ot Categor	y:Safety -	Pavement	t resurfaci	ng and/or	rehabilitat	ion		
Est Total Cost: \$9,0	000										
	TOTAL	PRIOR	24/25	25/26	26/27	27/28	28/29	FUTURE	PE	RW	CON
TransNet - L (Cash)	\$200	\$200			155						\$200
TransNet - LSI	\$6,710	\$4,272		\$498	\$629	\$645	\$665		\$1,970		\$4,740
TransNet - LSI Carry Ov	ver \$2,090	\$2,091							\$830		\$1,260
TOTAL	\$9,000	\$6,563		\$498	\$629	\$645	\$665		\$2,800		\$6,200
PROJECT LAST AN	MENDED 25-00)									
	TOTAL	PRIOR	24/25	25/26	26/27	27/28	28/29	FUTURE	PE	RW	CON
TransNet - L (Cash)	\$200	\$200									\$200
TransNet - LSI	\$6,938	\$4,272		\$648	\$655	\$673	\$690		\$1,993		\$4,945
TransNet - LSI Carry Ov	ver \$2,090	\$2,091							\$830		\$1,260
TOTAL	\$9,228	\$6,563		\$648	\$655	\$673	\$690		\$2,823		\$6,405

^{**} Pending final SANDAG approval

\$599

\$4,787

2025 Regional Transportation Improvement Program Amendment No. 8 San Diego Region (in \$000s)

Imperial Beach, City of MPO ID: IB22 RTIP #:25-08 9th St Active Transportation Corridor (part of Lump Sum V14) TransNet - LSI: CR Project Title: Project Description: 9th Street from Sea Park Drive to Calla Avenue (1.1 miles) - 1.1 miles of bicycle and pedestrian improvements that include a road diet, green buffered bike lanes, sharrows, bicycle bend-outs, high-visibility crosswalks, and curb extensions Revise Fund Source Change Reason: Capacity Status:NCI Exempt Category: Air Quality - Bicycle and pedestrian facilities Est Total Cost: \$5,387 TOTAL **PRIOR** 24/25 25/26 27/28 28/29 **FUTURE** PE RW 26/27 CON \$585 \$585 TransNet - LSI \$585 TransNet - LSI Carry Over \$4 \$4 \$4 ATP - S \$3,018 \$539 \$2,479 \$539 \$2,479 \$1,780 \$60 \$1,720 Local Funds \$1,720 \$60 TOTAL \$5,387 \$599 \$4,784 \$4 \$4,788 \$599 PROJECT LAST AMENDED 25-00 TOTAL **PRIOR FUTURE** RW 24/25 25/26 26/27 27/28 28/29 PE CON TransNet - LSI \$588 \$588 \$588 ATP - S \$3,018 \$539 \$2,479 \$539 \$2,479 Local Funds \$1,780 \$60 \$1,720 \$60 \$1,720 TOTAL

MPO ID: IB24										RTIP #:	25-08
Project Title:	Palm Avenue Complete Multimodal Corridor (part of Lump Sum V14)										
Project Description:	Palm Avenue miles of active lanes, crossw and ADA curb	e transpor alks, curb	tation imp extensior	rovement	s including	class IV b	ike				
Change Reason:	Revise funding	g betweer	n fiscal yea	ars							
Capa	city Status:NCI	Exem	pt Catego	ry:Air Qua	lity - Bicyc	le and peo	destrian 1	acilities			*******
Est Total Cost: \$26,							A 1 100%				
	TOTAL	PRIOR	24/25	25/26	26/27	27/28	28/29	FUTURE	PE	RW	CON
TransNet - MC	\$2,000		\$1,000	\$1,000					\$2,000		
ATP - S	\$23,112		\$150	\$1,220	\$21,742				\$1,250	\$120	\$21,742
Local Funds	\$1,115	\$1,115							\$1,115		
TOTAL	\$26,227	\$1,115	\$1,150	\$2,220	\$21,742				\$4,365	\$120	\$21,742
PROJECT LAST AM	1ENDED 25-00	ĺ	-								
	TOTAL	PRIOR	24/25	25/26	26/27	27/28	28/29	FUTURE	PE	RW	CON
TransNet - MC	\$2,000		\$1,000	\$1,000					\$2,000		
TransNet - MC ATP - S	\$2,000 \$23,112		\$1,000 \$1,370	\$1,000	\$21,742				\$2,000 \$1,250	\$120	\$21,742
		\$1,115		\$1,000	\$21,742				25 15	\$120	\$21,742

\$5,386

\$599

\$4,787

^{**} Pending final SANDAG approval

2025 Regional Transportation Improvement Program Amendment No. 8 San Diego Region (in \$000s)

RTIP Fund Types

State Funding	
ATP	Active Transportation Program (Statewide and Regional)
Local Funding	
Local Funds AC	Local Funds - Advanced Construction; mechanism to advance local funds to be reimbursed at a later fiscal year with federal/state funds
TransNet-L	Prop. A Local Transportation Sales Tax - Local Streets & Roads
TransNet-L (Cash)	TransNet - L funds which agencies have received payment, but have not spent
TransNet-LSI	Prop. A Extension Local Transportation Sales Tax - Local System Improvements
TransNet-LSI Carry Over	TransNet - LSI funds previously programmed but not requested/paid in year of allocation
TransNet-MC	Prop. A Extension Local Transportation Sales Tax - Major Corridors

^{**} Pending final SANDAG approval



May 21, 2025

ITEM TITLE: CONSIDER ADOPTING RESOLUTION 2025-028 OPPOSING DETRIMENTAL EFFECTS OF FEDERAL TARIFFS ON THE LOCAL AND REGIONAL ECONOMY. (0460-40)

ORIGINATING DEPARTMENT:

Mayor

EXECUTIVE SUMMARY:

The Mayor is recommending that the City Council consider adopting Resolution 2025-028 opposing the continuation and expansion of recent tariffs imposed by President Trump, and considering the serious and documented economic harm these tariffs have inflicted on California, San Diego County, and by extension, the Imperial Beach community.

RECOMMENDATION:

That the City Council consider adopting Resolution 2025-028 drafted by the Mayor.

OPTIONS:

- That the City Council adopt Resolution 2025-028; or
- That the City Council adopt Resolution 2025-028 with modifications; or
- That the City Council not adopt Resolution 2025-028; or
- That the City Council provide further direction to staff.

BACKGROUND/ANALYSIS:

The Mayor is recommending that the City of Imperial Beach consider adopting Resolution 2025-028 opposing the continuation and expansion of recent tariffs imposed by President Trump, and considering the serious and documented economic harm these tariffs have inflicted on California, San Diego County, and by extension, the Imperial Beach community.

Key Detrimental Effects

1. Statewide Economic Losses

- California faces a \$16 billion revenue loss directly linked to economic instability from Trump-era tariffs. This "Trump slump" is projected to exacerbate the state's current \$12 billion budget deficit, threatening vital services, including those that reach the South Bay region. The California Public Employees' Retirement System (CalPERS) suffered \$15 billion in losses in the first two days following the announcement of the tariffs.
- Source(s): Politico, 2025; Cal Matters, 2025

2. Disruption of Trade and Local Business

- San Diego's \$33 billion export economy has been disrupted. New tariffs and retaliatory trade measures have created uncertainty, reducing demand for locally made goods and increasing costs for imports, particularly hurting small businesses (93% of which have 12 or fewer employees).
- Source: KPBS, 2025

3. Harm to the Construction and Housing Sector

- Tariffs on materials from China, Canada, and the EU have inflated the cost of building materials by over \$3 billion statewide, adding \$7,500-\$10,000 to the cost of a new home—fueling the housing affordability crisis.
- Source: East County Magazine, 2025

4. Impact on Agriculture and Food Prices

- California's \$59 billion agriculture industry has lost access to key markets, particularly China, due to retaliatory tariffs. Imperial Beach's proximity to agricultural hubs means rising food prices directly burden our residents.
- Source: The Guardian, 2025

5. Consumer Price Increases

- Tariffs function as hidden taxes, raising the cost of consumer goods. Local families
 now face higher prices for essentials like clothing, electronics, and groceries—
 contributing to cost-of-living pressures already high in coastal communities.
- Source: CBS 8 News. 2025

Conclusion

The Mayor states: Trump-era tariffs have imposed significant economic harm at every level—statewide, regionally, and locally. Imperial Beach residents, particularly working families and small business owners, are paying the price. In light of this data and the broader public interest, the Mayor urges support for a City resolution opposing the continuation and expansion of these harmful tariffs.

ENVIRONMENTAL DETERMINATION:

Not a project as defined by CEQA.

FISCAL IMPACT:

No fiscal impact.

