

# SEA CAPE VILLAGE

46 UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT  
1368 HOLLY AVE.  
IMPERIAL BEACH, CALIFORNIA, 91932

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## PROJECT DATA:

PROJECT DESCRIPTION: NEW 46 UNIT MULTI-FAMILY RESIDENTIAL APARTMENT BUILDING W/ 1 LEVEL OF ON-GRADE PARKING

PROJECT ADDRESS: 1368 HOLLY AVE., 1376 HOLLY AVE. & 1368 14TH STREET IMPERIAL BEACH, CA. 91932

LEGAL DESCRIPTION: TRACT: SEA BREEZE UNIT #1  
LOT: 8,9 (SEE SURVEY)  
BLOCK: 1  
APN: 633-161-12-00  
MAP: 001930

CODE: 2022 CALIFORNIA BUILDING CODE

ZONE: R-2000  
OCCUPANCY: R-3/U  
LOT SIZE: 34,478.54 SF

ALLOWABLE HEIGHT: 26'-0" (I.B.M.C. 916.060)  
PROPOSED HEIGHT: 40'-0" (MEASURED TO TOP OF ROOF SHEATHING).

ALLOWABLE STORIES: 2 (I.B.M.C. 916.060)  
PROPOSED STORIES: 3 LEVELS OF TYPE V CONSTRUCTION O/ 1 LEVEL OF TYPE I CONSTRUCTION

REQUIRED YARDS: FRONT: 15'-0" (I.B.M.C. 916.030-A)  
REAR: 15'-0" (I.B.M.C. 916.030-C)  
SIDE: 5'-0" (I.B.M.C. 916.030-B)

AREA ANALYSIS (GROSS): TYPE I CONSTRUCTION = 21,346 SF  
TYPE V CONSTRUCTION:  
LEVEL 2 = 13,476 SF  
LEVEL 3 = 13,476 SF  
LEVEL 4 = 13,476 SF  
TOTAL: 40,428 SF

UNIT MIX: 21 - 1 BDRM @ 617 SF  
15 - 2 BDRM @ 933 SF  
6 - 3 BDRM @ 1,108 SF  
3 - STUDIOS @ 445 SF  
1 - DETACHED ADU @ 674 SF  
TOTAL: 46 DWELLING UNITS

## F.A.R. / LOT COVERAGE:

ALLOWABLE F.A.R.: .75 (I.B.M.C. 19.16.125)  
PROPOSED F.A.R.: 34,478 / 40,428 = 1.17

ALLOWABLE LOT COVERAGE: 50% = 17,239 SF (I.B.M.C. 19.16.125)  
PROPOSED LOT COVERAGE: 62% = 21,346 SF

## DWELLING UNITS:

ALLOWABLE BASE DENSITY: 34,478.54 / 2,000 SF = 18 DWELLING UNITS

ALLOWABLE DENSITY BONUS (PER A.B. 1287) = 50% = 9 UNITS  
ADDITIONAL DENSITY BONUS (PER A.B. 1287) = 50% = 9 UNITS  
TOTAL DENSITY BONUS = 18 DWELLING UNITS

PROPOSED DENSITY W/ BONUS = 18+18 = 36 DWELLING UNITS

## ACCESSORY DWELING UNITS:

DETACHED A.D.U.'S ALLOWED: 2  
(CA. GOV. CODE 65852.2 (e)(1)(D))

DETACHED A.D.U.'S PROPOSED: 1

ALLOWABLE NUMBER OF SPACES TO BE CONVERTED TO ATTACHED A.D.U.'S: 25% OF PROPOSED DWELLING UNITS (36 X 25% = 9 A.D.U.'S)  
(CA. GOV. CODE 65852.2 (e)(1)(C))

PROPOSED NUMBER OF SPACES TO BE CONVERTED TO ATTACHED A.D.U.'S: 9 UNITS

PROPOSED NUMBER OF DWELLING UNITS:  
36 DWELLING UNITS  
9 ATTACHED ADU'S  
1 DETACHED A.D.U.  
46 DWELLING UNITS

## AFFORDABLE DWELLING UNITS: (AB 1287)

30% OF BASE DENSITY FOR 100% DENSITY BONUS = 6  
VERY LOW INCOME: 18 UNITS X 15% = 2.7 = 3 UNITS (215,315, & 415)  
MODERATE INCOME: 18 UNITS X 15% = 2.7 = 3 UNITS (214 & 314 & 210)  
3 UNITS

## PARKING:

PARKING REQUIRED: 0 STALLS (AB 2097)

PARKING PROVIDED: 48 STALLS

## LANDSCAPED AREA:

POCKET PARK: 5,244 SF (DEDICATION ALONG 14TH)  
FRONT YARD: 1,522 SF  
COURTYARD PLANTERS: 654 SF  
REAR YARD: 1,000 SF  
TOTAL: 8,420 SF

## OPEN SPACE:

OPEN SPACE REQUIRED: 300 SF PER UNIT (EXCLUDING A.D.U.'S) = 10,800 SF (I.B.M.C. 19.50)

OPEN SPACE PROVIDED: POCKET PARK: 5,244 SF  
COURTYARD: 4,536 SF  
PRIVATE BALCONIES: 3,804 SF  
TOTAL: 13,584 SF

## CONCESSIONS:

1. TO ALLOW 2 STREET PARKING STALLS TO BE DEDICATED AS BUILDING PARKING

2. TO CONSTRUCT ALL UNITS CONCURRENTLY, INCLUDING THOSE ADU'S THAT ARE TO BE CONVERTED FROM COMMON SPACE.

3. TO ALLOW A DETACHED A.D.U. STRUCTURE TO BE CONSTRUCTED 6" AWAY FROM THE MAIN STRUCTURE (RELIEF FROM I.B.M.C. SECTION 19.16.070) & TO ALLOW BALCONIES TO CANTILEVER OVER THE ROOF OF A DETACHED A.D.U. STRUCTURE. (RELIEF FROM I.B.M.C. SECTION 19.16.070)

## WAIVERS:

1. TO ALLOW TWO ADDITIONAL STORIES TO ACCOMMODATE DWELLING UNITS ALLOWED BY THE DENSITY BONUS. (RELIEF FROM I.B.M.C. SECTION 916.060)

2. TO ALLOW FOURTEEN ADDITIONAL FEET IN HEIGHT TO ACCOMMODATE DWELLING UNITS ALLOWED BY THE DENSITY BONUS. (RELIEF FROM I.B.M.C. SECTION 916.060)

3. TO ALLOW A F.A.R. OF 1.17 IN LIEU OF .75 TO ACCOMMODATE DWELLING UNITS ALLOWED BY THE DENSITY BONUS. (RELIEF FROM I.B.M.C. SECTION 19.16.125)

4. TO ALLOW A LOT COVERAGE OF 62% IN LIEU OF 50%. (RELIEF FROM I.B.M.C. SECTION 19.16.125)

5. TO ALLOW A REDUCED REAR YARD SETBACK OF 7' AT PROPERTY LINE SOUTH OF ADJACENT PARCEL. (RELIEF FROM I.B.M.C. SECTION 19.16.030 C)

6. TO ALLOW A 1 FOOT REDUCTION IN THE LENGTH OF PARKING STALLS THAT ARE ADJACENT TO OBSTRUCTIONS. (RELIEF FROM I.B.M.C. SECTION 19.48.090 C)

7. TO ALLOW 48.8% OF THE REQUIRED OPEN SPACE TO BE ON GRADE IN LIEU OF 60%. (RELIEF FROM I.B.M.C. SECTION 19.50.020 C)

## PROJECT DIRECTORY

OWNER:  
1337 HOLLY DEVELOPMENT  
7680 H-821  
LA JOLLA, CA 92037

ARCHITECT:  
SOUTHERN CALIFORNIA ARCHITECTS  
2100 S. SAWTELLE BLVD. #306  
LOS ANGELES, CA 90025

STRUCTURAL ENGINEER:  
DCI ENGINEERS  
101 WEST BROADWAY, SUITE 1920  
SAN DIEGO, CA 92101

M.E.P. ENGINEER:  
ELEN CONSULTING  
9150 CHESAPEAKE DRIVE, SUITE 220  
SAN DIEGO, CA 92123

CIVIL ENGINEER:  
SNIPES - DYE ASSOCIATES  
8348 CENTER DRIVE, SUITE G  
LA MESA, CA 91943

SOILS ENGINEER:  
GEOCON INCORPORATED  
6960 FLANDERS DRIVE  
SAN DIEGO, CA 92121

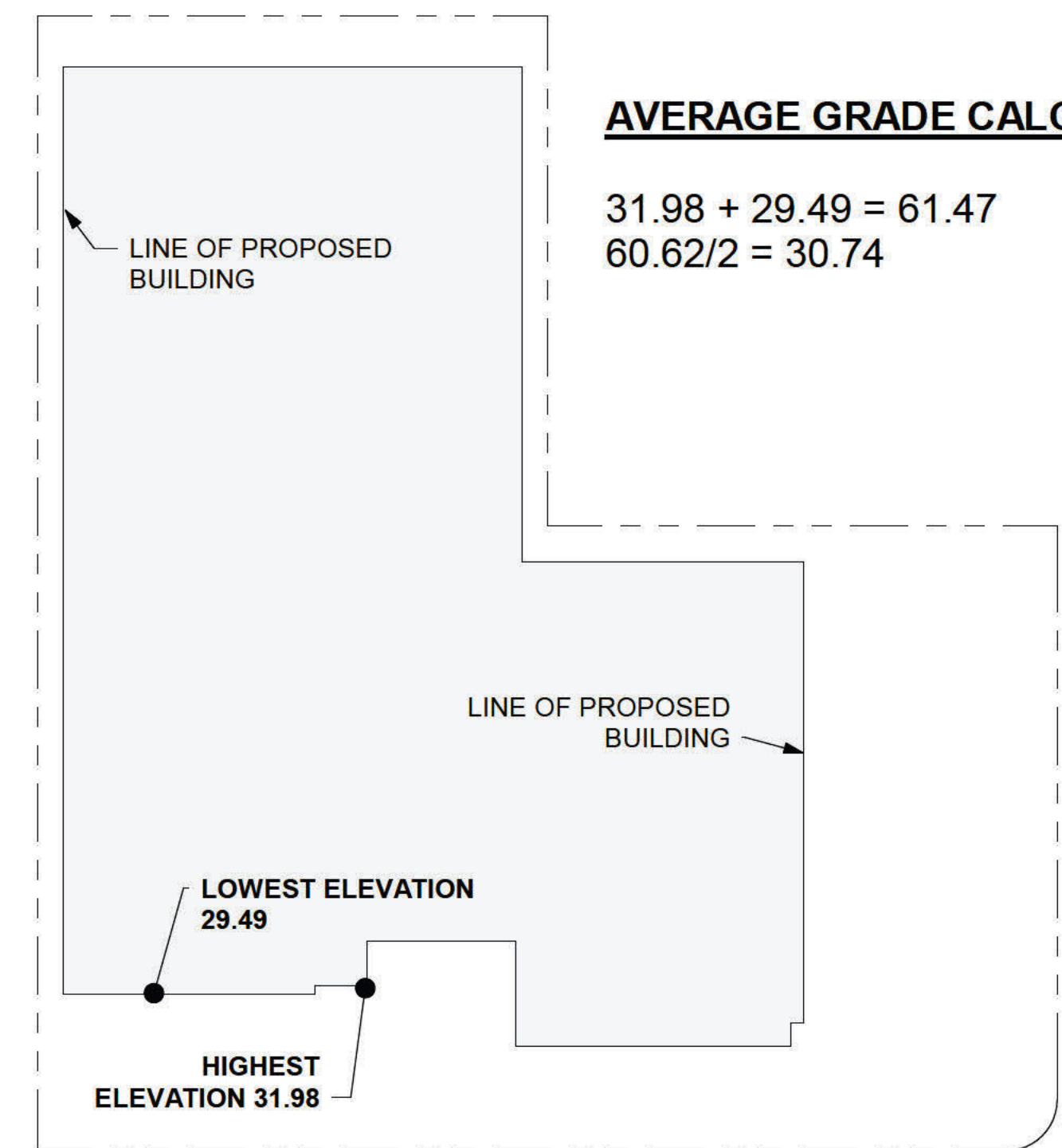
GENERAL CONTRACTOR:  
SLEIGHT CONSULTING  
3324 COTTONWOOD SPRINGS, SUITE G  
JANUILL, CA 91935  
LICENSE #B528895