ATTACHMENTS:

ATT 1 - Resolution 2025-028

RESOLUTION NO. 2025-028

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF IMPERIAL BEACH, CALIFORNIA, EXPRESSING OPPOSITION TO FEDERAL TARIFFS THAT THREATEN THE ECONOMIC STABILITY OF THE BINATIONAL REGION

WHEREAS, the City of Imperial Beach and neighboring communities within South San Diego County are part of a unique binational region centered around the busiest land border crossing in the world, through which over 100,000 people travel daily for work, education, tourism, and commerce; and

WHEREAS, the San Diego – Tijuana binational region generates over \$60 Billion in international trade annually, supporting jobs and economic growth throughout California and the United States; and

WHEREAS, our region is economically and socially integrated, with a workforce, business community, and transportation systems that depend on cross-border mobility, predictability, and stability; and

WHEREAS, on February 1, 2025 broad tariffs were imposed by the federal government and caused a disproportionate and destabilizing impact on California's binational communities; and

WHEREAS, the broad tariffs imposed by the federal government caused \$15 Billion in losses to the California Public Employees' Retirement System (CalPERS) of which the City of Imperial Beach is one of nearly 3,000 employers who contract with CalPERS for retirement, health, death, and survivor benefits for city employees; and

WHEREAS, the financial impact in losses for CalPERS and the State of California have a direct impact on our city's budget which affects the public services and long-term financial sustainability of our city; and

WHEREAS, these tariffs have also increased costs, introduced economic uncertainty to local and small businesses, undermined key sectors vital to our region's economy – not only tourism and trade, but also manufacturing, supply chain logistics, and small businesses that depend on binational cooperation; and

WHEREAS, the City of Imperial Beach recognizes that the strength of our regional economy is directly tied to the health, safety, and efficiency of our border infrastructure and binational relationships – any disruption at the border reverberates across local industries and households; and

WHEREAS, the City of Imperial Beach is already seeing the consequences of these policies through constraints and uncertainty during the current budget cycle; and

WHEREAS, economic uncertainty and fiscal constraints impacted by these tariffs are complicating efforts of the City of Imperial Beach to invest confidently in municipal programs, recreation, and services such as citywide conservation efforts, economic development, community service initiatives, and special events throughout the year which are beneficial to the community-building, health, and wellness of our city; and

Resolution No. 2025-028 Page 2 of 2

WHEREAS, it is in the City of Imperial Beach's interest to advocate for economic stability, regional resilience, and mutually beneficial policies that reflect the lived reality and interconnectedness of our binational region; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Imperial Beach as follows:

- 1. That the City Council expresses opposition to the continuation and expansion of harmful federal tariffs that have caused serious and documented negative effects to the economic health of the State of California, San Diego County, and by extension, our own community; and
- 2. The City Council directs staff to transmit a copy of this resolution to relevant state and federal agencies.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Imperial Beach at its meeting held on the 21st day of May 2025, by the following vote:

AYES: NOES: ABSENT:	COUNCILMEMBERS: COUNCILMEMBERS: COUNCILMEMBERS:	
ATTEST:		PALOMA AGUIRRE, MAYOR
IACOLIELINE N	M KELLY MMC	

CITY CLERK



May 21, 2025

ITEM TITLE: DISCUSS SENATE BILL 79 AND CONSIDER AUTHORIZING THE MAYOR TO SEND A LETTER OF OPPOSITION ON BEHALF OF THE CITY OF IMPERIAL BEACH. (0460-20)

ORIGINATING DEPARTMENT:

City Manager

EXECUTIVE SUMMARY:

On January 15, 2025, Senate Bill (SB) 79 (Attachment 1) was introduced to the California State Senate. According to the Legue of California Cities (Cal Cities), if adopted, SB 79 would override state-certified local housing elements and transfer land-use authority to transit agencies without ensuring housing development, including affordable housing. SB 79 mandates ministerial approval of high-density residential projects up to seven stories near certain major transit stops, regardless of local zoning codes. The bill would limit the role of local development standards and would allow transit agencies to make independent land-use decisions on property they own or lease, without consideration for local planning, community needs, or environmental impacts.

RECOMMENDATION:

Discuss Senate Bill 79 and consider authorizing the Mayor to send a letter of opposition for SB 79 on behalf of the City of Imperial Beach to the appropriate legislators.

OPTIONS:

- Authorize sending a letter of opposition for SB 79; or
- Do not authorize sending a letter of opposition for SB 79; or
- Request more information at a future meeting.

BACKGROUND/ANALYSIS:

The League of California Cities (Cal Cities), of which the City of Imperial Beach is a member, has requested that cities send opposition letters for Senate Bill 79 (SB 79) (Wiener) to appropriate legislators (Attachment 2). Per Cal Cities, SB 79 requires cities to ministerially approve higher-density residential projects — up to 7 stories — near certain public transit stops, regardless of zoning codes. SB 79 limits the use of local development standards and allows transit agencies full land-use authority over residential and commercial development on property owned or leased by the transit agency, without any requirement that developers build housing, let alone affordable housing.

Cal Cities further states that SB 79 overrides the state's own mandated local housing elements by forcing cities to approve transit-oriented development projects near specified transit stops — up to seven stories high and a density of 120 homes per acre — without regard to the community's needs, environmental review, or public input. SB 79 provides transit agencies:

- Unlimited land use authority on property they own or have a permanent easement, regardless of the distance from a transit stop.
- Power to determine all aspects of residential and commercial development including height, density, and design, without any regard to local zoning or planning.
- Ability to develop 100% commercial projects, even at transit stops, and not provide a single new home.

Cal Cities and the cities of Oceanside, San Marcos, Solana Beach, and Vista have already signed letters of opposition, which are attached to this report (Attachment 3-7).

ENVIRONMENTAL DETERMINATION:

Not a project as defined by CEQA.

FISCAL IMPACT:

No fiscal impact.

ATTACHMENTS:

ATT 1 – SB 79 Text – April 23, 2025

ATT 2 - SB 79 City Sample Letter to Oppose

ATT 3 – SB 79 Oceanside Opposition Letter

ATT 4 – SB 79 San Marcos Opposition Letter

ATT 5 - SB 79 Solana Beach Opposition Letter

ATT 6 – SB 79 Vista Opposition Letter

ATT 7 – SB 79 Cal Cities Opposition Letter

AMENDED IN SENATE APRIL 23, 2025 AMENDED IN SENATE APRIL 9, 2025 AMENDED IN SENATE MARCH 5, 2025

SENATE BILL

No. 79

Introduced by Senator Wiener

January 15, 2025

An act to amend Section 54221 of, and to add Chapter 4.1.5 (commencing with Section 65912.155) to Division 1 of Title 7 of, the Government Code, and to add Section 21080.26.5 to the Public Resources Code, relating to land use.

LEGISLATIVE COUNSEL'S DIGEST

SB 79, as amended, Wiener. Local government land: public transit use: housing development: transit-oriented development.

(1) Existing law prescribes requirements for the disposal of surplus land by a local agency. Existing law defines "surplus land" for these purposes to mean land owned in fee simple by any local agency for which the local agency's governing body takes formal action declaring that the land is surplus and is not necessary for the agency's use. Existing law defines "agency's use" for these purposes to include land that is being used for agency work or operations, as provided. Existing law exempts from this definition of "agency's use" certain commercial or industrial uses, except that in the case of a local agency that is a district, except a local agency whose primary purpose or mission is to supply the public with a transportation system, "agency's use" may include commercial or industrial uses or activities, as specified.

This bill would additionally include land leased to support public transit operations in the definition of "agency's use," as described above.

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The bill would also revise the definition of "agency's use" with respect to commercial or industrial uses to instead provide that a district or a public transit operator may use land for commercial or industrial uses or activities, as described above.

(2) Existing law, the Planning and Zoning Law, requires each county and city to adopt a comprehensive, long-term general plan for the physical development of the county or city, and specified land outside its boundaries, that contains certain mandatory elements, including a housing element. Existing law requires that the housing element include, among other things, an assessment of housing needs and an inventory of resources and constraints that are relevant to the meeting of these needs, including an inventory of land suitable for residential development, as provided. Existing law, for the 4th and subsequent revisions of the housing element, requires the Department of Housing and Community Development to determine the existing and projected need for housing for each region, as specified, and requires the appropriate council of local governments, or the department for cities and counties without a council of governments, to adopt a final regional housing need plan that allocates a share of the regional housing need to each locality in the region.

Existing law, the Housing Accountability Act, among other things, requires a local agency that proposes to disapprove a housing development project, as defined, or to impose a condition that the project be developed at a lower density to base its decision on written findings supported by a preponderance of the evidence that specified conditions exist if that project complies with applicable, objective general plan, zoning, and subdivision standards and criteria in effect at the time that the application was deemed complete. The act authorizes the applicant, a person who would be eligible to apply for residency in the housing development project or emergency shelter, or a housing organization to bring an action to enforce the act's provisions, as provided, and provides for penalties if the court finds that the local agency is in violation of specified provisions of the act.

This bill would require that a housing development project, as defined, proposed within a specified distance of a transit-oriented development (TOD) stop, as defined, be an allowed use on any site zoned for residential, mixed, commercial, or light industrial development, if the development complies with applicable requirements, as specified. The bill would establish requirements concerning height limits, density, and floor area ratio in accordance with a development's proximity to

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specified tiers of TOD stops, as provided. The bill would provide that, for the purposes of the Housing Accountability Act, a proposed development consistent with the applicable standards of these provisions shall be deemed consistent, compliant, and in conformity with prescribed requirements. The bill would provide that a local government that denies a project meeting the requirements of these provisions located in a high-resource area, as defined, would be presumed in violation of the Housing Accountability Act, as specified, and immediately liable for penalties, as provided. The bill would specify that a development proposed pursuant to these provisions is eligible for streamlined, ministerial approval pursuant to specified law, except that the bill would exempt a project under these provisions from specified requirements, and would specify that the project is required to comply with certain affordability requirements, under that law.

This bill would require a proposed development to comply with specified requirements under existing law relating to the demolition of existing residential units. The bill would also authorize a transit agency to adopt objective standards for both residential and commercial development proposed pursuant to these provisions if the development would be constructed on land owned by the transit agency or on which the transit agency has a permanent operating easement, provided that the objective standards allow for the same or greater development intensity as allowed by local standards or applicable state law.

This bill would require the Department of Housing and Community Development to oversee compliance with the bill's provisions, including, but not limited to, promulgating specified standards relating to the inventory of land included within a county's or city's housing element. The bill would permit a local government to adopt an ordinance to implement these provisions, as provided. The bill would require the local government to submit a copy of this ordinance to the department within 60 days of adoption and require the department to review the ordinance for compliance, as specified. If the department finds an ordinance is out of compliance, and the local government does not take specified steps to address compliance, the bill would require the department to notify the local government in writing and authorize the department to notify the Attorney General, as provided.

This bill would define various terms for its purposes and make related findings and declarations.

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This bill would include findings that changes proposed by this bill address a matter of statewide concern rather than a municipal affair and, therefore, apply to all cities, including charter cities.

(3) Existing law, the California Environmental Quality Act (CEQA), requires a lead agency, as defined, to prepare, or cause to be prepared, and certify the completion of an environmental impact report on a project that it proposes to carry out or approve that may have a significant effect on the environment or to adopt a negative declaration if it finds that the project will not have that effect. CEQA also requires a lead agency to prepare a mitigated negative declaration for a project that may have a significant effect on the environment if revisions in the project would avoid or mitigate that effect and there is no substantial evidence that the project, as revised, would have a significant effect on the environment. CEQA, until January 1, 2030, exempts from its requirements certain transportation-related projects if specified requirements are met, as provided. CEQA includes within these exempt transportation-related projects a public project for the institution or increase of bus rapid transit, bus, or light rail service, or other passenger rail service, that will be exclusively used by low-emission or zero-emission vehicles, on existing public rights-of-way or existing highway rights-of-way.

This bill would exempt from CEQA a public or private residential, commercial, or mixed-used project that, at the time the project application is filed, is located entirely or principally on land owned by a public transit agency, or fully or partially encumbered by an existing operating easement in favor of a public transit agency, and meets specified requirements. The bill would provide that, for a project that requires the construction of new passenger rail storage and maintenance facilities at a publicly or privately owned offsite location distinct from the principal project site, that project would be considered a wholly separate project from the project described in these provisions and shall not be exempt from CEQA.

(4) By increasing the duties of local officials, this bill would impose a state-mandated local program.

The California Constitution requires the state to reimburse local agencies and school districts for certain costs mandated by the state. Statutory provisions establish procedures for making that reimbursement.

This bill would provide that no reimbursement is required by this act for a specified reason.

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Vote: majority. Appropriation: no. Fiscal committee: yes. State-mandated local program: yes.

The people of the State of California do enact as follows:

SECTION 1. Section 54221 of the Government Code is amended to read:

- 54221. As used in this article, the following definitions shall apply:
- (a) (1) "Local agency" means every city, whether organized under general law or by charter, county, city and county, district, including school, sewer, water, utility, and local and regional park districts of any kind or class, joint powers authority, successor agency to a former redevelopment agency, housing authority, or other political subdivision of this state and any instrumentality thereof that is empowered to acquire and hold real property.
- (2) The Legislature finds and declares that the term "district" as used in this article includes all districts within the state, including, but not limited to, all special districts, sewer, water, utility, and local and regional park districts, and any other political subdivision of this state that is a district, and therefore the changes in paragraph (1) made by the act adding this paragraph that specify that the provisions of this article apply to all districts, including school, sewer, water, utility, and local and regional park districts of any kind or class, are declaratory of, and not a change in, existing law.
- (b) (1) "Surplus land" means land owned in fee simple by any local agency for which the local agency's governing body takes formal action in a regular public meeting declaring that the land is surplus and is not necessary for the agency's use. Land shall be declared either "surplus land" or "exempt surplus land," as supported by written findings, before a local agency may take any action to dispose of it consistent with an agency's policies or procedures. A local agency, on an annual basis, may declare multiple parcels as "surplus land" or "exempt surplus land."
- (2) "Surplus land" includes land held in the Community Redevelopment Property Trust Fund pursuant to Section 34191.4 of the Health and Safety Code and land that has been designated in the long-range property management plan approved by the Department of Finance pursuant to Section 34191.5 of the Health

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and Safety Code, either for sale or for future development, but does not include any specific disposal of land to an identified entity described in the plan.

- (3) Nothing in this article prevents a local agency from obtaining fair market value for the disposition of surplus land consistent with Section 54226.
- (4) Notwithstanding paragraph (1), a local agency is not required to make a declaration at a public meeting for land that is "exempt surplus land" pursuant to subparagraph (A), (B), (E), (K), (L), or (Q) of paragraph (1) of subdivision (f) if the local agency identifies the land in a notice that is published and available for public comment, including notice to the entities identified in subdivision (a) of Section 54222, at least 30 days before the exemption takes effect.
- (c) (1) Except as provided in paragraph (2), "agency's use" shall include, but not be limited to, land that is being used, or is planned to be used pursuant to a written plan adopted by the local agency's governing board, for agency work or operations, including, but not limited to, utility sites, property owned by a port that is used to support logistics uses, watershed property, land being used for conservation purposes, land for demonstration, exhibition, or educational purposes related to greenhouse gas emissions, sites for broadband equipment or wireless facilities, land leased to support public transit operations, and buffer sites near sensitive governmental uses, including, but not limited to, waste disposal sites, and wastewater treatment plants. "Agency's use" by a local agency that is a district shall also include land disposed for uses described in subparagraph (B) of paragraph (2).
- (2) (A) "Agency's use" shall not include commercial or industrial uses or activities, including nongovernmental retail, entertainment, or office development. Property disposed of for the sole purpose of investment or generation of revenue shall not be considered necessary for the agency's use.
- (B) In the case of a local agency that is a district or a public transit operator, "agency's use" may include commercial or industrial uses or activities, including nongovernmental retail, entertainment, or office development or be for the sole purpose of investment or generation of revenue if the agency's governing body takes action in a public meeting declaring that the use of the site will do one of the following:

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(i) Directly further the express purpose of agency work or operations.

- (ii) Be expressly authorized by a statute governing the local agency, provided the district complies with Section 54233.5 if applicable.
 - (d) (1) "Dispose" means either of the following:
 - (A) The sale of the surplus land.

- (B) The entering of a lease for surplus land, which is for a term longer than 15 years, inclusive of any extension or renewal options included in the terms of the initial lease, entered into on or after January 1, 2024.
 - (2) "Dispose" shall not mean either of the following:
- (A) The entering of a lease for surplus land, which is for a term of 15 years or less, inclusive of any extension or renewal options included in the terms of the initial lease.
- (B) The entering of a lease for surplus land on which no development or demolition will occur, regardless of the term of the lease.
- (e) "Open-space purposes" means the use of land for public recreation, enjoyment of scenic beauty, or conservation or use of natural resources.
- (f) (1) Except as provided in paragraph (2), "exempt surplus land" means any of the following:
- (A) Surplus land that is transferred pursuant to Section 25539.4 or 37364.
- (B) Surplus land that is less than one-half acre in area and is not contiguous to land owned by a state or local agency that is used for open-space or low- and moderate-income housing purposes.
- (C) Surplus land that a local agency is exchanging for another property necessary for the agency's use. "Property" may include easements necessary for the agency's use.
- (D) Surplus land that a local agency is transferring to another local, state, or federal agency, or to a third-party intermediary for future dedication for the receiving agency's use, or to a federally recognized California Indian tribe. If the surplus land is transferred to a third-party intermediary, the receiving agency's use must be contained in a legally binding agreement at the time of transfer to the third-party intermediary.

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(E) Surplus land that is a former street, right-of-way, or easement, and is conveyed to an owner of an adjacent property.

- (F) (i) Surplus land that is to be developed for a housing development, which may have ancillary commercial ground floor uses, that restricts 100 percent of the residential units to persons and families of low or moderate income, with at least 75 percent of the residential units restricted to lower income households, as defined in Section 50079.5 of the Health and Safety Code, with an affordable sales price or an affordable rent, as defined in Section 50052.5 or 50053 of the Health and Safety Code, for 55 years for rental housing, 45 years for ownership housing, and 50 years for rental or ownership housing located on tribal trust lands, unless a local ordinance or a federal, state, or local grant, tax credit, or other project financing requires a longer period of affordability, and in no event shall the maximum affordable sales price or rent level be higher than 20 percent below the median market rents or sales prices for the neighborhood in which the site is located.
- (ii) The requirements of clause (i) shall be contained in a covenant or restriction recorded against the surplus land at the time of sale that shall run with the land and be enforceable against any owner who violates the covenant or restriction and each successor in interest who continues the violation.
- (G) (i) Surplus land that is subject to a local agency's open, competitive solicitation or that is put to open, competitive bid by a local agency, provided that all entities identified in subdivision (a) of Section 54222 will be invited to participate in the process. for a housing or a mixed-use development that is more than one acre and less than 10 acres in area, consisting of either a single parcel, or two or more adjacent or non-adjacent parcels combined, that includes not less than 300 residential units, and that restricts at least 25 percent of the residential units to lower income households, as defined in Section 50079.5 of the Health and Safety Code, with an affordable sales price or an affordable rent, as defined in Sections 50052.5 and 50053 of the Health and Safety Code, for 55 years for rental housing, 45 years for ownership housing, and 50 years for rental or ownership housing located on tribal trust lands, unless a local ordinance or a federal, state, or local grant, tax credit, or other project financing requires a longer period of affordability.

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(ii) The requirements of clause (i) shall be contained in a covenant or restriction recorded against the surplus land at the time of sale that shall run with the land and be enforceable against any owner who violates the covenant or restriction and each successor in interest who continues the violation.

- (H) (i) Surplus land totaling 10 or more acres, consisting of either a single parcel, or two or more adjacent or non-adjacent parcels combined for disposition to one or more buyers pursuant to a plan or ordinance adopted by the legislative body of the local agency, or a state statute. That surplus land shall be subject to a local agency's open, competitive solicitation process or put out to open, competitive bid by a local agency, provided that all entities identified in subdivision (a) of Section 54222 will be invited to participate in the process for a housing or mixed-use development.
- (ii) The aggregate development shall include the greater of the following:
 - (I) Not less than 300 residential units.