## PUBLIC WORKS NOTES:

- NEW SEWER CONNECTION TO THE MAIN LINE SHALL BE COORDINATED WITH THE CITY SEWER DIVISION.
- ABANDONMENT OF THE EXISTING SEWER LATERAL(S) SHALL BE PER THE GREENBOOK STANDARDS OR OTHER APPROVED BUILDING STANDARDS.
- ALL SEWER LATERALS SHALL BE INSTALLED PER REGIONAL STANDARDS SS-01 THROUGH SS-04. UPON COMPLETION THE APPLICANT SHALL CONTACT THE PUBLIC WORKS DEPARTMENT FOR AN INSPECTION OF THE TIE INTO THE MAIN BY CALLING THE PUBLIC WORKS DIRECTOR OR DESIGNEE AT (619) 423-8311.
- NO BUILDING ROOF OR LANDSCAPE WATER DRAINS MAY BE PIPED TO THE STREET OR INTO IMPERVIOUS SURFACES THAT LEAD TO THE STREET.
- THE OWNER OF PRIVATE PROPERTY ADJOINING THE PUBLIC RIGHT OF WAY SHALL BE RESPONSIBLE TO PLANT, INSTALL, AND MAINTAIN LANDSCAPING IN THE AREA BETWEEN THE CURB AND THE PRIVATE PROPERTY LINE FOR THE ENTIRE FRONTAGE OF THE PROPERTY. SUCH MAINTENANCE SHALL INCLUDE WATERING, MOWING, EDGING, CLEARING OF WEEDS, BUT EXCLUDES ROUTINE MAINTENANCE OF CITY OWNED TREES. THE INSTALLATION OF A LANDSCAPE WATERING SYSTEM TO SERVICE THE AREA BETWEEN THE CURB AND PRIVATE PROPERTY LINE IS REQUIRED PER MUNICIPAL CODE 19.50.040.F
- BUILDING FOUNDATION ELEVATIONS SHALL BE AT LEAST ONE FOOT ABOVE GUTTER LINE TO MINIMIZE FLOODING DURING STORM CONDITIONS.
- THE PARCEL IMPERVIOUS SURFACES ARE NOT TO INCREASE BEYOND THAT PROPOSED IN THE PROJECT REVIEW DRAWINGS. THIS WILL BE AS A POST-CONSTRUCTION CONDITION IN ORDER TO MAXIMIZE THE WATER RUNOFF INFILTRATION AREA ON THE PARCEL IN COMPLIANCE WITH MUNICIPAL STORM WATER PERMIT - ORDER R9-2013-0001.
- ALONG THE PUBLIC RIGHT OF WAY, THE APPLICANT SHALL ELIMINATE ANY EXISTING TRIPPING HAZARD CAUSED BY THE CONDITION OF THE EXISTING PUBLIC SIDEWALK ALONG THE PROPERTY FRONTAGE. THIS REMEDIAL WORK REQUIRED HEREIN SHALL BE PERFORMED TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR.
- FOR ANY WORK TO BE PERFORMED IN THE STREET OR ALLEY, SUBMIT A TRAFFIC CONTROL PLAN FOR APPROVAL BY THE PUBLIC WORKS DIRECTOR A MINIMUM OF 6 WORKING DAYS IN ADVANCE. TRAFFIC CONTROL PLAN IS TO BE PER REGIONAL STANDARD DRAWINGS OR CAL-TRANS TRAFFIC CONTROL MANUAL.
- THE APPLICANT SHALL BE RESPONSIBLE FOR INFORMING THE PUBLIC OF THE TRAFFIC CONDITIONS EXISTING WITHIN THE CONSTRUCTION AREA AT ALL TIMES BY PLACEMENT OF APPROPRIATE WARNING AND ADVISORY SIGNS. THE APPLICANT SHALL ALSO PROVIDE AND MAINTAIN ALL TRAFFIC CONTROL AND SAFETY ITEMS, BARRICADES AND ANY OTHER DILINEATION IN THE RIGHT OF WAY SHALL BE REQUIRED AND MAINTAINED BY APPLICANT FOR THE DURATION OF THE RIGHT OF WAY IMPROVEMENTS. APPLICANT ASSUMES SOLE AND COMPLETE RESPONSIBILITY AND SITE CONDITIONS DURING THE PERIOD OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY TWENTY FOUR (24) HOURS PER DAY AND SHALL NOT BE LIMITED TO NORMAL WORK HOURS.
- FOR ANY PROJECT THAT PROPOSES WORK WITHIN THE PUBLIC RIGHT-OF-WAY (I.E. DRIVEWAY REMOVAL/CONSTRUCTION, SIDEWALK REMOVAL/CONSTRUCTION, STREET OR ALLEY IRRIGATION, FENCES, WALLS WITHIN THE PUBLIC RIGHT-OF-WAY, ETC.), A TEMPORARY ENCROACHMENT PERMIT (TEP) SHALL BE APPLIED FOR AND APPROVED EITHER PRIOR TO OR CONCURRENT WITH ISSUANCE OF THE BUILDING PERMIT REQUIRED FOR THE PROJECT. APPLICATION FOR A TEMPORARY ENCROACHMENT PERMIT SHALL BE MADE ON FORMS AVAILABLE AT THE COMMUNITY DEVELOPMENT DEPARTMENT.
- PROPOSED DRIVEWAY APPROACH ON HOLLY AVE. WILL REQUIRE CURB AND GUTTER AND SIDEWALK REMOVAL ON CITY RIGHT-OF-WAY. DRIVEWAY APPROACH SHALL BE CONSTRUCTED IN COMPLIANCE WITH SAN DIEGO REGIONAL STANDARD DRAWINGS G-14A (CONCRETE DRIVEWAY-TYPE A, CONTIGUOUS SIDEWALK), G-15 (DRIVEWAY LOCATION ADJACENT TO CURB RETURNS AND STREET LINES), AND G-16 (DRIVEWAY LOCATIONS AND WIDTH REQUIREMENTS). NEW CURB AND GUTTER SHALL BE CONSTRUCTED IN COMPLIANCE WITH SAN DIEGO REGIONAL STANDARD DRAWING G-2 (CURBS AND GUTTER-COMBINED) AND SHALL BE POURED SEPARATELY FROM THE DRIVEWAY APPROACH/APRON.
- EXISTING CURB CUT ON HOLLY AVE. TO BE ABANDONED AND WILL REQUIRE CURB AND GUTTER AND SIDEWALK REMOVAL ON CITY RIGHT-OF-WAY. NEW DRIVEWAY APPROACH SHALL BE RECONSTRUCTED IN COMPLIANCE WITH SAN DIEGO REGIONAL STANDARD DRAWINGS G-14A (CONCRETE DRIVEWAY-TYPE A, CONTIGUOUS SIDEWALK), G-15 (DRIVEWAY LOCATION ADJACENT TO CURB RETURNS AND STREET LINES), AND G-16 (DRIVEWAY LOCATIONS AND WIDTH REQUIREMENTS). NEW CURB AND GUTTER SHALL BE CONSTRUCTED IN COMPLIANCE WITH SAN DIEGO REGIONAL STANDARD DRAWING G-2 (CURBS AND GUTTER-COMBINED) AND SHALL BE POURED SEPARATELY FROM THE DRIVEWAY APPROACH/APRON.
- THE PROPOSED DRIVEWAY SHALL BE CONSTRUCTED IN A MANNER SO AS TO:
  - MAINTAIN EXISTING STORMWATER RUN-OFF FLOW.
  - AVOID THE FLOW OF STORMWATER ACROSS THE NEW DRIVEWAY (OR ASSOCIATED SIDEWALK) INCLUDE THE INSTALLATION OF AN EXPANSION JOINT BETWEEN THE PAVED SURFACES OF THE PUBLIC RIGHT-OF-WAY.
- FOR ALLEY, SIDEWALK OR CURB & GUTTER REPLACEMENT ENSURE COMPLIANCE WITH SAN DIEGO REGIONAL STANDARD DRAWING G-11 (CONCRETE CURB, GUTTER, SIDEWALK & PAVEMENT REMOVAL AND REPLACEMENT) IN THAT, THE "AREA TO BE REMOVED" MUST BE 5' OR FROM JOINT TO JOINT IN PANEL, WHICHEVER IS LESS - THE DISTANCE BETWEEN JOINTS OR SCORE MARKS MUST BE A MINIMUM OF 5'-FEET. WHERE THE DISTANCE FROM "AREA TO BE REMOVED" TO EXISTING JOINT, EDGE OR SCORE MARK IS LESS THAN THE MINIMUM SHOWN, "AREA TO BE REMOVED" SHALL BE EXTENDED TO THAT JOINT, EDGE OR SCORE MARK.

## BUILDING DIVISION NOTES:

- PRIOR TO FOUNDATION INSPECTION A SURVEY OF THE PROPERTY SHALL BE CONDUCTED FROM A CALIFORNIA LICENSED SURVEYOR OR ENGINEER AND SURVEY PINS SHALL BE IN PLACE TO IDENTIFY THE CORNERS.
- PROVIDE A NOTE ON PLANS: "PRIOR TO FOUNDATION APPROVAL, A SETBACK AND PAD ELEVATION CERTIFICATION SHALL BE PROVIDED BY A CALIFORNIA LICENSED SURVEYOR VERIFYING THAT THE PROPOSED FOUNDATION IS IN CONFORMANCE WITH THE APPROVED PLANS."
- THE SUBDIVIDER SHALL BE RESPONSIBLE FOR UNDERGROUNDING ALL UTILITIES WITHIN A SUBDIVISION AND SHALL MAKE THE NECESSARY ARRANGEMENTS WITH EACH OF THE PUBLIC UTILITY COMPANIES FOR THE INSTALLATION OF UNDERGROUND FACILITIES AND THE RELOCATION OF EXISTING FACILITIES. ISMC 19.08.040.
- NO WORK FOR WHICH A BUILDING PERMIT IS REQUIRED SHALL BE PERFORMED WITHIN THE HOURS OF 7:00 P.M. - 7:00 A.M. MONDAY-FRIDAY, NOR PRIOR TO 8:00 A.M. OR AFTER 5:00 P.M. ON SATURDAY NOR ANYTIME ON SUNDAYS. A SIGN SHALL BE POSTED AT A CONSPICUOUS LOCATION NEAR THE MAIN ENTRY TO THE SITE, PROMINENTLY DISPLAYING THESE HOUR RESTRICTIONS.



2100 SAWTELLE BLVD. #306  
LOS ANGELES, CA. 90025  
310.600.6502



REV.	DATE	DESCRIPTION
5-12-24	P.C.	SUBMITTAL

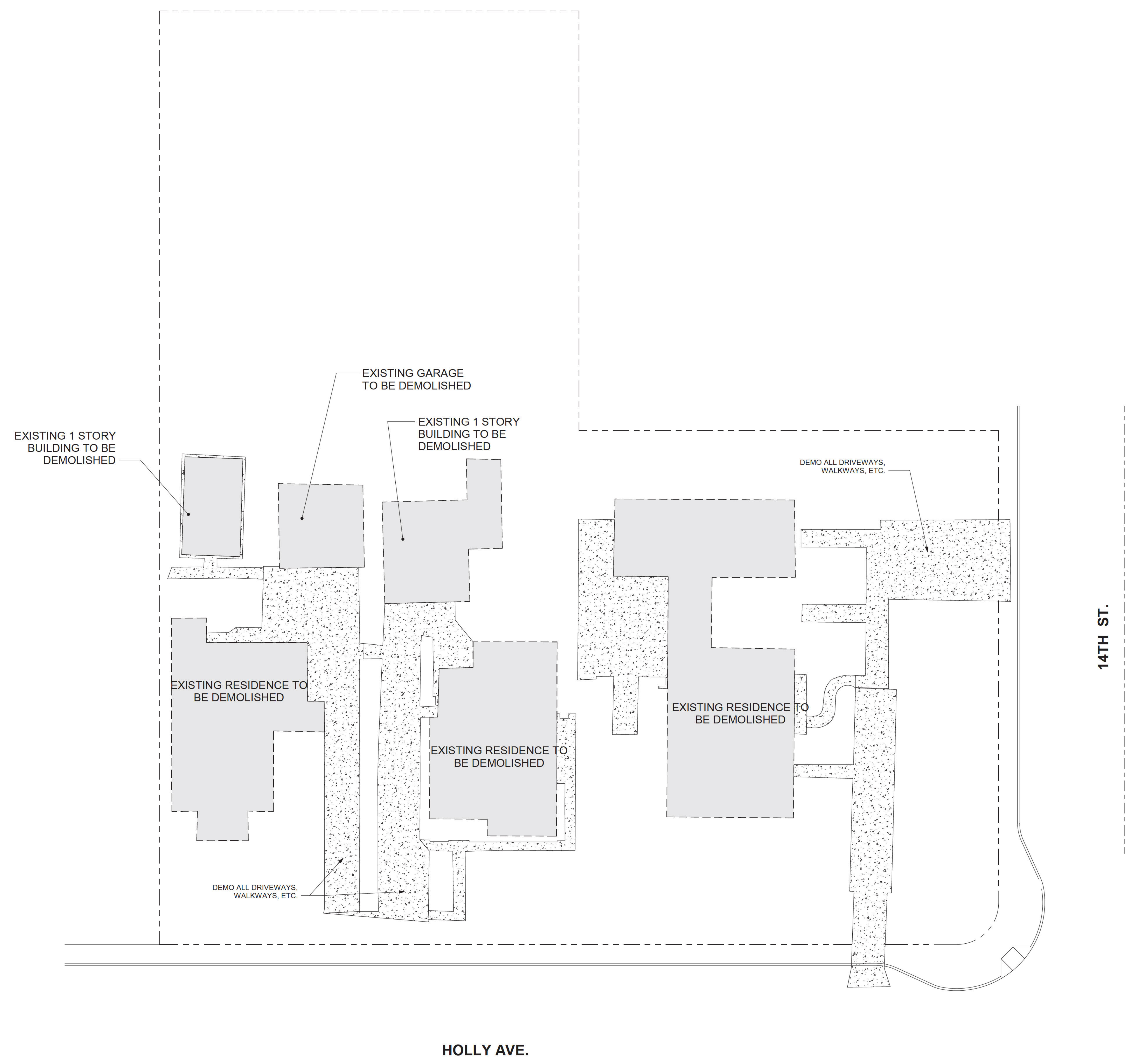
SEA CAPE VILLAGE  
1368 HOLLY AVE.  
IMPERIAL BEACH, CA. 91932

TITLE SHEET  
SHEET TITLE: 230012.00  
JOB NO.: 04/30/24  
DATE

T1.0



- DEMO NOTES:**
1. DEMOLISH ALL ITEMS SHOWN W/ DASHED LINES
  2. G.C. TO VERIFY WITH OWNER ITEMS TO BE SAVED
  3. ALL ITEMS TO BE SAVED SHALL BE STORED IN SAFE, DRY SPACE
  4. G.C. TO INFORM DESIGNER/OWNER OF ANY INCONSISTANCIES
  5. EXISTING PORTIONS OF STRUCTURE TO REMAIN SAFE FROM INTRUSION AND DRY FROM FOUL WEATHER CONDITIONS
  6. G.C. SHALL TURN OVER PREMISES 'BROOM CLEAN' & EMPTY OF ALL ITEMS, DEBRIS, & FREE OF ALL HAZARDOUS SUBSTANCES
  7. PATCH & REPAIR EXISTING WALLS AS REQUIRED
  8. REPLACE ALL BROKEN, CRACKED OR SCRATCHED DOOR/WINDOW GLASS
  9. APPROVAL FROM STREET SERVICES IS REQUIRED PRIOR TO REMOVAL OF PROTECTED TREES.