- (II) A number of residential units equal to 10 times the number of acres of the surplus land or 10,000 residential units, whichever is less.
- (iii) At least 25 percent of the residential units shall be restricted to lower income households, as defined in Section 50079.5 of the Health and Safety Code, with an affordable sales price or an affordable rent pursuant to Sections 50052.5 and 50053 of the Health and Safety Code, for a minimum of 55 years for rental housing, 45 years for ownership housing, and 50 years for rental or ownership housing located on tribal trust lands, unless a local ordinance or a federal, state, or local grant, tax credit, or other project financing requires a longer period of affordability.
- (iv) If nonresidential development is included in the development pursuant to this subparagraph, at least 25 percent of the total planned units affordable to lower income households shall be made available for lease or sale and permitted for use and occupancy before or at the same time with every 25 percent of nonresidential development made available for lease or sale and permitted for use and occupancy.
- (v) A violation of this subparagraph is subject to the penalties described in Section 54230.5. Those penalties are in addition to any remedy a court may order for violation of this subparagraph. A local agency shall only dispose of land pursuant to this

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subparagraph through a disposition and development agreement that includes an indemnification clause that provides that if an action occurs after disposition violates this subparagraph, the person or entity that acquired the property shall be liable for the penalties.

- (vi) The requirements of clauses (i) to (v), inclusive, shall be contained in a covenant or restriction recorded against the surplus land at the time of sale that shall run with the land and be enforceable against any owner who violates the covenant or restriction and each successor in interest who continues the violation.
- (I) A mixed-use development, which may include more than one publicly owned parcel, that meets all of the following conditions:
- (i) The development restricts at least 25 percent of the residential units to lower income households, as defined in Section 50079.5 of the Health and Safety Code, with an affordable sales price or an affordable rent, as defined in Sections 50052.5 and 50053 of the Health and Safety Code, for 55 years for rental housing, 45 years for ownership housing, and 50 years for rental or ownership housing located on tribal trust lands, unless a local ordinance or a federal, state, or local grant, tax credit, or other project financing requires a longer period of affordability.
- (ii) At least 50 percent of the square footage of the new construction associated with the development is designated for residential use.
- (iii) The development is not located in an urbanized area, as defined in Section 21094.5 of the Public Resources Code.
- (J) (i) Surplus land that is subject to a valid legal restriction that is not imposed by the local agency and that makes housing prohibited, unless there is a feasible method to satisfactorily mitigate or avoid the prohibition on the site. A declaration of exemption pursuant to this subparagraph shall be supported by documentary evidence establishing the valid legal restriction. For the purposes of this section, "documentary evidence" includes, but is not limited to, a contract, agreement, deed restriction, statute, regulation, or other writing that documents the valid legal restriction.
- (ii) Valid legal restrictions include, but are not limited to, all of the following:

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(I) Existing constraints under ownership rights or contractual rights or obligations that prevent the use of the property for housing, if the rights or obligations were agreed to prior to September 30, 2019.

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- (II) Conservation or other easements or encumbrances that prevent housing development.
- (III) Existing leases, or other contractual obligations or restrictions, if the terms were agreed to prior to September 30, 2019.
- (IV) Restrictions imposed by the source of funding that a local agency used to purchase a property, provided that both of the following requirements are met:
- (ia) The restrictions limit the use of those funds to purposes other than housing.
- (ib) The proposed disposal of surplus land meets a use consistent with that purpose.
- (iii) Valid legal restrictions that would make housing prohibited do not include either of the following:
- (I) An existing nonresidential land use designation on the surplus land.
- (II) Covenants, restrictions, or other conditions on the property rendered void and unenforceable by any other law, including, but not limited to, Section 714.6 of the Civil Code.
- (iv) Feasible methods to mitigate or avoid a valid legal restriction on the site do not include a requirement that the local agency acquire additional property rights or property interests belonging to third parties.
- (K) Surplus land that was granted by the state in trust to a local agency or that was acquired by the local agency for trust purposes by purchase or exchange, and for which disposal of the land is authorized or required subject to conditions established by statute.
- (L) Land that is subject to either of the following, unless compliance with this article is expressly required:
- (i) Section 17388, 17515, 17536, 81192, 81397, 81399, 81420, or 81422 of the Education Code.
- (ii) Part 14 (commencing with Section 53570) of Division 31 of the Health and Safety Code.
- 38 (M) Surplus land that is a former military base that was 39 conveyed by the federal government to a local agency, and is 40 subject to Article 8 (commencing with Section 33492.125) of

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1 Chapter 4.5 of Part 1 of Division 24 of the Health and Safety Code, 2 provided that all of the following conditions are met:

- (i) The former military base has an aggregate area greater than five acres, is expected to include a mix of residential and nonresidential uses, and is expected to include no fewer than 1,400 residential units upon completion of development or redevelopment of the former military base.
- (ii) The affordability requirements for residential units shall be governed by a settlement agreement entered into prior to September 1, 2020. Furthermore, at least 25 percent of the initial 1,400 residential units developed shall be restricted to lower income households, as defined in Section 50079.5 of the Health and Safety Code, with an affordable sales price or an affordable rent, as defined in Sections 50052.5 and 50053 of the Health and Safety Code, for 55 years for rental housing, 45 years for ownership housing, and 50 years for rental or ownership housing located on tribal trust lands, unless a local ordinance or a federal, state, or local grant, tax credit, or other project financing requires a longer period of affordability.
- (iii) Before disposition of the surplus land, the agency adopts written findings that the land is exempt surplus land pursuant to this subparagraph.
- (iv) Before disposition of the surplus land, the recipient has negotiated a project labor agreement consistent with the local agency's project stabilization agreement resolution, as adopted on February 2, 2021, and any succeeding ordinance, resolution, or policy, regardless of the length of the agreement between the local agency and the recipient.
- (v) The agency includes in the annual report required by paragraph (2) of subdivision (a) of Section 65400 the status of development of residential units on the former military base, including the total number of residential units that have been permitted and what percentage of those residential units are restricted for persons and families of low or moderate income, or lower income households, as defined in Section 50079.5 of the Health and Safety Code.

A violation of this subparagraph is subject to the penalties described in Section 54230.5. Those penalties are in addition to any remedy a court may order for violation of this subparagraph or the settlement agreement.

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(N) Real property that is used by a district for an agency's use expressly authorized in subdivision (c).

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- 3 (O) Land that has been transferred before June 30, 2019, by the 4 state to a local agency pursuant to Section 32667 of the Streets 5 and Highways Code and has a minimum planned residential density 6 of at least 100 dwelling units per acre, and includes 100 or more 7 residential units that are restricted to persons and families of low 8 or moderate income, with an affordable sales price or an affordable rent, as defined in Sections 50052.5 and 50053 of the Health and 10 Safety Code, for 55 years for rental housing, 45 years for ownership 11 housing, and 50 years for rental or ownership housing located on 12 tribal trust lands, unless a local ordinance or a federal, state, or 13 local grant, tax credit, or other project financing requires a longer 14 period of affordability. For purposes of this subparagraph, not 15 more than 20 percent of the affordable units may be restricted to 16 persons and families of moderate income and at least 80 percent 17 of the affordable units must be restricted to lower income 18 households as defined in Section 50079.5 of the Health and Safety 19 Code.
 - (P) (i) Land that meets the following conditions:
 - (I) Land that is subject to a sectional planning area document that meets both of the following:
 - (ia) The sectional planning area was adopted prior to January 1, 2019.
 - (ib) The sectional planning area document is consistent with county and city general plans applicable to the land.
 - (II) The land identified in the adopted sectional planning area document was dedicated prior to January 1, 2019.
 - (III) On January 1, 2019, the parcels on the land met at least one of the following conditions:
 - (ia) The land was subject to an irrevocable offer of dedication of fee interest requiring the land to be used for a specified purpose.
 - (ib) The land was acquired through a land exchange subject to a land offer agreement that grants the land's original owner the right to repurchase the land acquired by the local agency pursuant to the agreement if the land will not be developed in a manner consistent with the agreement.
 - (ic) The land was subject to a grant deed specifying that the property shall be used for educational uses and limiting other types of uses allowed on the property.

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(IV) At least 25 percent of the units are dedicated to lower income households, as defined in Section 50079.5 of the Health and Safety Code, at an affordable rent, as defined by Section 50053 of the Health and Safety Code, or an affordable housing cost, as defined by Section 50052.5 of the Health and Safety Code, and subject to a recorded deed restriction for a period of 55 years for rental units and 45 years for owner-occupied units, unless a local ordinance or a federal, state, or local grant, tax credit, or other project financing requires a longer period of affordability.

- (V) The land is developed at an average density of at least 10 units per acre, calculated with respect to the entire sectional planning area.
- (VI) No more than 25 percent of the nonresidential square footage identified in the sectional planning area document receives its first certificate of occupancy before at least 25 percent of the residential square footage identified in the sectional planning area document has received its first certificate of occupancy.
- (VII) No more than 50 percent of the nonresidential square footage identified in the sectional planning area document receives its first certificate of occupancy before at least 50 percent of the residential square footage identified in the sectional planning area document has received its first certificate of occupancy.
- (VIII) No more than 75 percent of the nonresidential square footage identified in the sectional planning area document shall receive its first certificate of occupancy before at least 75 percent of the residential square footage identified in the sectional planning area document has received its first certificate of occupancy.
- (ii) The local agency includes in the annual report required by paragraph (2) of subdivision (a) of Section 65400 the status of development, including the total square footage of the residential and nonresidential development, the number of residential units that have been permitted, and what percentage of those residential units are restricted for persons and families of low or moderate income, or lower income households, as defined in Section 50079.5 of the Health and Safety Code.
- (iii) The Department of Housing and Community Development may request additional information from the agency regarding land disposed of pursuant to this subparagraph.
- (iv) At least 30 days prior to disposing of land declared "exempt surplus land," a local agency shall provide the Department of

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Housing and Community Development a written notification of

- its declaration and findings in a form prescribed by the Department
- 3 of Housing and Community Development. Within 30 days of
- 4 receipt of the written notification and findings, the department
- 5 shall notify the local agency if the department has determined that
- 6 the local agency is in violation of this article. A local agency that
- fails to submit the written notification and findings shall be liable
- 8 for a civil penalty pursuant to this subparagraph. A local agency
- shall not be liable for the civil penalty if the Department of Housing
- 10 and Community Development does not notify the agency that the
- 11 agency is in violation of this article within 30 days of receiving
- 12 the written notification and findings. Once the department
- 13 determines that the declarations and findings comply with
- 14 subclauses (I) to (IV), inclusive, of clause (i), the local agency
- 15 may proceed with disposal of land pursuant to this subparagraph. 16

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- This clause is declaratory of, and not a change in, existing law.
- (v) If the local agency disposes of land in violation of this subparagraph, the local agency shall be liable for a civil penalty calculated as follows:
- (I) For a first violation, 30 percent of the greater of the final sale price or the fair market value of the land at the time of disposition.
- (II) For a second or subsequent violation, 50 percent of the greater of the final sale price or the fair market value of the land at the time of disposition.
- (III) For purposes of this subparagraph, fair market value shall be determined by an independent appraisal of the land.
- (IV) An action to enforce this subparagraph may be brought by any of the following:
- 30 (ia) An entity identified in subdivisions (a) to (e), inclusive, of 31 Section 54222.
 - (ib) A person who would have been eligible to apply for residency in affordable housing had the agency not violated this section.
- 35 (ic) A housing organization, as that term is defined in Section 36 65589.5.
 - (id) A beneficially interested person or entity.
 - (ie) The Department of Housing and Community Development.
- 39 (V) A penalty assessed pursuant to this subparagraph shall, 40 except as otherwise provided, be deposited into a local housing

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trust fund. The local agency may elect to instead deposit the penalty 1 2 moneys into the Building Homes and Jobs Trust Fund or the 3 Housing Rehabilitation Loan Fund. Penalties shall not be paid out 4 of funds already dedicated to affordable housing, including, but not limited to, Low and Moderate Income Housing Asset Funds, 6 dedicated to housing for very low, low-, and 7 moderate-income households, and federal HOME Investment Partnerships Program and Community Development Block Grant Program funds. The local agency shall commit and expend the penalty moneys deposited into the local housing trust fund within 10 five years of deposit for the sole purpose of financing newly 11 12 constructed housing units that are affordable to extremely low, 13 very low, or low-income households.

- (VI) Five years after deposit of the penalty moneys into the local housing trust fund, if the funds have not been expended, the funds shall revert to the state and be deposited in the Building Homes and Jobs Trust Fund or the Housing Rehabilitation Loan Fund for the sole purpose of financing newly constructed housing units located in the same jurisdiction as the surplus land and that are affordable to extremely low, very low, or low-income households. Expenditure of any penalty moneys deposited into the Building Homes and Jobs Trust Fund or the Housing Rehabilitation Loan Fund pursuant to this subdivision shall be subject to appropriation by the Legislature.
- (vi) For purposes of this subparagraph, the following definitions apply:
- (I) "Sectional planning area" means an area composed of identifiable planning units, within which common services and facilities, a strong internal unity, and an integrated pattern of land use, circulation, and townscape planning are readily achievable.
- (II) "Sectional planning area document" means a document or plan that sets forth, at minimum, a site utilization plan of the sectional planning area and development standards for each land use area and designation.
- (vii) This subparagraph shall become inoperative on January 1, 2034.
- (Q) Land that is owned by a California public-use airport on
 which residential uses are prohibited pursuant to Federal Aviation
 Administration Order 5190.6B, Airport Compliance Program,
 Chapter 20 Compatible Land Use and Airspace Protection.

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(R) Land that is transferred to a community land trust, and all of the following conditions are met:

- (i) The property is being or will be developed or rehabilitated as any of the following:
 - (I) An owner-occupied single-family dwelling.
 - (II) An owner-occupied unit in a multifamily dwelling.
- (III) A member-occupied unit in a limited equity housing cooperative.
 - (IV) A rental housing development.

- (ii) Improvements on the property are or will be available for use and ownership or for rent by qualified persons, as defined in paragraph (6) of subdivision (c) of Section 214.18 of the Revenue and Taxation Code.
- (iii) (I) A deed restriction or other instrument, requiring a contract or contracts serving as an enforceable restriction on the sale or resale value of owner-occupied units or on the affordability of rental units is recorded on or before the lien date following the acquisition of the property by the community land trust.
- (II) For the purpose of this clause, the following definitions apply:
- (ia) "A contract or contracts serving as an enforceable restriction on the sale or resale value of owner-occupied units" means a contract described in paragraph (11) of subdivision (a) of Section 402.1 of the Revenue and Taxation Code.
- (ib) "A contract or contracts serving as an enforceable restriction on the affordability of rental units" means an enforceable and verifiable agreement with a public agency, a recorded deed restriction, or other legal document described in subparagraph (A) of paragraph (2) of subdivision (g) of Section 214 of the Revenue and Taxation Code.
- (iv) A copy of the deed restriction or other instrument shall be provided to the assessor.
- (S) (i) For local agencies whose primary mission or purpose is to supply the public with a transportation system, surplus land that is developed for commercial or industrial uses or activities, including nongovernmental retail, entertainment, or office development or for the sole purpose of investment or generation of revenue, if the agency meets all of the following conditions:
- (I) The agency has an adopted land use plan or policy that designates at least 50 percent of the gross acreage covered by the

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adopted land use plan or policy for residential purposes. The adopted land use plan or policy shall also require the development of at least 300 residential units, or at least 10 residential units per gross acre, averaged across all land covered by the land use plan or policy, whichever is greater.

- (II) The agency has an adopted land use plan or policy that requires at least 25 percent of all residential units to be developed on the parcels covered by the adopted land use plan or policy made available to lower income households, as defined in Section 50079 of the Health and Safety Code, at an affordable sales price or rented at an affordable rent, as defined in Sections 50052.5 and 50053 of the Health and Safety Code, for 55 years for rental housing and 45 years for ownership housing, unless a local ordinance or the terms of a federal, state, or local grant, tax credit, or other project financing requires a longer period of affordability. These terms shall be included in the land use plan or policy and dictate that they will be contained in a covenant or restriction recorded against the surplus land at the time of disposition that shall run with the land and be enforceable against any owner or lessee who violates the covenant or restriction and each successor in interest who continues the violation.
- (III) Land disposed of for residential purposes shall issue a competitive request for proposals subject to the local agency's open, competitive solicitation process or put out to open, competitive bid by the local agency, provided that all entities identified in subdivision (a) of Section 54222 are invited to participate.
- (IV) Prior to entering into an agreement to dispose of a parcel for nonresidential development on land designated for the purposes authorized pursuant to this subparagraph in an agency's adopted land use plan or policy, the agency, since January 1, 2020, must have entered into an agreement to dispose of a minimum of 25 percent of the land designated for affordable housing pursuant to subclause (II).
- (ii) The agency may exempt at one time all parcels covered by the adopted land use plan or policy pursuant to this subparagraph.
- (2) Notwithstanding paragraph (1), a written notice of the availability of surplus land for open-space purposes shall be sent to the entities described in subdivision (b) of Section 54222 before disposing of the surplus land, provided the land does not meet the

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1 criteria in subparagraph (H) of paragraph (1), if the land is any of 2 the following:

- (A) Within a coastal zone.
- (B) Adjacent to a historical unit of the State Parks System.
- (C) Listed on, or determined by the State Office of Historic Preservation to be eligible for, the National Register of Historic Places.
 - (D) Within the Lake Tahoe region as defined in Section 66905.5.
- (g) "Persons and families of low or moderate income" has the same meaning as provided in Section 50093 of the Health and Safety Code.
- SEC. 2. Chapter 4.1.5 (commencing with Section 65912.155) is added to Division 1 of Title 7 of the Government Code, to read:

Chapter 4.1.5. Transit-Oriented Development

- 65912.155. The Legislature finds and declares all of the following:
- (a) California faces a housing shortage both acute and chronic, particularly in areas with access to robust public transit infrastructure.
- (b) Building more homes near transit access reduces housing and transportation costs for California families, and promotes environmental sustainability, economic growth, and reduced traffic congestion.
- (c) Public transit systems require sustainable funding to provide reliable service, especially in areas experiencing increased density and ridership. The state does not invest in public transit service to the same degree as it does in roads, and the state funds a smaller proportion of the state's major transit agencies' operations costs than other states with comparable systems. Transit systems in other countries derive significant revenue from transit-oriented development at and near their stations.
- 65912.156. For purposes of this chapter, the following definitions apply:
- (a) "Adjacent" means sharing a property line with a transit stop, including any parcels that serve a parking or circulation purpose related to the stop.

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(b) "Commuter rail" means a rail transit service not meeting the standards for heavy rail or light rail, excluding California High-Speed Rail and Amtrak Long Distance Service.