1 DEMOLITION PLAN  
1" = 10'-0"



REV.	DATE	DESCRIPTION
5-12-24	P.C.	SUBMITTAL

**SEA CAPE VILLAGE**  
1368 HOLLY AVE.  
IMPERIAL BEACH, CA. 91932

**DEMOLITION PLAN**

SHEET TITLE	JOB NO.	DATE
230012.00		04/30/24

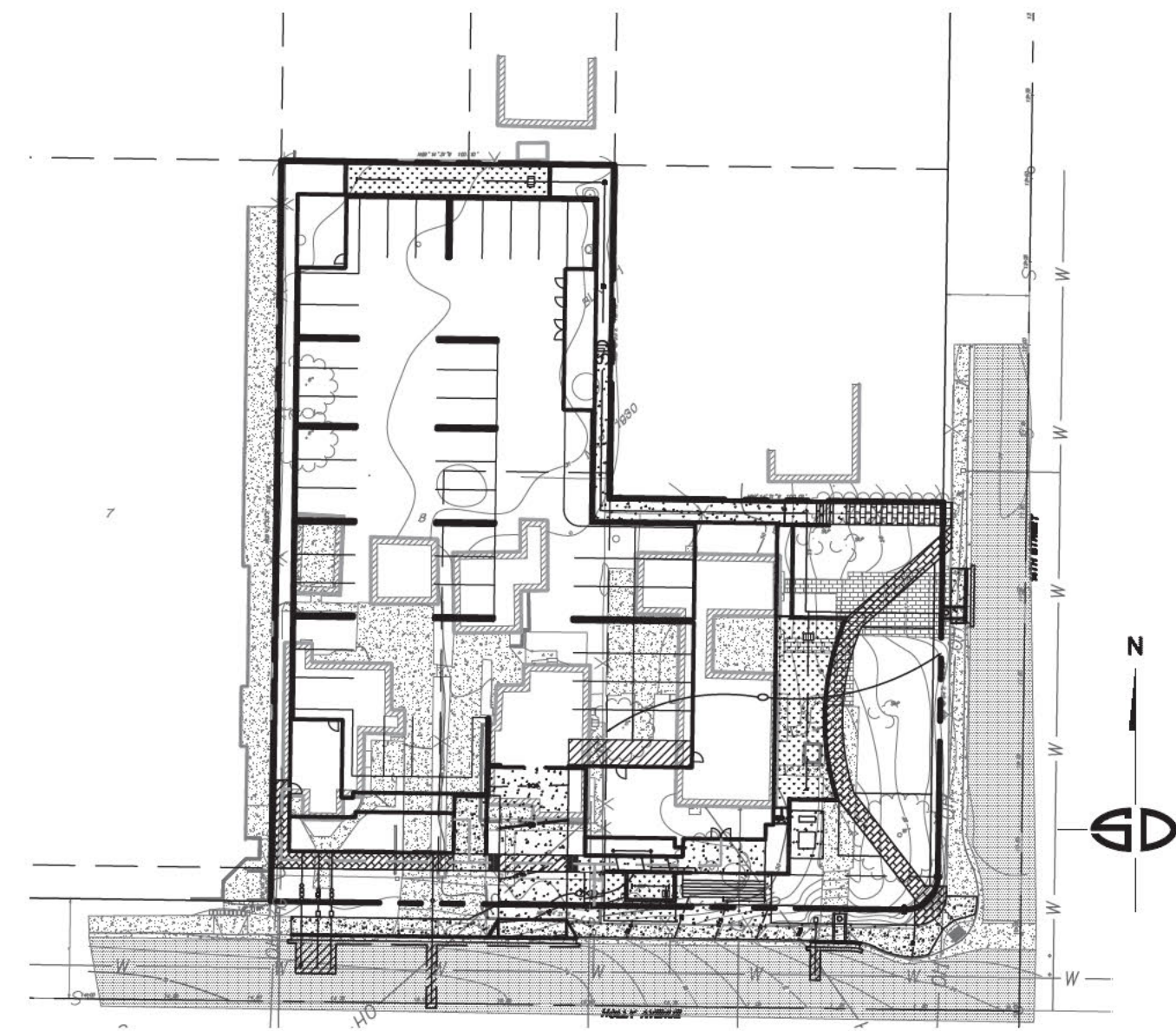
**D-1**







# GRADING PLANS FOR: SEA CAPE VILLAGE



**KEY MAP**  
1"=50'

## ABBREVIATIONS

AC	ASPHALT CONCRETE
CL	CENTERLINE
CONC	CONCRETE
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
FS	FINISH SURFACE
GFE	GARAGE FLOOR ELEVATION
HP	HIGH POINT
IE	INVERT ELEVATION
LP	LOW POINT
SCO	SEWER CLEANOUT
TO	TOP OF CURB
TF	TOP OF FOOTING
TW	TOP OF WALL
WM	WATER METER

## EASEMENTS

- THE FOLLOWING ITEMS REFER TO EASEMENTS LISTED IN A TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE COMPANY DATED NOVEMBER 15, 2022 ORDER NO. 00365651-995-LBO-VE.
- 6 REFERS TO AN EASEMENT FOR VACATED STREET, RECORDED DECEMBER 6, 1974 AS RECORDING NO. 1974-318501, OF OFFICIAL RECORDS.
  - 7 REFERS TO AN EASEMENT FOR SANITARY SEWER AND STORM DRAINS AND APPURTENANT STRUCTURES AND ENLARGE LINES OR PIPES, CONDUITS, CABLES, WIRES, POLES AND OTHER CONVENIENT STRUCTURES TO CITY OF IMPERIAL BEACH, RECORDED MAY 16, 1989 AS RECORDING NO. 1989-257582, OF OFFICIAL RECORDS.
  - 8 REFERS TO CONSTRUCT, MAINTAIN, OPERATE, REPLACE AND RENEW SANITARY SEWERS AND STORM DRAINS AND APPURTENANT STRUCTURES TO CITY OF IMPERIAL BEACH, RECORDED MAY 16, 1989 AS RECORDING NO. 1989-257582, OF OFFICIAL RECORDS.

## OWNER/APPLICANT

1337 HOLLY DEVELOPMENT LLC, AARON ANAVIM  
(619) 940-8700

## SITE ADDRESS

1368 HOLLY AVENUE, IMPERIAL BEACH, CA 91932

## TOPOGRAPHY SOURCE

TOPOGRAPHIC SURVEY PREPARED BY  
SNIPES-DYE ASSOCIATES DATED FEBRUARY 9, 2023

## BENCHMARK

THE BENCHMARK FOR THIS SURVEY IS THE CITY OF IMPERIAL BEACH NO. 8, INTERSECTION OF 13TH STREET AND HEMLOCK AVENUE, AT TOP OF CURB 5' EAST OF NORTH-EAST COR ON HEMLOCK, ELEVATION = 25.886.

## ASSESSORS PARCEL NUMBER

633-161-12, 13 & 14

## LEGAL DESCRIPTION

LOT 8, BLOCK 1, SEA BREEZE UNIT NO. 1, IN THE CITY OF IMPERIAL BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1930, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 30, 1926.

EXCEPTING THEREFROM THE EASTERLY 50 FEET OF THE SOUTHERLY 120 FEET OF SAID LOT 8.

AS DESCRIBED IN DOCUMENT NO. 2022-039845 RECORDED IN THE OFFICE OF THE RECORDER FOR SAN DIEGO COUNTY AUGUST 8, 2022.

THE EAST 50 FEET OF THE SOUTH 120 FEET OF LOT 8, BLOCK 1 OF SEA BREEZE GARDENS UNIT NO. 1, IN THE CITY OF IMPERIAL BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1930, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY TOGETHER WITH THAT PORTION OF THE NORTH 10 FEET OF HOLLY AVENUE ADJOINING SAID LOT 8 ON THE SOUTH AS VACATED AND CLOSED TO THE PUBLIC BY THE CITY COUNCIL OF THE CITY OF IMPERIAL BEACH, OCTOBER 2, 1984 BY RESOLUTION NO. 3154, OFFICIAL RECORDS OF SAN DIEGO COUNTY.

AS DESCRIBED IN DOCUMENT NO. 2022-039911 RECORDED IN THE OFFICE OF THE RECORDER FOR SAN DIEGO COUNTY AUGUST 8, 2022.

LOT 9, BLOCK 1, SEA BREEZE UNIT NO. 1, IN THE CITY OF IMPERIAL BEACH, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1930, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 30, 1926, TOGETHER WITH THAT PORTION OF THE NORTH 10 FEET OF HOLLY AVENUE ADJOINING SAID LOT 9 ON THE SOUTH AS VACATED AND CLOSED TO PUBLIC USE, BY THE CITY COUNCIL OF THE CITY OF IMPERIAL BEACH, OCTOBER 2, 1984 BY RESOLUTION NO. 3154, A CERTIFIED COPY OF WHICH WAS RECORDED MAY 16, 1989 AS FILE NO. 89-257582 OF OFFICIAL RECORDS OF SAN DIEGO COUNTY, EXCEPTING FROM SAID LOT 9 IN BLOCK 1, THE NORTHERLY 100 FEET THEREOF.

AS DESCRIBED IN DOCUMENT NO. 2022-0419450 RECORDED IN THE OFFICE OF THE RECORDER FOR SAN DIEGO COUNTY OCTOBER 31, 2022.

## SHEET INDEX

TITLE	C100
SCHEMATIC GRADING PLAN	C3.00
TYPICAL SECTIONS	C3.01
DMA EXHIBIT	C4.00

## GRADING QUANTITIES

GRADED AREA	0.79 ACRES
CUT QUANTITIES	400 CYD
FILL QUANTITIES	100 CYD
EXPORT	300 CYD

THIS PROJECT PROPOSES TO EXPORT 300 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

## CONSTRUCTION STORM WATER PROTECTION NOTES

- TOTAL SITE DISTURBANCE AREA (ACRES) 0.85  
WATERSHED TILIANA  
HYDRAULIC SUB AREA NAME AND NUMBER 9111
- THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE
  - WPCP  
THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND SUBSEQUENT AMENDMENTS.
  - SWPPP  
THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND CONSTRUCTION GENERAL PERMIT ORDER NUMBER 2009-009-DWG AS AMENDED BY ORDER 2010-0014 DWG AND 2012-0006-DWG
  - TRADITIONAL RISK LEVEL  1  2  3
  - LUP RISK LEVEL  1  2  3
  - WDID NO. \_\_\_\_\_
- CONSTRUCTION SITE PRIORITY
  - ASBS  HIGH  MEDIUM  LOW

## LEGEND

### PROPOSED IMPROVEMENTS

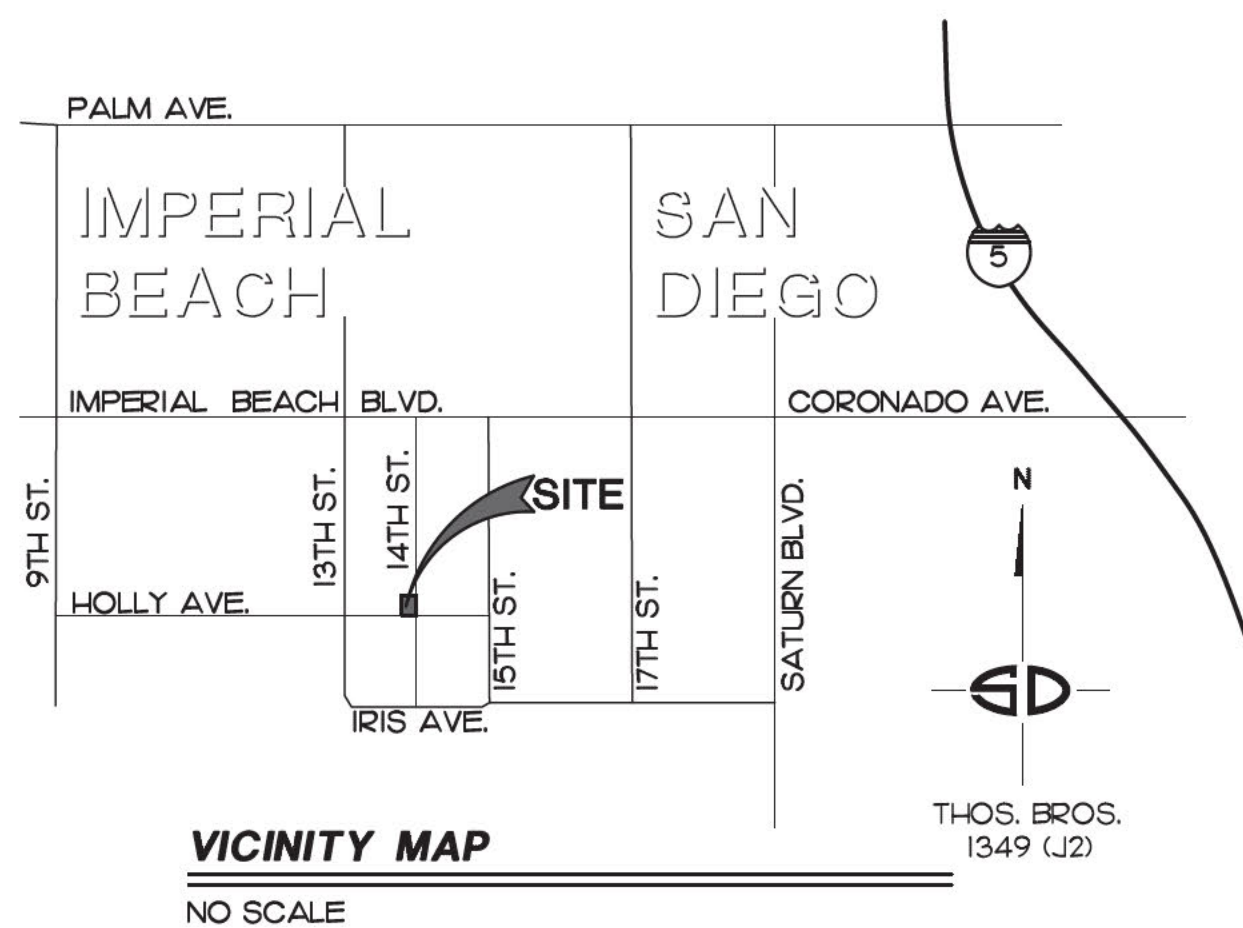
IMPROVEMENT	STANDARD DWGS	SYMBOL
PROPOSED CURB & GUTTER	G-02	
PROPOSED 0' HIGH CONCRETE CURB	G-01	
PROPOSED LANDSCAPE AREA	SEE LANDSCAPE PLANS	
PROPOSED TREE	SEE LANDSCAPE PLANS	
PROPOSED GRADE		
PROPOSED CONTOUR		
PROPOSED GRAVITY WALL	G-09	
PROPOSED PERMEABLE PAVER		
PROPOSED CONCRETE SIDEWALK	G-Q7	
PROPOSED D.G. PATH	SEE LANDSCAPE PLANS	
PROPOSED A.C. PAVEMENT		
PROPOSED A.C. TRENCH REPLACEMENT	G-24A	
PROPOSED 6' PRIVATE SEWER	SP-02	
SEWER CLEANOUT	SC-01	

### EXISTING IMPROVEMENTS

ITEM	SYMBOL
EXISTING GRADE	30.08 TC
SPOT ELEVATION	30.25
EXISTING CONTOUR	31
EXISTING WATER	W
EXISTING SEWER	S
EXISTING GAS	G
EXISTING TREE	
EXISTING WALL	
EXISTING CONCRETE	
EXISTING A.C. PAVEMENT	
EXISTING PAVERS	
EXISTING FENCE	
EXISTING BLDGS.	