- (c) "Department" means the Department of Housing and Community Development.
- (d) "Frequent commuter rail" means a commuter rail service with a total of at least 24 daily trains per weekday across both directions and not meeting the standard for very high or high-frequency commuter rail at any point in the past three years.
- (e) "Heavy rail transit" means an electric railway with the capacity for a heavy volume of traffic using high-speed and rapid acceleration passenger rail cars operating singly or in multicar trains on fixed rails, separate rights-of-way from which all other vehicular and foot traffic are excluded, and high platform loading.
- (f) "High-frequency commuter rail" means a commuter rail service operating a total of at least 48 trains per day across both directions at any point in the past three years.
- (g) "High-resource area" means a highest resource or high-resource neighborhood opportunity area, as used in the opportunity area maps published annually by the California Tax Credit Allocation Committee and the department.
- (h) "Housing development project" has the same meaning as defined in Section 65589.5.
- (i) "Light rail transit" includes streetcar, trolley, and tramway service.
- (j) "Net habitable square footage" means the finished and heated floor area fully enclosed by the inside surface of walls, windows, doors, and partitions, and having a headroom of at least six and one-half feet, including working, living, eating, cooking, sleeping, stair, hall, service, and storage areas, but excluding garages, carports, parking spaces, cellars, half-stories, and unfinished attics and basements.
- (k) "Rail transit" has the same meaning as defined in Section 99602 of the Public Utilities Code.
- (*l*) "Residential floor area ratio" means the ratio of net habitable square footage dedicated to residential use to the area of the lot.
- (m) "Tier 1 transit-oriented development stop" means a major transit stop, as defined by Section 21155 of the Public Resources Code, served by heavy rail transit or very high frequency commuter rail.

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(n) "Tier 2 transit-oriented development stop" means a major transit stop, as defined by Section 21155 of the Public Resources Code, excluding a Tier 1 transit-oriented development stop, served by light rail transit, by high-frequency commuter rail, or by bus service meeting the standards of paragraph (1) of subdivision (a) of Section 21060.2 of the Public Resources Code.

- (o) "Tier 3 transit-oriented development stop" means a major transit stop, as defined by Section 21155 of the Public Resources Code, excluding a Tier 1 or Tier 2 transit-oriented development stop, served by frequent commuter rail service or by ferry service.
- (p) "Transit-oriented development stop" means a major transit stop, as defined by Section 21155 of the Public Resources Code, excluding any stop served by rail transit with a frequency of fewer than 10 total trains per weekday.
- (q) "Very high frequency commuter rail" means a commuter rail service with a total of at least 72 trains per day across both directions at any point in the past three years.
- 65912.157. (a) A housing development project within one-half or one-quarter mile of a transit-oriented development stop shall be an allowed use on any site zoned for residential, mixed, commercial, or light industrial development, if the development complies with the applicable of all of the following requirements:
- (1) For a residential development within one-quarter mile of a Tier 1 transit-oriented development stop, all of the following apply:
- (A) A development may be built up to 75 feet high, or up to the local height limit, whichever is greater. If a development proposes a height under this subparagraph in excess of the local height limit, then a local government shall not be required to grant a waiver, incentive, or concession pursuant to Section 65915 for additional height beyond that specified under this subparagraph, except as provided in subparagraph (D) of paragraph (2) of subdivision (d) of Section 65915.
- (B) A local government shall not impose any maximum density of less than 120 dwelling units per acre. The development proponent may seek a further increased density in accordance with applicable density bonus law.
- (C) A local government shall not enforce any other local development standard or combination of standards that would prevent achieving a residential floor area ratio of up to 3.5.

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(D) A development that otherwise meets the eligibility requirements of Section 65915, including, but not limited to, affordability requirements, shall be eligible for three additional concessions pursuant to Section 65915.

- (2) For a residential development further than one-quarter mile but within one-half mile of a Tier 1 transit-oriented development stop, all of the following apply:
- (A) A development may be built up to 65 feet high, or up to the local height limit, whichever is greater. If a development proposes a height under this subparagraph in excess of the local height limit, then a local government shall not be required to grant a waiver, incentive, or concession pursuant to Section 65915 for additional height beyond that specified under this subparagraph, except as provided in subparagraph (D) of paragraph (2) of subdivision (d) of Section 65915.
- (B) A local government shall not impose any maximum density standard of less than 100 dwelling units per acre. The development proponent may seek a further increased density in accordance with applicable density bonus law.
- (C) A local government shall not enforce any other local development standard or combination of standards that would prevent achieving a residential floor area ratio of up to 3.
- (D) A development that otherwise meets the eligibility requirements of Section 65915, including, but not limited to, affordability requirements, shall be eligible for two additional concessions pursuant to Section 65915.
- (3) For a residential development within one-quarter mile of a Tier 2 transit-oriented development stop, all of the following apply:
- (A) A development may be built up to 65 feet high, or up to the local height limit, whichever is greater. If a development proposes a height under this subparagraph in excess of the local height limit, then a local government shall not be required to grant a waiver, incentive, or concession pursuant to Section 65915 for additional height beyond that specified under this subparagraph, except as provided in subparagraph (D) of paragraph (2) of subdivision (d) of Section 65915.
- (B) A local government shall not impose any maximum density standard of less than 100 dwelling units per acre. The development proponent may seek a further increased density in accordance with applicable density bonus law.

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(C) A local government shall not enforce any other local development standard or combination of standards that would prevent achieving a residential floor area ratio of up to 3.

- (D) A development that otherwise meets the eligibility requirements of Section 65915, including, but not limited to, affordability requirements, shall be eligible for two additional concessions pursuant to Section 65915.
- (4) For a residential development further than one-quarter mile but within one-half mile of a Tier 2 transit-oriented development stop, all of the following apply:
- (A) A development may be built up to 55 feet high, or up to the local height limit, whichever is greater. If a development proposes a height under this subparagraph in excess of the local height limit, then a local government shall not be required to grant a waiver, incentive, or concession pursuant to Section 65915 for additional height beyond that specified under this subparagraph, except as provided in subparagraph (D) of paragraph (2) of subdivision (d) of Section 65915.
- (B) A local government shall not impose any maximum density standard of less than 80 dwelling units per acre. The development proponent may seek a further increased density in accordance with applicable density bonus law.
- (C) A local government shall not enforce any other local development standard or combination of standards that would prevent achieving a residential floor area ratio of up to 2.5.
- (D) A development that otherwise meets the eligibility requirements of Section 65915, including, but not limited to, affordability requirements, shall be eligible for one additional concession pursuant to Section 65915.
- (5) For a residential development within one-quarter mile of a Tier 3 transit-oriented development stop, all of the following apply:
- (A) A development may be built up to 55 feet high, or up to the local height limit, whichever is greater. If a development proposes a height under this subparagraph in excess of the local height limit, then a local government shall not be required to grant a waiver, incentive, or concession pursuant to Section 65915 for additional height beyond that specified under this subparagraph, except as provided in subparagraph (D) of paragraph (2) of subdivision (d) of Section 65915.

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(B) A local government shall not impose any maximum density standard of less than 80 dwelling units per acre. The development proponent may seek a further increased density in accordance with applicable density bonus law.

- (C) A local government shall not enforce any other local development standard or combination of standards that would prevent achieving a residential floor area ratio of up to 2.5.
- (D) A development that otherwise meets the eligibility requirements of Section 65915, including, but not limited to, affordability requirements, shall be eligible for one additional concession pursuant to Section 65915.
- (6) For a residential development further than one-quarter mile but within one-half mile of a Tier 3 transit-oriented development stop, all of the following apply:
- (A) A development may be built up to 45 feet high, or up to the local height limit, whichever is greater. If a development proposes a height under this subparagraph in excess of the local height limit, then a local government shall not be required to grant a waiver, incentive, or concession pursuant to Section 65915 for additional height beyond that specified under this subparagraph, except as provided in subparagraph (D) of paragraph (2) of subdivision (d) of Section 65915.
- (B) A local government shall not impose any maximum density standard of less than 60 dwelling units per acre. The development proponent may seek a further increased density in accordance with applicable density bonus law.
- (C) A local government shall not enforce any other local development standard or combination of standards that would prevent achieving a residential floor area ratio of up to 2.
- (b) Notwithstanding any other law, a housing development project that meets any of the eligibility criteria under subdivision (a) and is immediately adjacent to a Tier 1, Tier 2, or Tier 3 transit-oriented development stop shall be eligible for an adjacency intensifier to increase the height limit by an additional 20 feet, the maximum density standard by an additional 40 dwelling units per acre, and the residential floor area ratio by 1.
- (c) A development proposed pursuant to this section shall comply with the antidisplacement requirements of Section 66300.6. This subdivision shall apply to any city or county.

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(d) For purposes of subdivision (j) of Section 65589.5, a proposed housing development project that is consistent with the applicable standards from this chapter shall be deemed consistent, compliant, and in conformity with an applicable plan, program, policy, ordinance, standard, requirement, or other similar provision.