**s cala**  
SOUTHERN CALIFORNIA ARCHITECTS

2100 SAWTELLE BLVD. #306  
LOS ANGELES, CA. 90025  
310.600.6502



**VICINITY MAP**  
NO SCALE

## DECLARATION OF RESPONSIBLE CHARGE

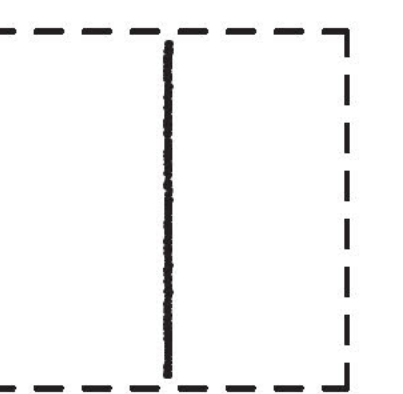
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF IMPERIAL BEACH IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

**Snipes-Dye associates**  
civil engineers and land surveyors  
8348 CENTER DRIVE, STE. G, LA MESA, CA 91942  
TELEPHONE (619) 697-9234 FAX (619) 460-2033



WILLIAM A. SNIPES R.C.E. 50477  
EXPIRES 06-30-25



REV.	DATE	DESCRIPTION
5-12-24	P.C. SUBMITTAL	

## SEA CAPE VILLAGE

1368 HOLLY AVE.  
IMPERIAL BEACH, CA. 91932

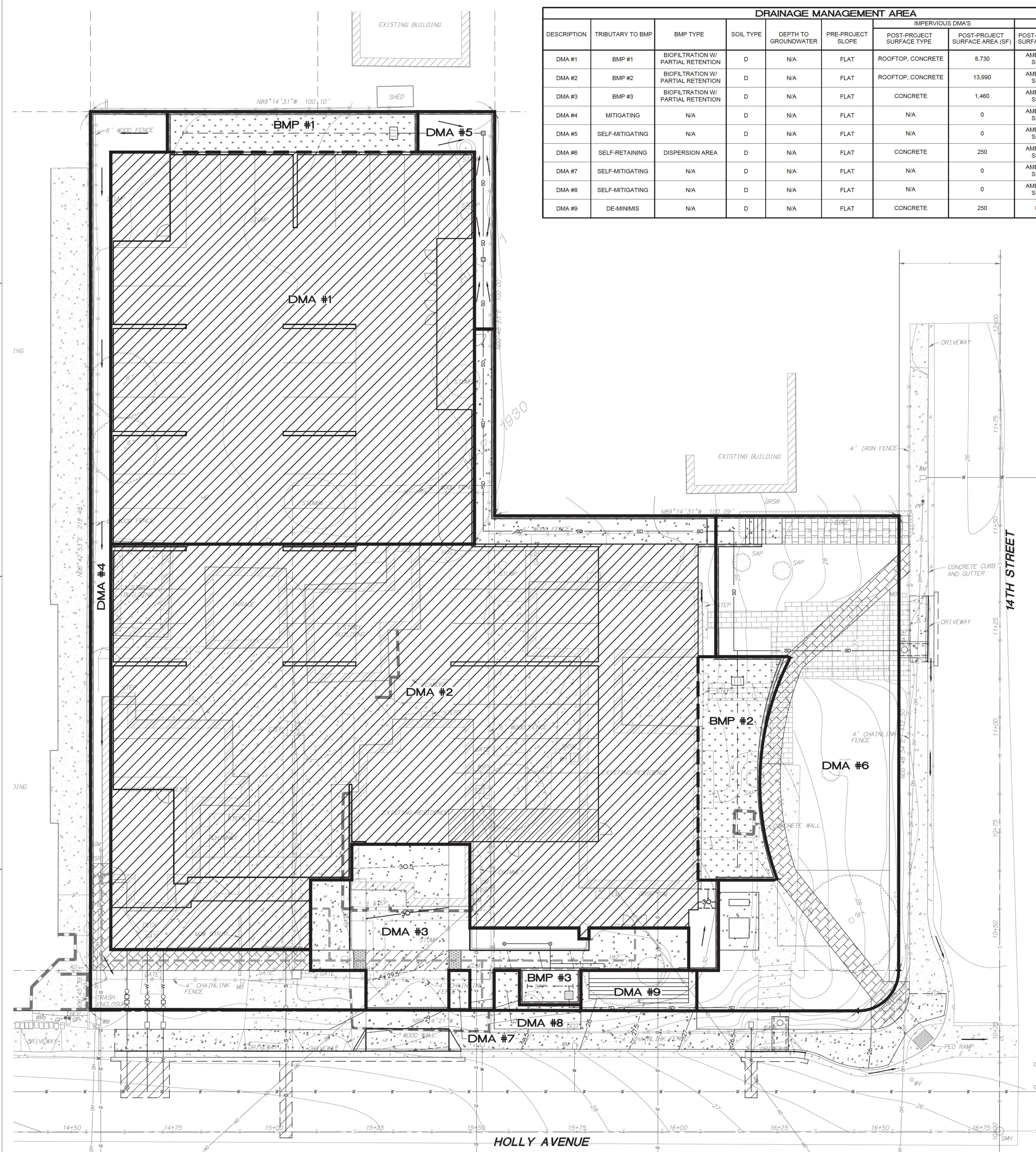
## TITLE SHEET

SHEET TITLE	JOB NO.	DATE
230012.00		04/30/24

**C1.00**

SHEET





DRAINAGE MANAGEMENT AREA									
DESCRIPTION	TRIBUTARY TO BMP	BMP TYPE	SOIL TYPE	DEPTH TO GROUNDWATER	PRE-PROJECT SLOPE	IMPERVIOUS DMA'S		PERVIOUS AREAS	
						POST-PROJECT SURFACE TYPE	POST-PROJECT SURFACE AREA (SF)	POST-PROJECT SURFACE TYPE	POST-PROJECT SURFACE AREA (SF)
DMA #1	BMP #1	BIOFILTRATION W/ PARTIAL RETENTION	D	N/A	FLAT	ROOFTOP, CONCRETE	8,730	AMENDED SOILS	0
DMA #2	BMP #2	BIOFILTRATION W/ PARTIAL RETENTION	D	N/A	FLAT	ROOFTOP, CONCRETE	13,990	AMENDED SOILS	280
DMA #3	BMP #3	BIOFILTRATION W/ PARTIAL RETENTION	D	N/A	FLAT	CONCRETE	1,460	AMENDED SOILS	510
DMA #4	MITIGATING	N/A	D	N/A	FLAT	N/A	0	AMENDED SOILS	2,170
DMA #5	SELF-MITIGATING	N/A	D	N/A	FLAT	N/A	0	AMENDED SOILS	415
DMA #6	SELF-RETAINING	DISPERSION AREA	D	N/A	FLAT	CONCRETE	250	AMENDED SOILS	4,650
DMA #7	SELF-MITIGATING	N/A	D	N/A	FLAT	N/A	0	AMENDED SOILS	55
DMA #8	SELF-MITIGATING	N/A	D	N/A	FLAT	N/A	0	AMENDED SOILS	95
DMA #9	DE-MINIMIS	N/A	D	N/A	FLAT	CONCRETE	250	N/A	0

**LEGEND**

DMA BOUNDARY \_\_\_\_\_

DIRECTION OF FLOW \_\_\_\_\_

PERVIOUS AREA (LANDSCAPE) \_\_\_\_\_

PERVIOUS AREA (PAVERS) \_\_\_\_\_

IMPERVIOUS AREA (CONCRETE) \_\_\_\_\_

IMPERVIOUS AREA (A.C. PAVEMENT) \_\_\_\_\_

IMPERVIOUS AREA (BUILDING) \_\_\_\_\_

DMA ID. \_\_\_\_\_

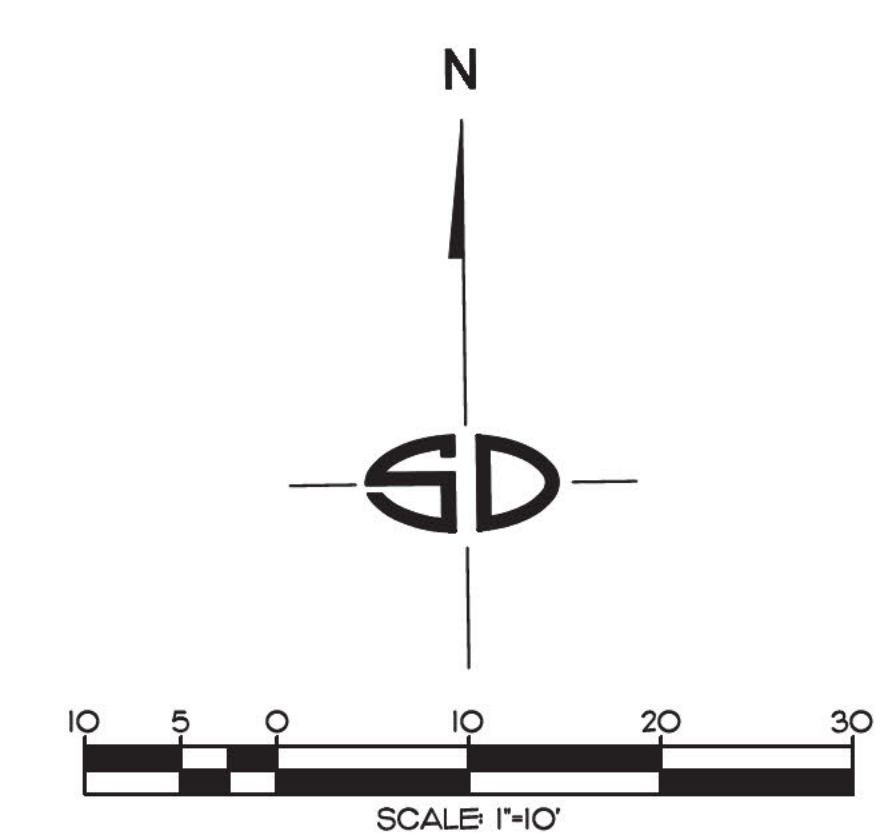
POINT OF COMPLIANCE (P.O.C.) \_\_\_\_\_

- NOTES**
- SITE IS LOCATED WITHIN LINDERBACH RAIN GAUGE BASIN.
  - UNDERLYING HYDROLOGIC SOIL GROUP D.
  - SITE IS RELATIVELY FLAT.
  - GROUNDWATER DEPTH IS UNKNOWN PER GEOTECHNICAL REPORT.
  - BASED ON WMAA MAPS CRITICAL COARSE SEDIMENT YIELD AREAS (COSYAS) WERE NOT IDENTIFIED WITHIN PROJECT FOOTPRINT OR UPSTREAM AREAS DRAINING THROUGH THE PROJECT FOOTPRINT.
  - PROPOSED BIOFILTRATION WITH PARTIAL RETENTION (PR-1) FOR TREATMENT & LOW FLOW CONTROL.
  - COUNTY OF SAN DIEGO'S 85TH PERCENTILE ISOPLUVIAL MAP WAS UTILIZED FOR SIZING PROPRIETARY BIO-FILTRATION AND STORAGE TANK TO COMPLY WITH TREATMENT CONTROL & HYDROMODIFICATION MANAGEMENT LOW-FLOW REQUIREMENTS.

- SELF-MITIGATING DMAs NOTES**
- SELF-MITIGATING DMAs CONSIST OF NATURAL OR LANDSCAPED AREAS THAT DRAIN DIRECTLY OFFSITE OR TO THE PUBLIC STORM DRAIN SYSTEM. SELF-MITIGATING DMAs MUST MEET ALL OF THE FOLLOWING TO BE ELIGIBLE FOR EXCLUSION:
- VEGETATION IN THE NATURAL OR LANDSCAPED AREA IS NATIVE AND/OR NON-NATIVE/NON-INVASIVE DROUGHT TOLERANT SPECIES THAT DO NOT REQUIRE REGULAR APPLICATION OF FERTILIZERS AND PESTICIDES.
  - SOILS ARE UNDISTURBED NATIVE TOPSOIL, OR DISTURBED SOILS THAT HAVE BEEN AMENDED AND AERATED TO PROMOTE WATER RETENTION CHARACTERISTICS EQUIVALENT TO UNDISTURBED NATIVE TOPSOIL.
  - THE INCIDENTAL IMPERVIOUS AREAS ARE LESS THAN 5 PERCENT OF THE SELF-MITIGATING AREA.
  - IMPERVIOUS AREA WITHIN THE SELF-MITIGATED AREA SHOULD NOT BE HYDRAULICALLY CONNECTED TO OTHER IMPERVIOUS AREAS UNLESS IT IS A STORM WATER CONVEYANCE SYSTEM (SUCH AS A BROW DITCH).
  - THE SELF-MITIGATING AREA IS HYDRAULICALLY SEPARATE FROM DMAs THAT CONTAIN PERMANENT STORM WATER POLLUTANT CONTROL BMPs.

- PROJECT PERMANENT BMP'S**
- 4.21** PREVENT ILLICIT DISCHARGES INTO THE MS4.
  - 4.22** STORM DRAIN STENCILS ON ALL STORM DRAIN INLETS (TYP) STAMPED WITH PROHIBITIVE LANGUAGE SUCH AS "NO DUMPING - FLOWS TO CREEK" OR SIMILAR.
  - 4.22** PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL. TRASH ENCLOSURES WITH CONCRETE SLAB, SCREENED WALLS, AND DUMPSTERS WITH LIDS.
  - 4.21D1** LANDSCAPE / OUTDOOR PESTICIDE USE. MAINTAIN LANDSCAPING USING MINIMUM OR NO PESTICIDES.
  - 4.21D2** NEED FOR FUTURE INDOOR AND STRUCTURAL PEST CONTROL.
  - 4.21N** FIRE SPRINKLER TEST WATER WILL BE DRAINED TO THE SANITARY SEWER SYSTEM.
  - 4.21O** AIR CONDITIONING CONDENSATE DRAIN LINES SHALL DISCHARGE INTO LANDSCAPE AREAS AND MAY NOT DISCHARGE TO THE STORM DRAIN SYSTEM.
  - 4.21P** PLAZAS, SIDEWALKS & PARKING LOTS MUST BE SWEEPED REGULARLY.