- (e) A local government that denies a housing development project meeting the requirements of this section that is located in a high-resource area shall be presumed to be in violation of the Housing Accountability Act (Section 65589.5) and immediately liable for penalties pursuant to subparagraph (B) of paragraph (1) of subdivision (k) of Section 65589.5, unless the local government demonstrates, pursuant to the standards in subdivisions (j) and (o) of Section 65589.5, that it has a health, life, or safety reason for denying the project.
- 65912.158. Notwithstanding any other provision of this chapter, a transit agency may adopt objective standards for both residential and commercial developments proposed to be constructed on land owned by the transit agency or on which the transit agency has a permanent operating easement, if the objective standards allow for the same or greater development intensity as that allowed by local standards or applicable state law.
- 65912.159. A housing development project proposed pursuant to Section 65912.157 shall be eligible for streamlined ministerial approval pursuant to Section 65913.4 in accordance with all of the following:
- (a) The proposed project shall be exempt from subparagraph (A) of paragraph (4) of, paragraph (5) of, and clause (iv) of subparagraph (A) of paragraph (6) of, subdivision (a) of Section 65913.4.
- (b) The proposed project shall comply with the affordability requirements in subclauses (I) through (III), inclusive, of clause (i) of subparagraph (B) of paragraph (4) of subdivision (a) of Section 65913.4.
- (c) The proposed project shall comply with all other requirements of Section 65913.4, including, but not limited to, the prohibition against a site that is within a very high fire hazard severity zone, pursuant to subparagraph (D) of paragraph (6) of subdivision (a) of Section 65913.4.
- 65912.160. (a) The department shall oversee compliance with this chapter, including, but not limited to, promulgating standards

 $SB 79 \qquad \qquad -26-$

on how to account for capacity pursuant to this chapter in a city or county's inventory of land suitable for residential development, pursuant to Section 65583.2.

- (b) (1) A local government may adopt an ordinance to implement the provisions of this chapter, which may include revisions to applicable zoning requirements on individual sites within a transit-oriented development zone, provided that those revisions maintain the average density allowed for the applicable tier, or up to a 100-percent increase, subject to review by the department pursuant to paragraph (3).
- (2) An ordinance adopted to implement this section shall not be considered a project under Division 13 (commencing with Section 21000) of the Public Resources Code.
- (3) (A) A local government shall submit a copy of any ordinance adopted pursuant to this section to the department within 60 days of adoption.
- (B) Upon receipt of an ordinance pursuant to this paragraph, the department shall review that ordinance and determine whether it complies with this section. If the department determines that the ordinance does not comply with this section, the department shall notify the local government in writing and provide the local government a reasonable time, not to exceed 30 days, to respond before taking further action as authorized by this section.
- (C) The local government shall consider any findings made by the department pursuant to subparagraph (B) and shall do one of the following:
 - (i) Amend the ordinance to comply with this section.
- (ii) Adopt the ordinance without changes. The local government shall include findings in its resolution adopting the ordinance that explain the reasons the local government believes that the ordinance complies with this section despite the findings of the department.
- (D) If the local government does not amend its ordinance in response to the department's findings or does not adopt a resolution with findings explaining the reason the ordinance complies with this chapter and addressing the department's findings, the department shall notify the local government and may notify the Attorney General that the local government is in violation of this section.

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65912.161. The Legislature finds and declares that the state faces a housing crisis of availability and affordability, in large part due to a severe shortage of housing, and solving the housing crisis therefore requires a multifaceted, statewide approach, including, but not limited to, encouraging an increase in the overall supply of housing, encouraging the development of housing that is affordable to households at all income levels, removing barriers to housing production, expanding homeownership opportunities, and expanding the availability of rental housing, and is a matter of statewide concern and is not a municipal affair as that term is used in Section 5 of Article XI of the California Constitution. Therefore, this chapter applies to all cities, including charter cities. SEC. 3. Section 21080.26.5 is added to the Public Resources

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39 40 Code, to read:

21080.26.5. (a) For the purposes of this section, "public project" means a project constructed by either a public agency or private entity, that, upon the completion of the construction, will be operated by a public agency.

- (b) This division shall not apply to a public or private residential, commercial, or mixed-used project that, at the time the project application is filed, is located entirely or principally on land owned by a public transit agency, or fully or partially encumbered by an existing operating easement in favor of a public transit agency, and that includes at least one of the following:
- (1) A project component identified in paragraphs (1) to (5), inclusive, or paragraph (7) of subdivision (b) of Section 21080.25.
- (2) A public project for passenger rail service facilities, other than light rail service eligible under paragraph (5) of subdivision of Section 21080.25, including the construction, reconfiguration, or rehabilitation of stations, terminals, rails, platforms, or existing operations facilities, which will be exclusively used by zero-emission or electric trains. The project shall be located on land owned by a public transit agency, or land fully or partially encumbered by an existing operating easement in favor of a public transit agency, at the time the project application is filed.
- (3) An agreement between the project applicant and public transit agency that owns the land or has the permanent operating easement to finance transit capital infrastructure, transit maintenance, or transit operations, including through a proposed

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public financing district, community financing district, or tax increment generated by the project.

(c) If a project described in subdivision (b) requires the construction of new passenger rail storage and maintenance facilities at a publicly or privately owned offsite location distinct from the principal project site, then that project shall be considered a wholly separate project from the project described in subdivision (b) and shall not be exempt from this division. Any required environmental review shall not affect or render invalid the exemption provided in subdivision (b), regardless of whether the project described in subdivision (b) cannot proceed unless the offsite facilities are constructed.

SEC. 4. No reimbursement is required by this act pursuant to Section 6 of Article XIIIB of the California Constitution because a local government or school district has the authority to levy service charges, fees, or assessments sufficient to pay for the program or level of service mandated by this act, within the meaning of Section 17556 of the Government Code.

NOTE – The Legislature has a new letter submission process that requires ALL LETTERS TO BE UPLOADED INTO A NEW ELECTRONIC PORTAL. The portal will automatically send letters to the author's office and the committee(s) of jurisdiction. Please visit https://calegislation.lc.ca.gov/advocates/ to create an account and upload this letter. If you are having difficulty accessing the portal, please contact Meg at our office mdesmond@calcities.org.

In addition to submitting the letter through the portal, please send a physical copy to your Legislator(s), and continue to send a copy by email to your Regional Public Affairs Manager, and the Cal Cities city letter account (cityletters@cacities.org).

CITY LETTERHEAD

DATE

The Honorable Scott Wiener Senator, California State Senate 1021 O St, Suite 8620 Sacramento, CA 95814

RE: SB 79 (Wiener) Transit-oriented Development
Notice of Opposition

Dear Senator Wiener,

The City/Town of _____ writes to express our strong opposition to your SB 79 (Wiener), which would disregard state-certified housing elements and bestow land use authority to transit agencies without any requirement that developers build housing, let alone affordable housing.

SB 79 doubles down on the recent trend of the state overriding its own mandated local housing elements. This latest overreaching effort forces cities to approve transit-oriented development projects near specified transit stops — up to seven stories high and a density of 120 homes per acre — without regard to the community's needs, environmental review, or public input.

PLEASE CITE SPECIFIC REASONS OF HOW YOUR CITY WILL BE AFFECTED BY THIS BILL.

Most alarmingly, SB 79 defies cities' general plans and provides transit agencies unlimited land use authority on property they own or have a permanent easement, regardless of the distance from a transit stop. Transit agencies would have the power to determine all aspects of the development including height, density, and design, without any regard to local zoning or planning.

This broad new authority applies to both residential and commercial development. Transit agencies could develop 100% commercial projects — even at transit stops — and not provide a

single new home, while simultaneously making the argument that more housing must be constructed around transit stops. City/Town of _____ appreciates and respects your desire to pursue a housing production proposal. However, as currently drafted, SB 79 will not spur much-needed housing construction in a manner that supports local flexibility, decision-making, and community input. State-driven ministerial or by-right housing approval processes fail to recognize the extensive public engagement associated with developing and adopting zoning ordinances and housing elements. California will never produce the number of homes needed with an increasingly state-driven, byright housing approval process. What we really need is a sustainable state investment that matches the scale of this decades-in-the-making crisis. For these reasons, the City/Town of strongly opposes SB 79. Sincerely, NAME TITLE CITY/TOWN of _____ Your Senator & Assembly Member CC. Your League Regional Public Affairs Manager (via email) League of California Cities, cityletters@cacities.org



CITY OF OCEANSIDE

April 7, 2025

The Honorable Scott Wiener Senator, California State Senate 1021 O St, Suite 8620 Sacramento, CA 95814

RE: SB 79 (Wiener) Transit-oriented Development - Notice of Opposition

Dear Senator Wiener,

I write on behalf of the City of Oceanside to express strong opposition to your SB 79 (Wiener), which would disregard state-certified housing elements and bestow land use authority to transit agencies without any requirement that developers build housing, let alone affordable housing.

SB 79 doubles down on the recent trend of the state overriding its own mandated local housing elements. This latest overreaching effort forces cities to approve transit-oriented development projects near specified transit stops — up to seven stories high and a density of 120 homes per acre — without regard to the community's needs, environmental review, or public input.

Most alarmingly, SB 79 defies cities' general plans and provides transit agencies unlimited land use authority on property they own or have a permanent easement, regardless of the distance from a transit stop. Transit agencies would have the power to determine all aspects of the development including height, density, and design, without any regard to local zoning or planning. This broad new authority applies to both residential and commercial development. Transit agencies could develop 100% commercial projects — even at transit stops — and not provide a single new home.

The City of Oceanside respects your desire to pursue a housing production proposal. However, as currently drafted, SB 79 will not spur much-needed housing construction in a manner that supports local flexibility, decision-making, and community input. State-driven ministerial or by-right housing approval processes fail to recognize the extensive public engagement associated with developing and adopting zoning ordinances and housing elements. What we really need is a sustainable state investment that matches the scale of this decades-in-the-making crisis. For these reasons, the City of Oceanside strongly opposes SB 79.