2. SITE DESIGN BMP'S
- SD-B** IMPERVIOUS AREA DISPERSION BY DISCONNECTING IMPERVIOUS AREAS FROM DIRECTLY DRAINING TO THE STORM DRAIN SYSTEM BY ROUTING RUNOFF FROM THESE AREAS INTO ADJACENT PERVIOUS AREAS.
  - SD-F** AMENDED SOILS PER CITY OF IMPERIAL BEACH BMP DESIGN MANUAL (MAY 2016) BMP FACT SHEET SD-F, TO IMPROVE HYDROLOGIC CHARACTERISTICS THAT REDUCE RUNOFF.
  - 4.33** MINIMIZE IMPERVIOUS AREAS: PARKING LOT DRIVE AISLES DESIGNED TO MINIMUM WIDTHS.
  - 4.34** MINIMIZE SOIL COMPACTION.
  - 4.37** LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT VEGETATION.
  - SD-D** PERMEABLE PAVEMENT PER CITY OF IMPERIAL BEACH BMP DESIGN MANUAL (MAY 2016) FACT SHEET SD-D.
  - PR-1** BIOFILTRATION WITH PARTIAL RETENTION PER CITY OF IMPERIAL BEACH BMP DESIGN MANUAL (MAY 2016) FACT SHEET PR-1.



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WILLIAM A. SNIPES R.C.E. 50477  
EXPIRES 06-30-25

REV.	DATE	DESCRIPTION
5-12-24	P.C. SUBMITTAL	

**SEA CAPE VILLAGE**  
1368 HOLLY AVE.  
IMPERIAL BEACH, CA. 91932

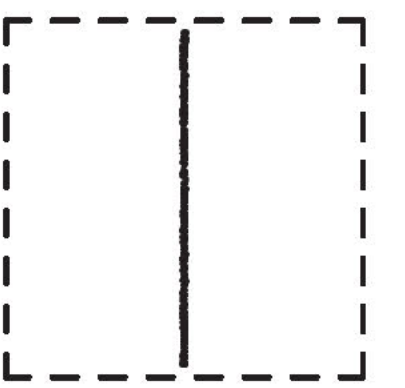
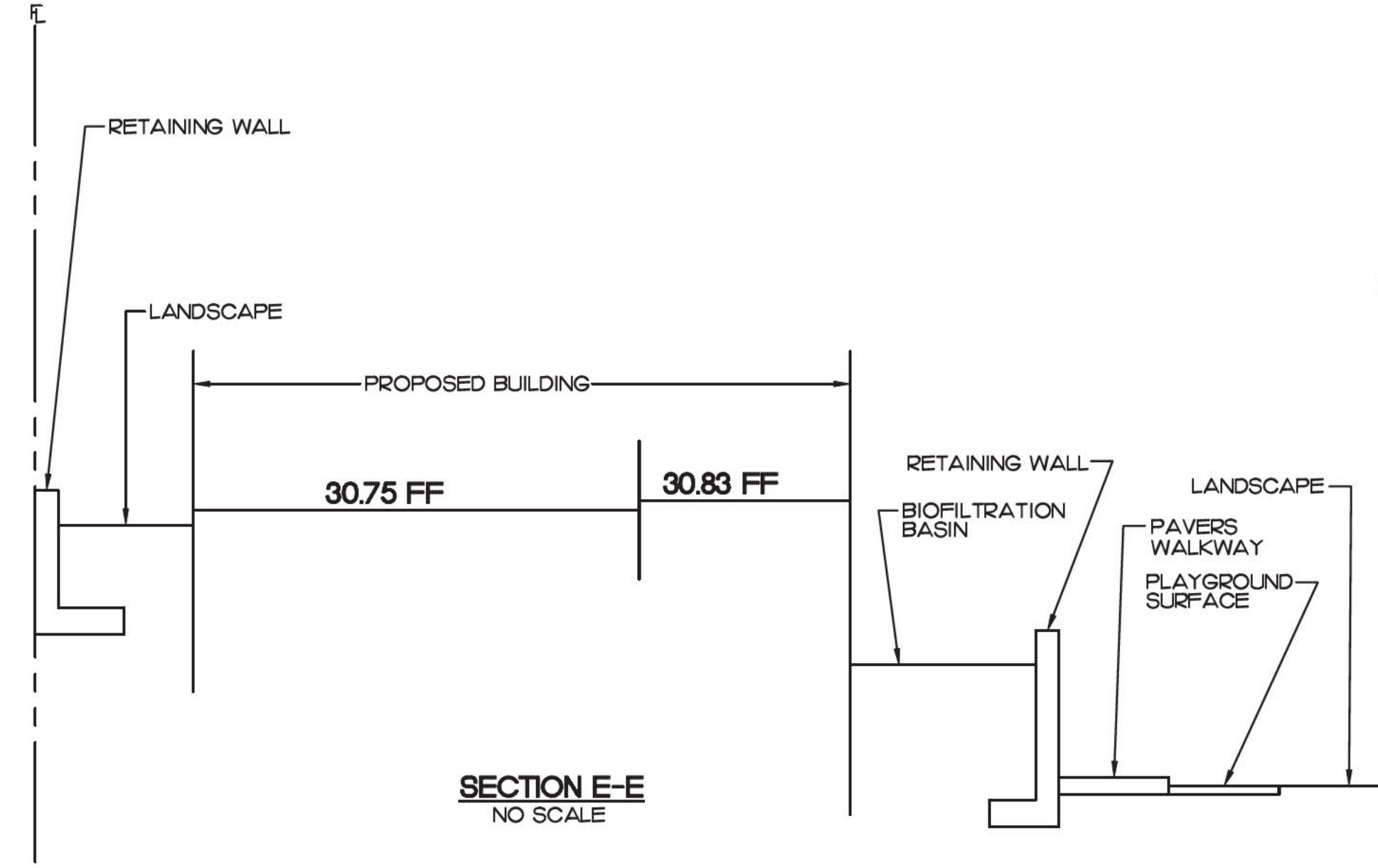
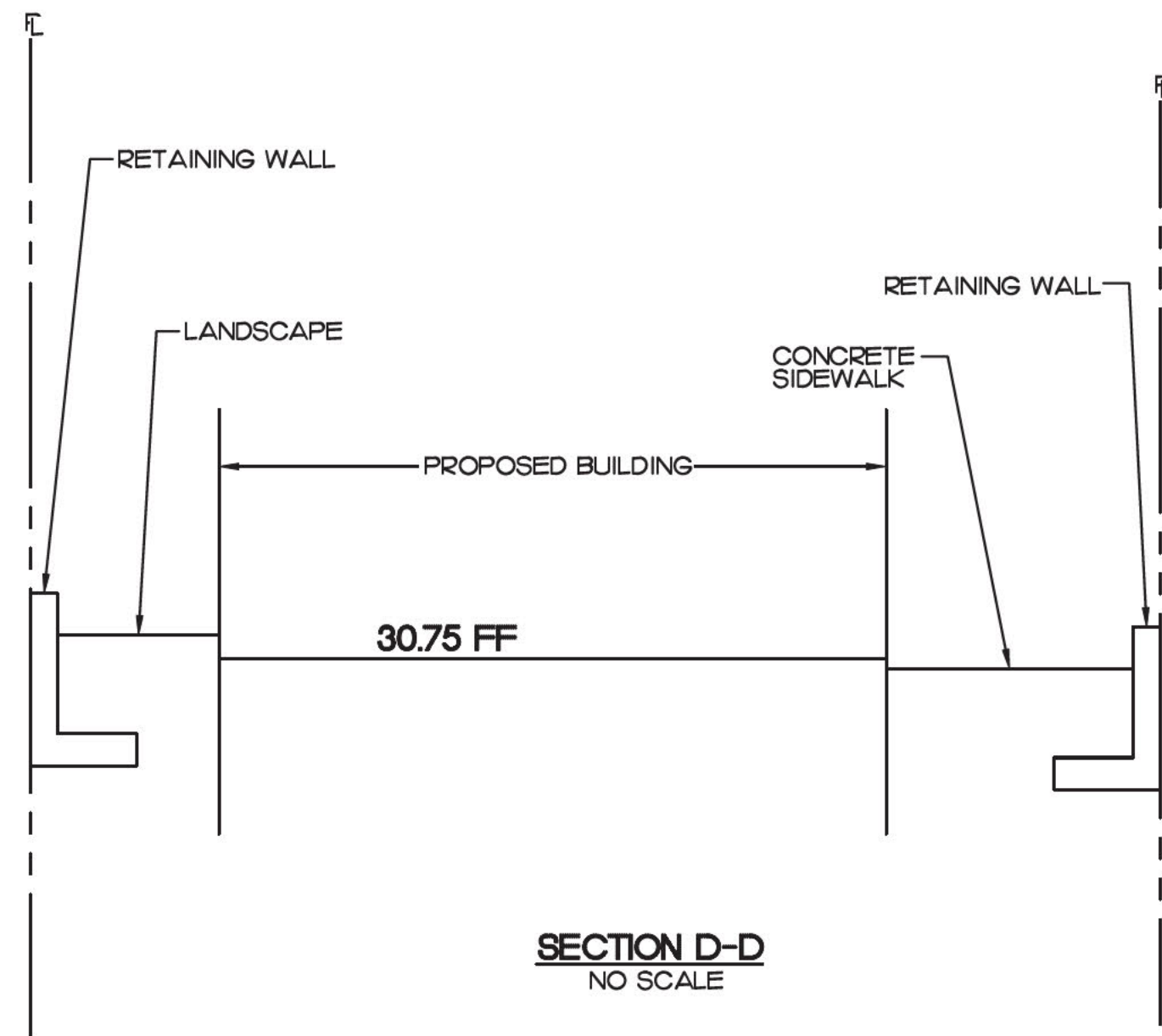
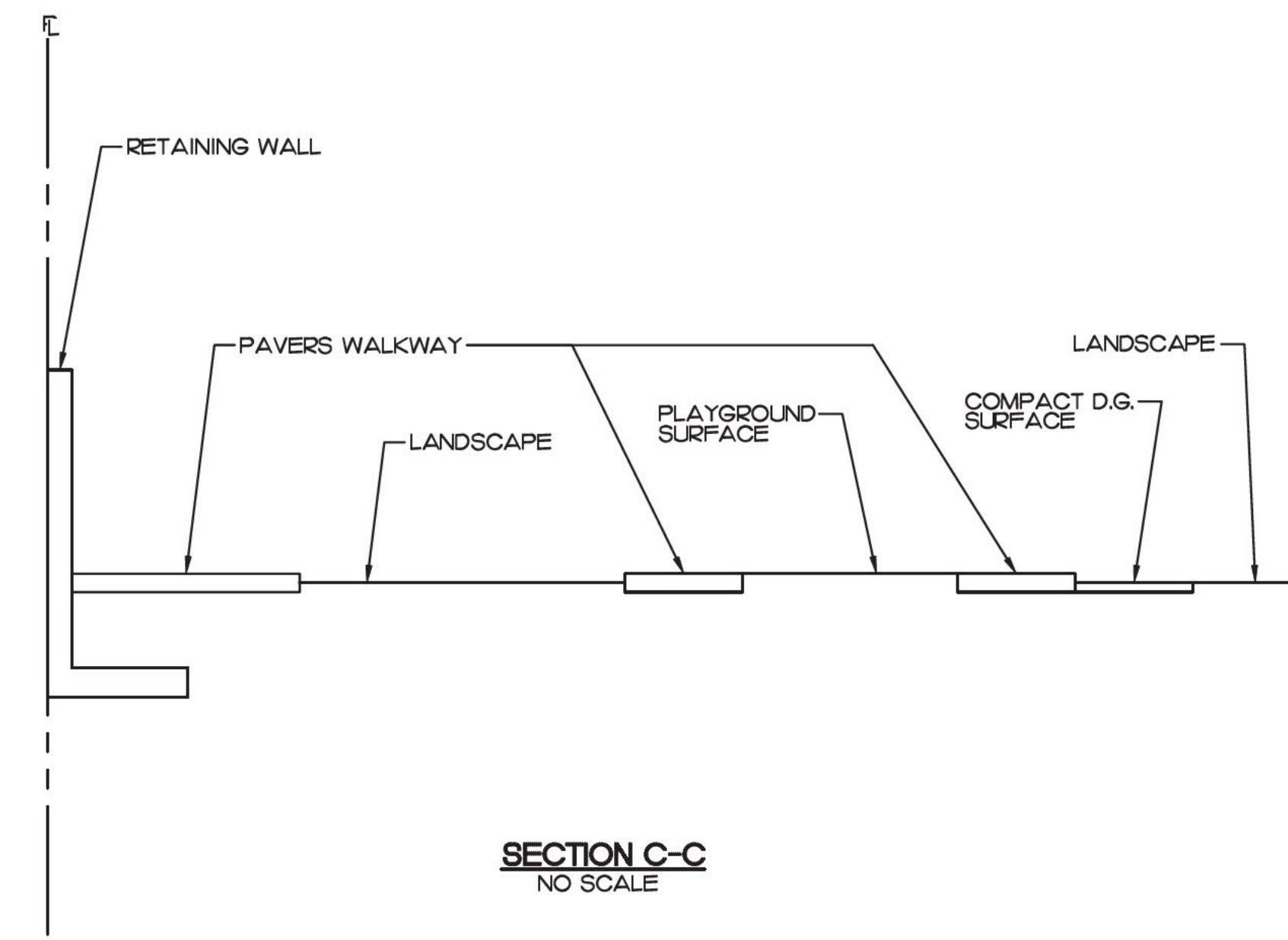
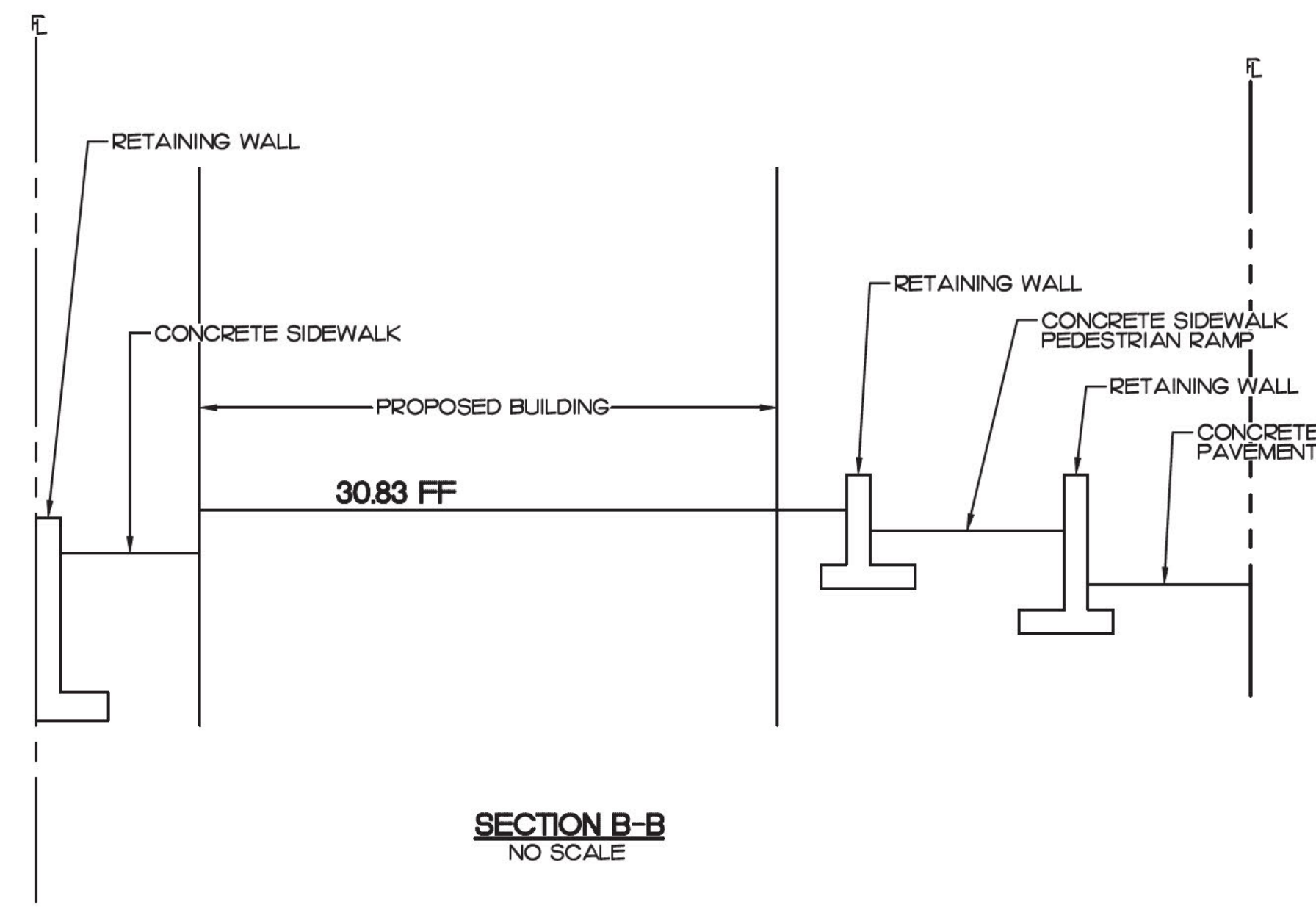
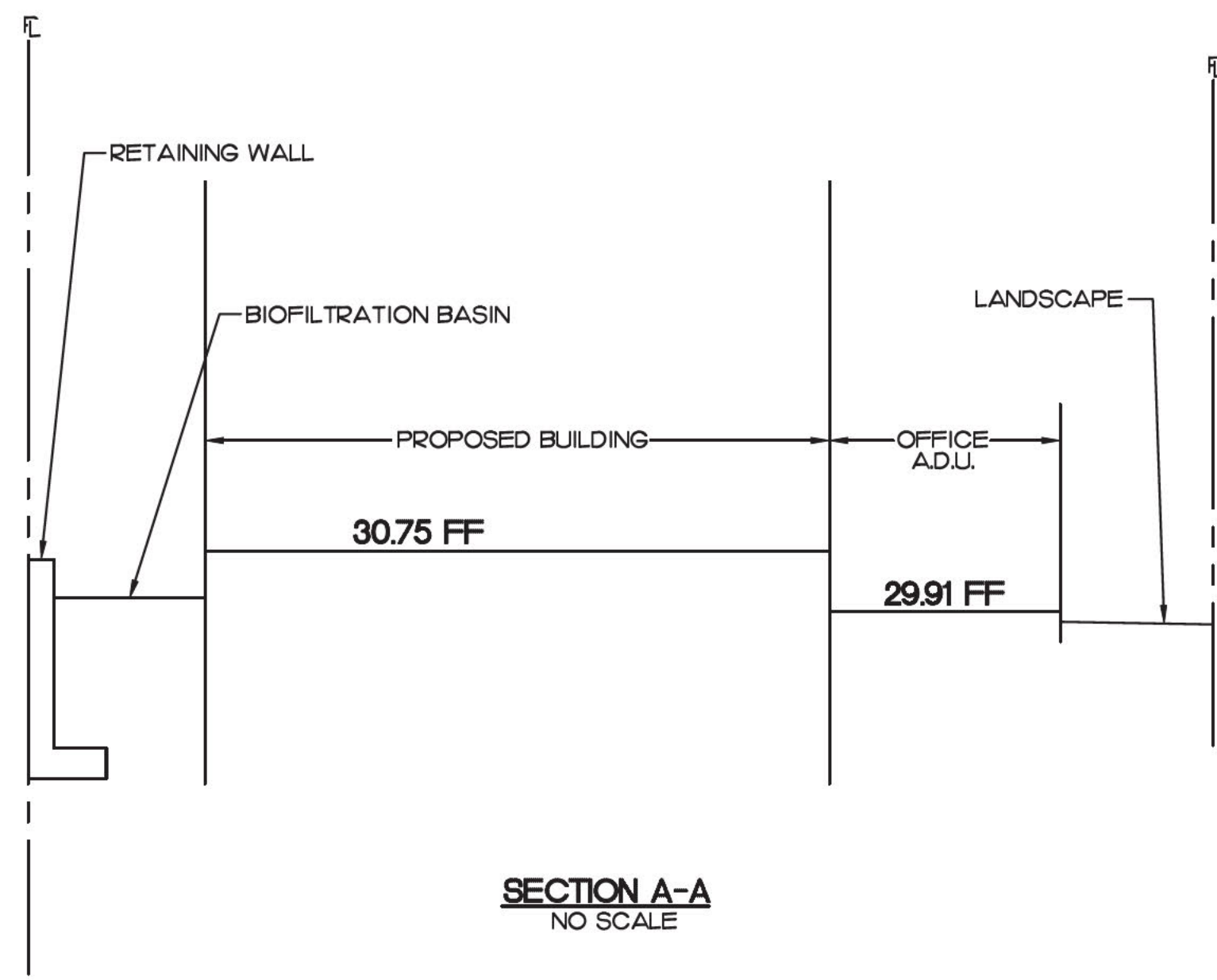
DMA EXHIBIT

SHEET TITLE  
230012.00  
JOB NO.  
04/30/24  
DATE

**C4.00**

S:\SNIPES\120201 HOLLY AVE ANAYIM APPTS\DWG\GRADING PLANS\120201\_C4.00-DMA





REV.	DATE	DESCRIPTION

**SEA CAPE VILLAGE**  
1368 HOLLY AVE.  
IMPERIAL BEACH, CA. 91932

TYPICAL SECTIONS

SHEET TITLE
230012.00
04/30/24

**C3.01**

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EXPIRES 06-30-25

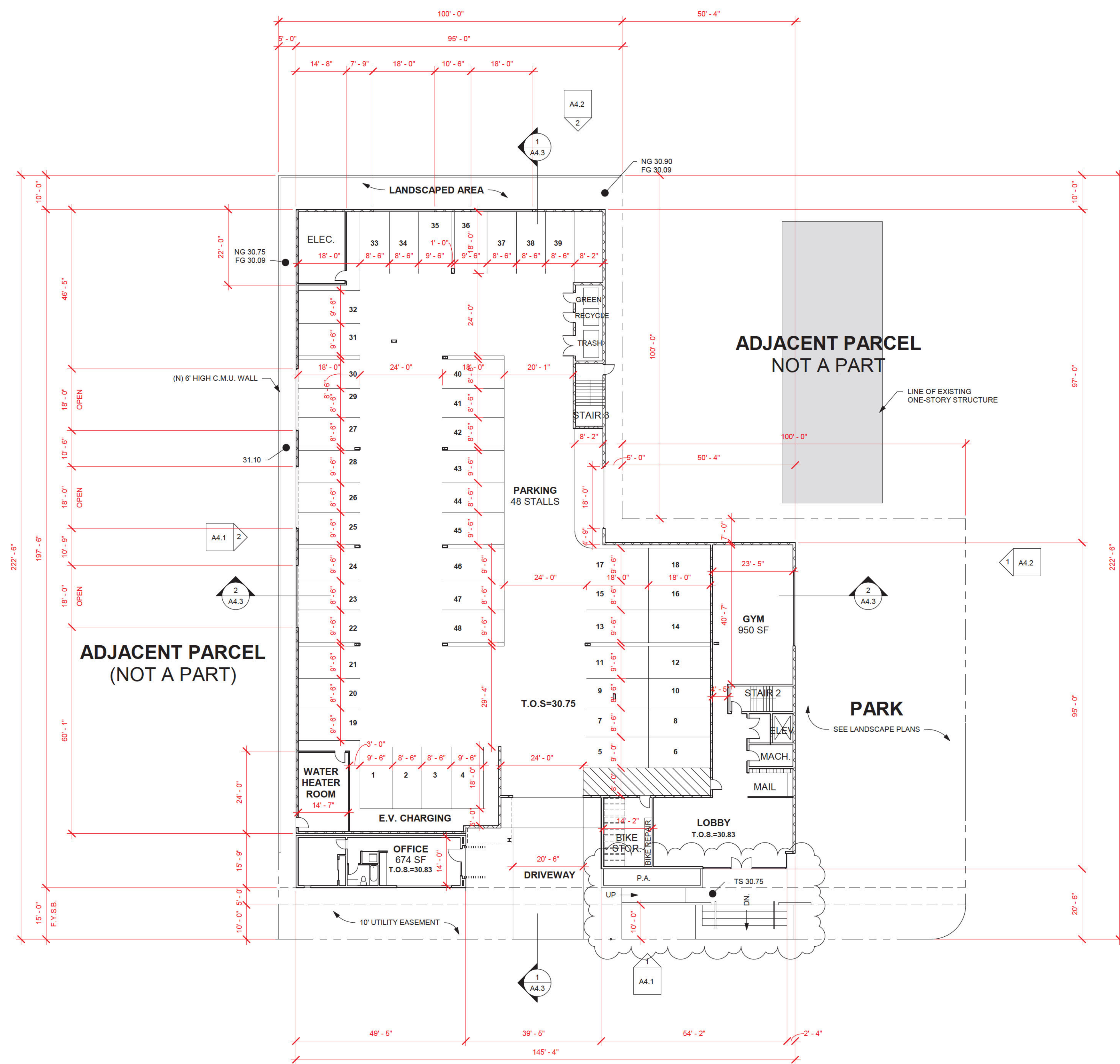












1 LEVEL 1 PLAN  
1/16" = 1'-0"



REV.	DATE	DESCRIPTION
5-12-24	P.C. SUBMITTAL	

**SEA CAPE VILLAGE**  
1368 HOLLY AVE.  
IMPERIAL BEACH, CA. 91932

**1ST FLOOR PLAN**

SHEET TITLE	JOB NO.	DATE
230012.00		04/30/24

**A1.1**



**UNIT TYPE LEGEND:**

- VERY LOW INCOME UNIT
- MODERATE INCOME UNIT
- COMMON SPACE TO BE CONVERTED TO AN A.D.U.



① LEVEL 2 PLAN  
1/16" = 1'-0"



REV.	DATE	DESCRIPTION
5-12-24	P.C. SUBMITTAL	

**SEA CAPE VILLAGE**  
1368 HOLLY AVE.  
IMPERIAL BEACH, CA. 91932

**SECOND FLOOR PLAN**

SHEET TITLE	JOB NO.	DATE
230012.00		04/30/24

**A1.2**



**UNIT TYPE LEGEND:**

- VERY LOW INCOME UNIT
- MODERATE INCOME UNIT
- COMMON SPACE TO BE CONVERTED TO AN A.D.U.



① LEVEL 3 PLAN  
1/16" = 1'-0"



REV.	DATE	DESCRIPTION
5-12-24		P.C. SUBMITTAL

**SEA CAPE VILLAGE**  
1368 HOLLY AVE.  
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**THIRD FLOOR PLAN**

SHEET TITLE	JOB NO.	DATE
230012.00		04/30/24

**A1.3**



**UNIT TYPE LEGEND:**

- VERY LOW INCOME UNIT
- MODERATE INCOME UNIT
- COMMON SPACE TO BE CONVERTED TO AN A.D.U.



1 LEVEL 4 PLAN  
1/16" = 1'-0"



REV.	DATE	DESCRIPTION
5-12-24	P.C. SUBMITTAL	

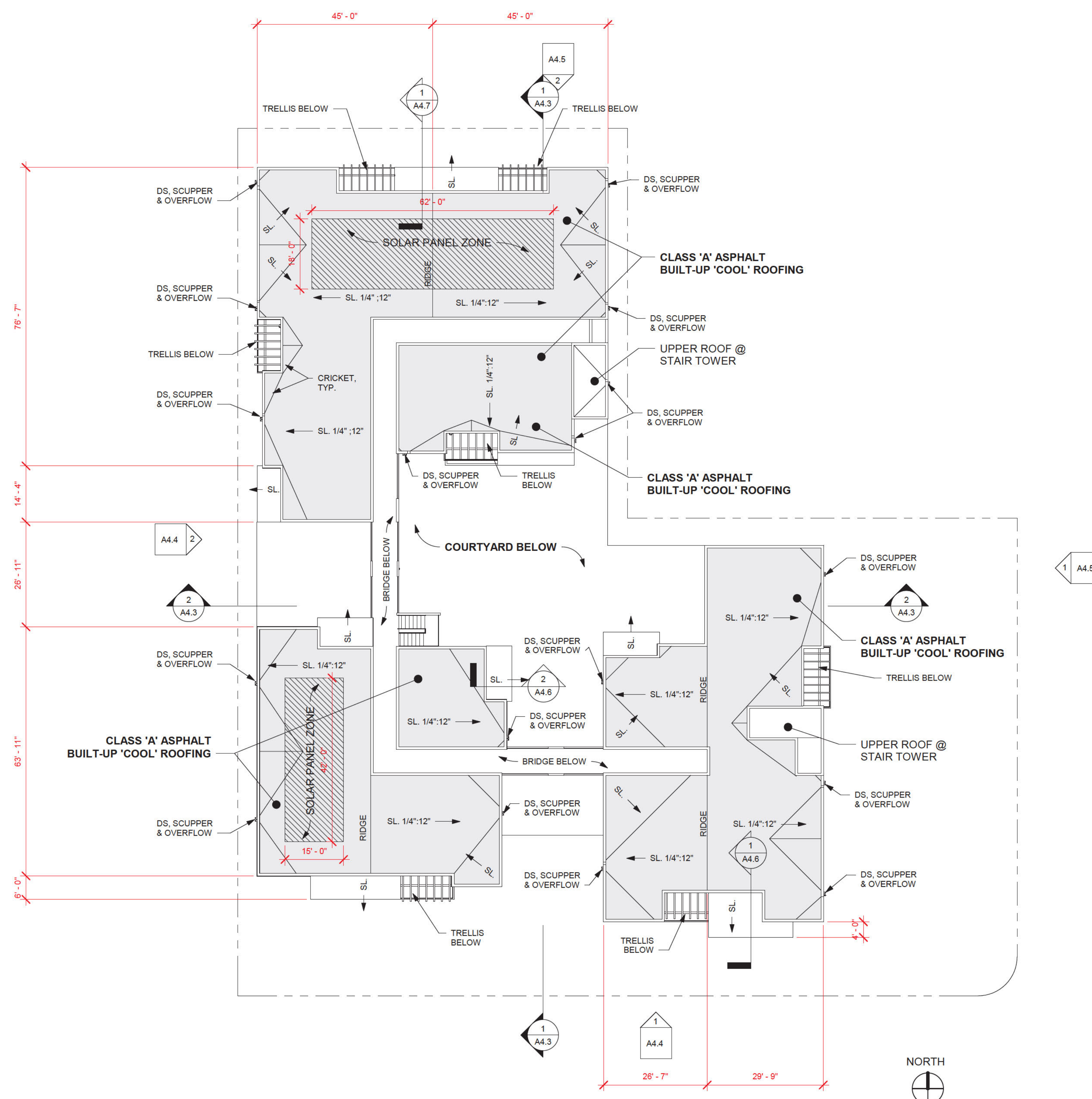
**SEA CAPE VILLAGE**  
1368 HOLLY AVE.  
IMPERIAL BEACH, CA. 91932