Sincerely,



MAYOR

Cc: Oceanside City Council
Senator Catherine Blakespear & Assembly Member Laurie Davies
League of California Cities, cityletters@cacities.org



City Council CityHall@san-marcos.net

April 11, 2025

The Honorable Scott Wiener Senator, California State Senate 1021 O St, Suite 8620 Sacramento, CA 95814

RE: SB 79 (Wiener) Transit-oriented Development
Notice of Opposition

Dear Senator Wiener,

I write to express my strong opposition to your SB 79 (Wiener), which would disregard state-certified housing elements and bestow land use authority to transit agencies without any requirement that developers build housing, let alone affordable housing.

SB 79 doubles down on the recent trend of the state overriding its own mandated local housing elements. This latest overreaching effort forces cities to approve transit-oriented development projects near specified transit stops — up to seven stories high and a density of 120 homes per acre — without regard to the community's needs, environmental review, or public input.

San Marcos has many types of transit stops, and the Sprinter, a hybrid rail train that is part the North County Transit District (NCTD) travels through the city. While the city of San Marcos has an effective partnership with the NCTD, SB 79 would override our city's mandated local housing elements, and could force us to approve transit-oriented development projects near transit stops that are not suited for them.

Most alarmingly, SB 79 defies cities' general plans and provides transit agencies unlimited land use authority on property they own or have a permanent easement, regardless of the distance from a transit stop. Transit agencies would have the power to determine all aspects of the development including height, density, and design, without any regard to local zoning or planning.

This broad new authority applies to both residential and commercial development. Transit agencies could develop 100% commercial projects — even at transit stops — and not provide a single new home, while simultaneously making the argument that more housing must be constructed around transit stops.

I appreciate and respect your desire to pursue a housing production proposal. However, as currently drafted, SB 79 will not spur much-needed housing construction in a manner that supports local flexibility, decision-making, and community input. State-driven ministerial or by-right housing approval processes fail to recognize the extensive public engagement associated with developing and adopting zoning ordinances and housing elements.

California will never produce the number of homes needed with an increasingly state-driven, by-right housing approval process. What we really need is a sustainable state investment that matches the scale of this decades-in-the-making crisis. For these reasons, I strongly oppose SB 79.

www.san-marcos.net



Sincerely,

Rebecda D. Jones Mayor

cc: League of California Cities

CITY OF SOLANA BEACH

www.cityofsolanabeach.org

635 SOUTH HIGHWAY 101 * SOLANA BEACH, CA 92075 * (858) 720-2400 * Fax (858) 720-2455

April 15, 2025

The Honorable Scott Wiener Senator, California State Senate 1021 O St, Suite 8620 Sacramento, CA 95814

RE: <u>SB 79 (Wiener) Transit-oriented Development</u>
Notice of Opposition

Dear Senator Wiener,

The City of Solana Beach writes to express our strong opposition to your SB 79 (Wiener), which would not only disregard the City's compliance with and completion of state-certified housing elements, but also bestow land use authority to transit agencies and other private property owners without any coordination with the City.

SB 79 significantly extends housing streamlining in a manner that is harmful to the public – both current residents and future residents – by forcing cities to approve transit-oriented development projects near specified transit stops — up to seven stories high and a density of 120 homes per acre — without regard to the community's needs, environmental review, or public input.

While the station meets the requirements for Tier 3, the City of Solana Beach transit station is a limited use station that does not reflect a high commuter population and use. This station more typically supports visitor-serving Amtrak access, specifically for those visiting the coastal areas on the weekends and for holidays, and the Del Mar fairgrounds for seasonal events and programs. Further, this station is located within close proximity to the City's beaches and is not in a centralized location as is typically found in large cities and urbanized, commuter communities.

Additionally, upon close review of the proposed legislation, this legislation would create a significant disconnect between the housing and the necessary public services, public facilities and infrastructure necessary to support current and future residents. Specifically, limited water and sewer facilities within our City could be significantly impacted by development at greater intensity and density as would be permitted under this legislation. Further, requirements such as a water supply assessment or educational facility planning would be foregone if this legislation moves forward as proposed.

Most alarmingly, SB 79 defies cities' general plans and provides transit agencies and properties adjacent to transit properties land use authority. Further, it would permit transit agencies on property they own or have a permanent easement over, regardless of the

distance from a transit stop, land use authority and an exemption under CEQA for projects not transit related. This independent land use authority for housing would not be coordinated with essential public services and infrastructure that is provided for concurrent with development when processed via discretionary permits by cities.

This broad new authority applies to both residential and commercial development. Transit agencies could develop 100% commercial projects — even at transit stops — and not provide a single new home, while simultaneously making the argument that more housing must be constructed around transit stops.

The City of Solana Beach is a partner in the development of new housing for our current and future residents as shown in our over 300 units presently under construction. However, as currently drafted, SB 79 will not spur much-needed housing construction in a manner that supports local flexibility, decision-making, and community input. State-driven ministerial or by-right housing approval processes fail to recognize the extensive public engagement associated with developing and adopting zoning ordinances and housing elements, as well as consideration of the necessary public facilities, public services, and infrastructure. For these reasons, the City of Solana Beach strongly opposes SB 79.

Sincerely,

Lesa Heebner Mayor City of Solana Beach

cc. Senator Catherine Blakespear
Assembly Member Tasha Boerner
Catherine Hill, League Regional Public Affairs Manager
League of California Cities, <u>cityletters@cacities.org</u>



MAYOR & CITY COUNCIL

John B. Franklin Mayor

Katie Melendez Deputy Mayor

Corinna Contreras Councilmember

Dan O'Donnell Councilmember

Jeff Fox Councilmember

CITY MANAGER
John Conley

April 22, 2025

The Honorable Scott Wiener Senator, California State Senate 1021 O St, Suite 8620 Sacramento, CA 95814

RE: SB 79 (Wiener) Transit-oriented Development_Notice of Opposition

Dear Senator Wiener,

The City of Vista writes to express our strong opposition to your SB 79 (Wiener), which would disregard state-certified housing elements and bestow land use authority to transit agencies without any requirement that developers build housing, let alone affordable housing.

SB 79 doubles down on the recent trend of the state overriding its own mandated local housing elements. This latest overreaching effort forces cities to approve transit-oriented development projects near specified transit stops — up to seven stories high and a density of 120 homes per acre — without regard to the community's needs, environmental review, or public input.

The bill could reduce the city's ability to control the types of housing projects approved, potentially leading to developments that don't align with Vista's existing character or community needs. Reduced local control could lead to community backlash against projects that don't reflect local preferences or address community concerns. Streamlined approvals might result in higher-density projects that strain existing infrastructure, such as water, sewer, and traffic systems.

Most alarmingly, SB 79 defies cities' general plans and provides transit agencies unlimited land use authority on property they own or have a permanent easement, regardless of the distance from a transit stop. Transit agencies would have the power to determine all aspects of the development including height, density, and design, without any regard to local zoning or planning.

This broad new authority applies to both residential and commercial development. Transit agencies could develop 100% commercial projects — even at transit stops — and not provide a single new home, while simultaneously making the argument that more housing must be constructed around transit stops.

The City of Vista appreciates and respects your desire to pursue a housing production proposal. However, as currently drafted, SB 79 will not spur much-needed housing construction in a manner that supports local flexibility, decision-making, and community input. State-driven ministerial or byright housing approval processes fail to recognize the extensive public engagement associated with developing and adopting zoning ordinances and housing elements.

California will never produce the number of homes needed with an increasingly state-driven, by-right housing approval process. What we really need is a sustainable state investment that matches the scale of this decades-in-the-making crisis. For these reasons, the City of Vista strongly opposes SB 79.

Sincerely,

John Franklin Mayor City of Vista

cc. Office of Assemblymember Laurie Davis, assemblymember.davies@assembly.ca.gov Office of Senator Catherine Blakespear, senator.blakespear@senate.ca.gov Catherine Hill Regional Public Affairs Manager Cal Cities, chill@calcities.org League of California Cities, cityletters@calcities.org

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April 24, 2025

The Honorable Scott Wiener Senator, California State Senate 1021 O St, Suite 8620 Sacramento, CA 95814

RE: <u>SB 79 (Wiener) Transit-oriented Development</u>

Notice of Opposition (As of 4/23/25)

Dear Senator Scott Wiener,

The League of California Cities writes to express our strong opposition to your SB 79 (Wiener), which would disregard state-certified housing elements and bestow land use authority to transit agencies without any requirement that developers build housing, let alone affordable housing.

SB 79 doubles down on the recent trend of the state overriding its own mandated local housing elements. This latest overreaching effort forces cities to approve transit-oriented development projects near specified transit stops — up to seven stories high and a density of 120 homes per acre — without regard to the community's needs, environmental review, or public input.

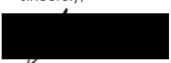
Most alarmingly, SB 79 defies cities' general plans and provides transit agencies unlimited land use authority on property they own or have a permanent easement, regardless of the distance from a transit stop. Transit agencies would have the power to determine all aspects of the development including height, density, and design, without any regard to local zoning or planning.

This broad new authority applies to both residential and commercial development. Transit agencies could develop 100% commercial projects — even at transit stops — and not provide a single new home, while simultaneously making the argument that more housing must be constructed around transit stops.

Cal Cities appreciates and respects your desire to pursue a housing production proposal. However, as currently drafted, SB 79 will not spur much-needed housing construction in a manner that supports local flexibility, decision-making, and community input. State-driven ministerial or by-right housing approval processes fail to recognize the extensive public engagement associated with developing and adopting zoning ordinances and housing elements.

California will never produce the number of homes needed with an increasingly state-driven, byright housing approval process. What we really need is a sustainable state investment that matches the scale of this decades-in-the-making crisis. For these reasons, Cal Cities opposes SB 79. Please do not hesitate to contact me to discuss this in greater detail at (916) 658-8264.

Sincerely,



Jason Rhine, Senior Director, Legislative Affairs