**FOURTH FLOOR PLAN**

SHEET TITLE	JOB NO.	DATE
230012.00		04/30/24

**A1.4**





1 ROOF PLAN  
1/16" = 1'-0"



REV.	DATE	DESCRIPTION
5-12-24	P.C. SUBMITTAL	

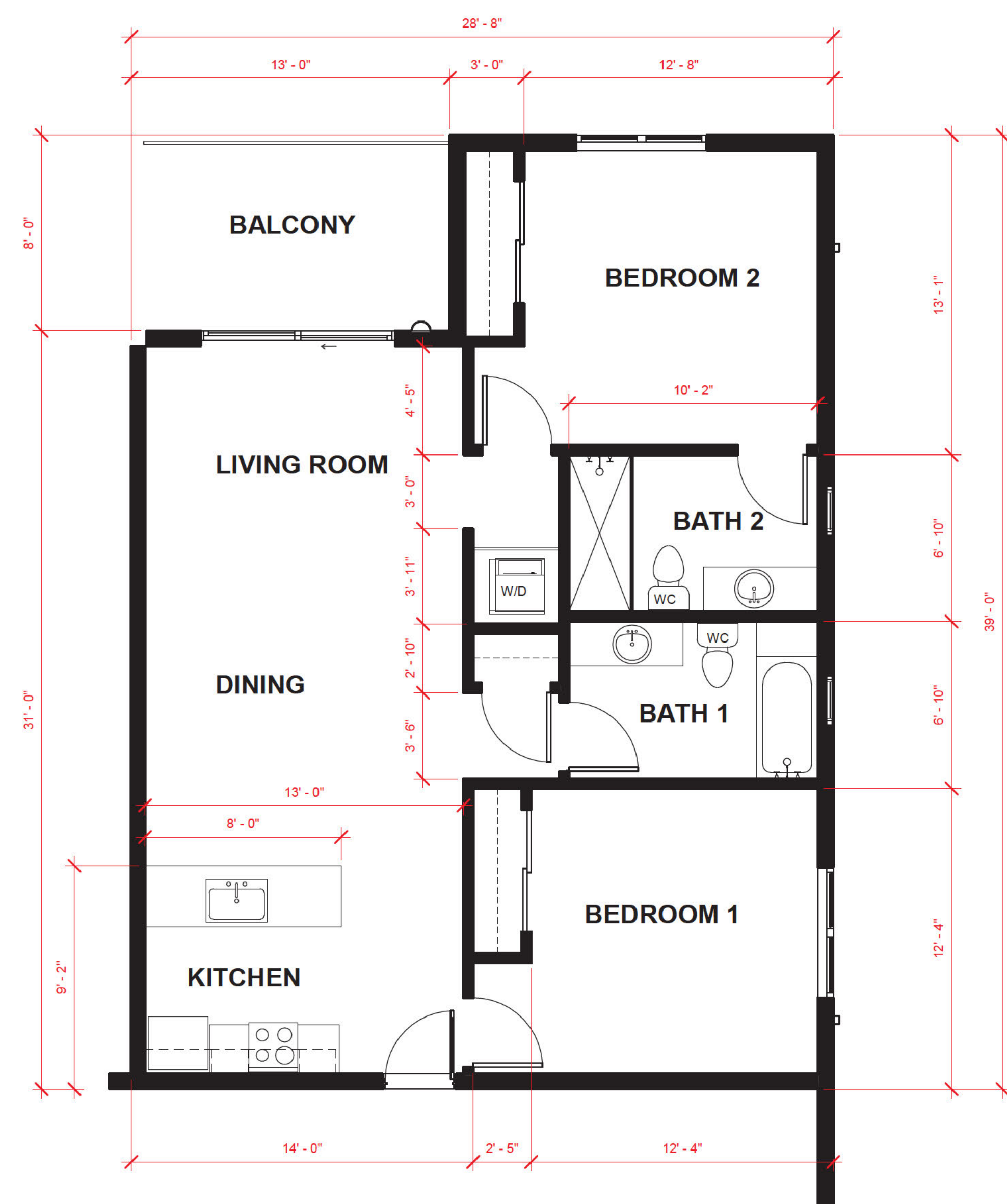
**SEA CAPE VILLAGE**  
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**ROOF PLAN**

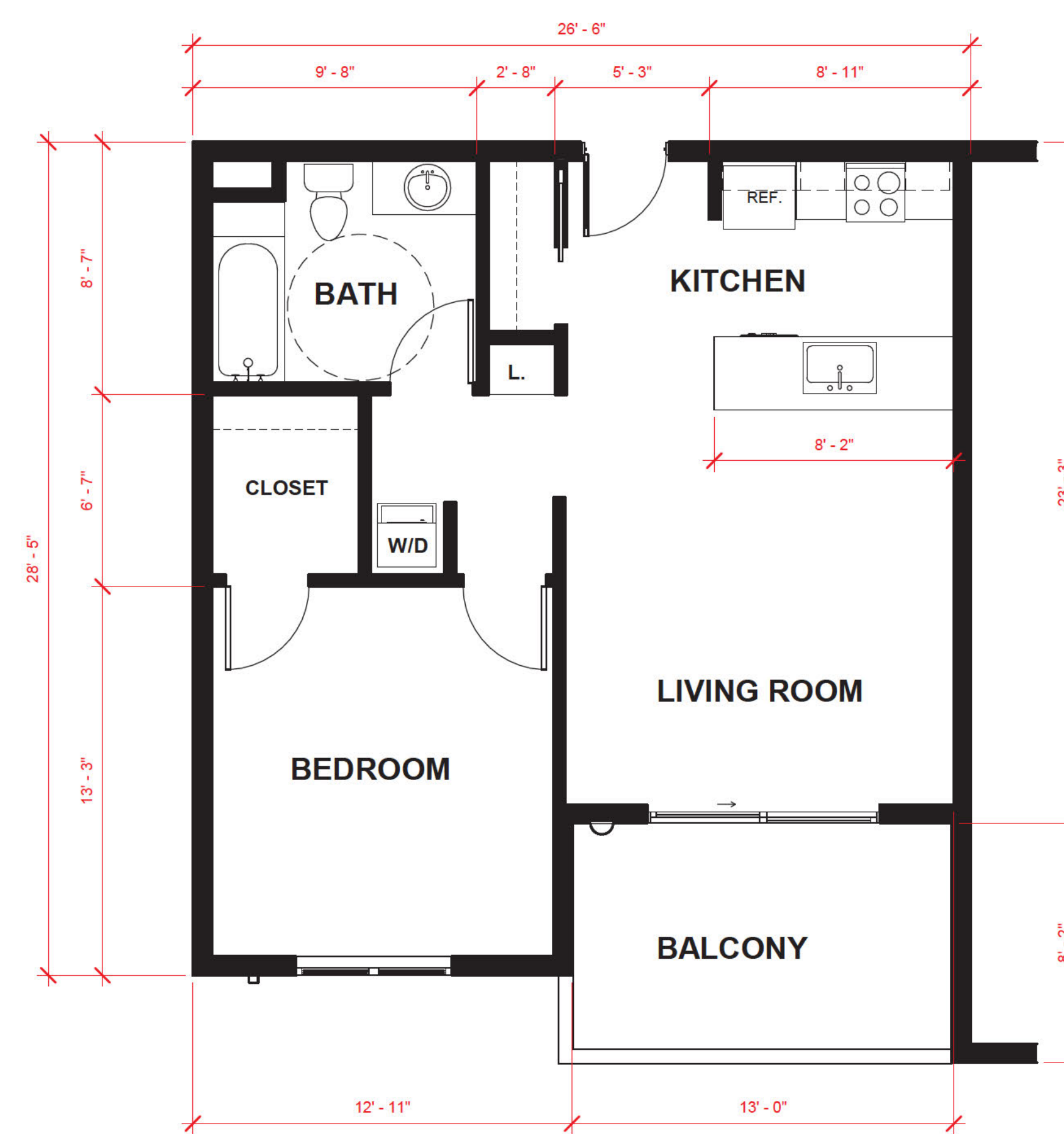
SHEET TITLE	JOB NO.	DATE
230012.00		04/30/24

**A2.1**

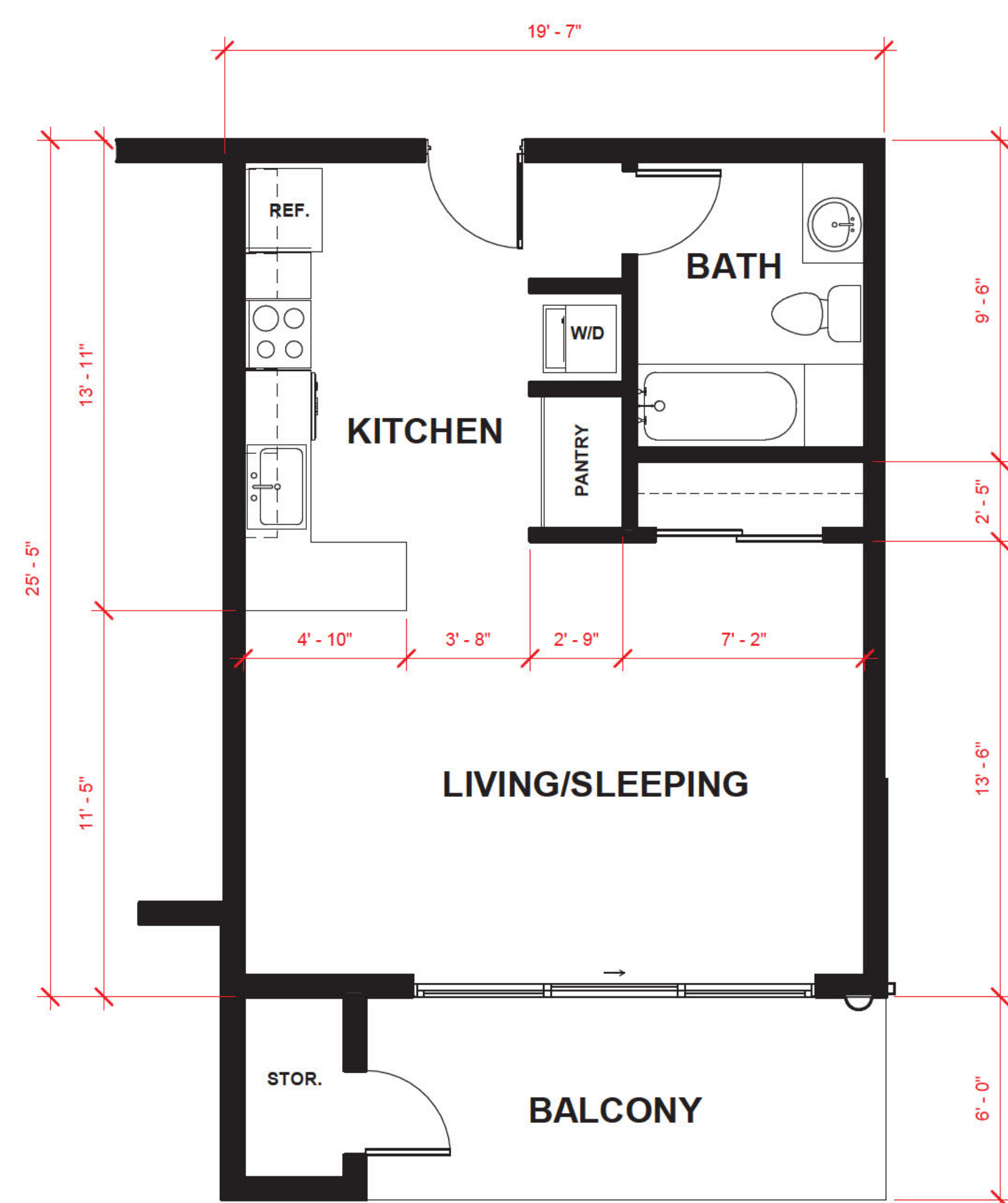




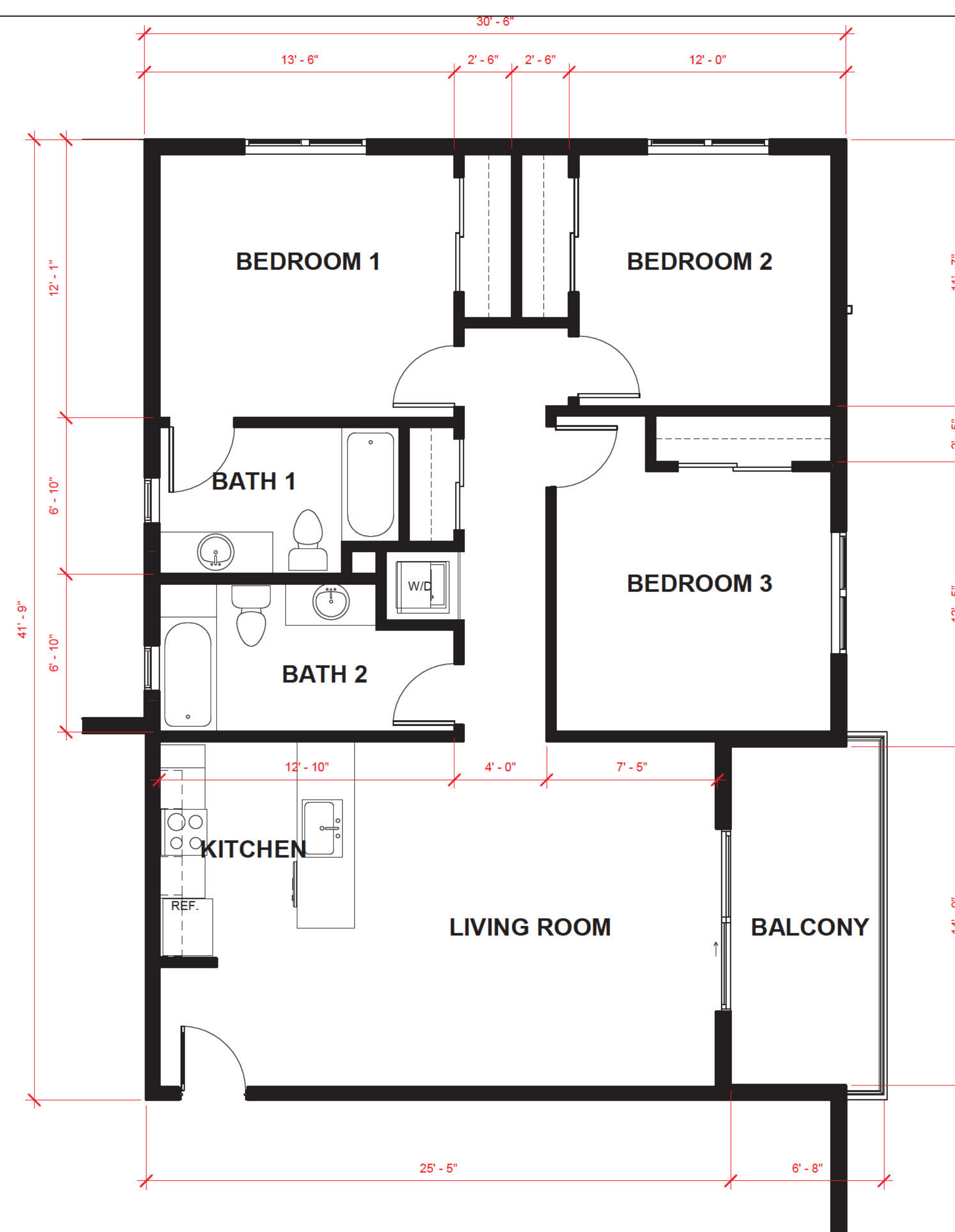
2 TYPICAL 2 BEDROOM UNIT  
1/4" = 1'-0"



1 TYPICAL 1 BEDROOM UNIT  
1/4" = 1'-0"



3 TYPICAL STUDIO UNIT  
1/4" = 1'-0"



4 TYPICAL 3 BEDROOM UNIT  
1/4" = 1'-0"



REV.	DATE	DESCRIPTION
5-12-24	P.C. SUBMITTAL	

**SEA CAPE VILLAGE**  
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UNIT PLANS

SHEET TITLE

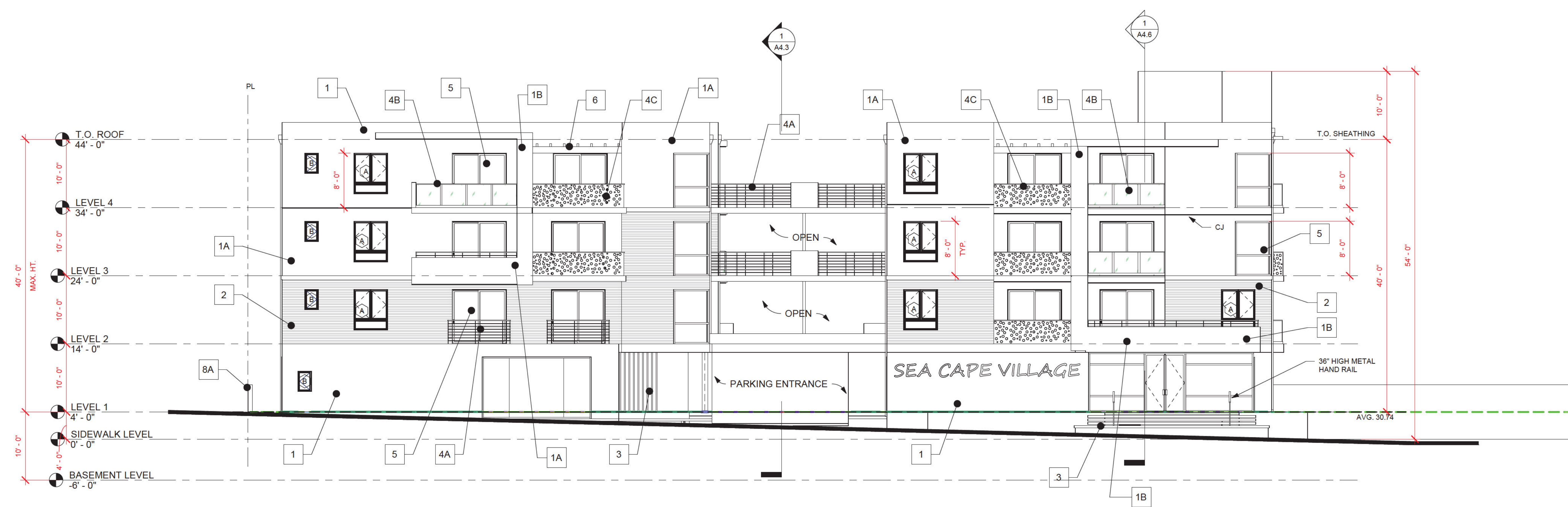
230012.00 JOB NO.

04/30/24 DATE

**A1.5**

SHEET





1 SOUTH (HOLLY) ELEVATION  
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE				
	DESCRIPTION	MANUFACTURER	STYLE / CAT. NO.	COLOR/REMARKS
1A	7/8" EXT. CEMENT PLASTER	*LA HABRA	20/30 SAND FINISH	ELASTOMERIC PAINT FINISH SW-6000 SNOWFALL
1B	7/8" EXT. CEMENT PLASTER	*LA HABRA	20/30 SAND FINISH	ELASTOMERIC PAINT FINISH SW-6005 FOLKSTONE
2	CEMENT BOARD SIDING	JAMES HARDIE ARTISAN SIDING	SHIPLAP	STAIN COLOR - SW 3501 'REDWOOD'
3	CONCRETE	--	BOARD FORMED	NATURAL GRAY
4A	METAL GUARD RAIL	*WESTCOAST ALUM.	HORIZONTAL PICKETS	ALUM. RAILING
4B	GLASS GUARD RAIL	*ADVANCED GLASS WALLS	T.B.D.	1/4" THICK TEMPERED GLASS
4C	LASER CUT METAL GUARD RAIL	*REVAMP PANELS	CUSTOM PATTERN	POWDER COATED ALUM. RAILING
5	VINYL WINDOWS	MILGARD	STYLELINE 450 SERIES	BLACK
6	METAL TRELLIS	--	--	BLACK
7	METAL GRATE (AT GARAGE)	--	--	COOL GRAY
8A	C.M.U. SITE WALL	RCP BLOCK AND BRICK	PRECISION BLOCK	NATURAL GRAY
8B	CONCRETE BLOCK WALL	RCP BLOCK AND BRICK	RIDGESTONE	GREYSTONE

\*OR APPROVED EQUAL



2 WEST (SIDE) ELEVATION  
1/8" = 1'-0"



5-12-24	P.C. SUBMITTAL
REV. DATE	DESCRIPTION

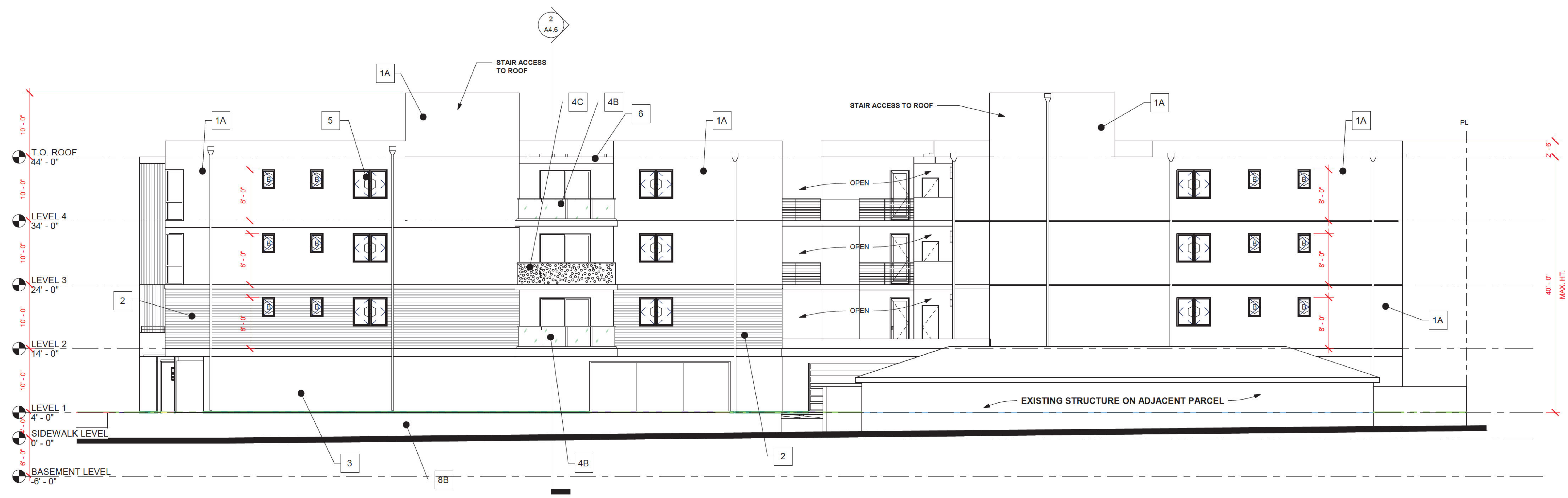
**SEA CAPE VILLAGE**  
1368 HOLLY AVE.  
IMPERIAL BEACH, CA. 91932

EXTERIOR ELEVATIONS

230012.00	JOB NO.
04/30/24	DATE

**A4.1**

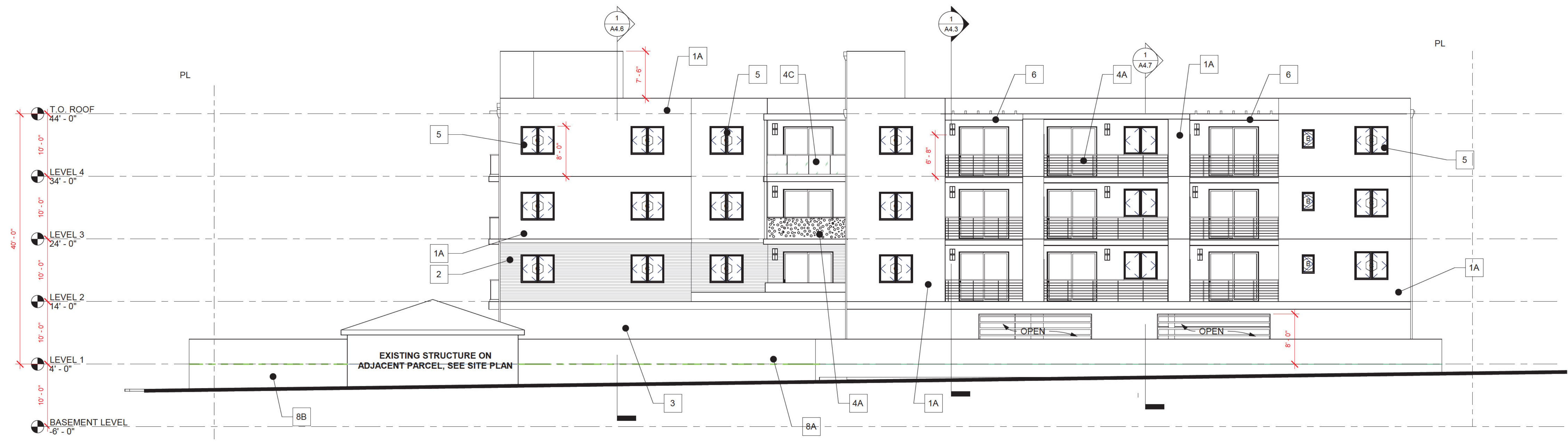




① EAST (14TH ST.) ELEVATION  
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE				
	DESCRIPTION	MANUFACTURER	STYLE / CAT. NO.	COLOR/REMARKS
1A	7/8" EXT. CEMENT PLASTER	*LA HABRA	20/30 SAND FINISH	ELASTOMERIC PAINT FINISH SW-6000 SNOWFALL
1B	7/8" EXT. CEMENT PLASTER	*LA HABRA	20/30 SAND FINISH	ELASTOMERIC PAINT FINISH SW-6005 FOLKSTONE
2	CEMENT BOARD SIDING	JAMES HARDIE ARTISAN SIDING	SHIPLAP	STAIN COLOR - SW 3501 'REDWOOD'
3	CONCRETE	--	BOARD FORMED	NATURAL GRAY
4A	METAL GUARD RAIL	*WESTCOAST ALUM.	HORIZONTAL PICKETS	ALUM. RAILING
4B	GLASS GUARD RAIL	*ADVANCED GLASS WALLS	T.B.D.	1/4" THICK TEMPERED GLASS
4C	LASER CUT METAL GUARD RAIL	*REVAMP PANELS	CUSTOM PATTERN	POWDER COATED ALUM. RAILING
5	VINYL WINDOWS	MILGARD	STYLELINE 450 SERIES	BLACK
6	METAL TRELLIS	--	--	BLACK
7	METAL GRATE (AT GARAGE)	--	--	COOL GRAY
8A	C.M.U. SITE WALL	RCP BLOCK AND BRICK	PRECISION BLOCK	NATURAL GRAY
8B	CONCRETE BLOCK WALL	RCP BLOCK AND BRICK	RIDGESTONE	GREYSTONE

\*OR APPROVED EQUAL



② NORTH (REAR) ELEVATION  
1/8" = 1'-0"



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REV. DATE	DESCRIPTION

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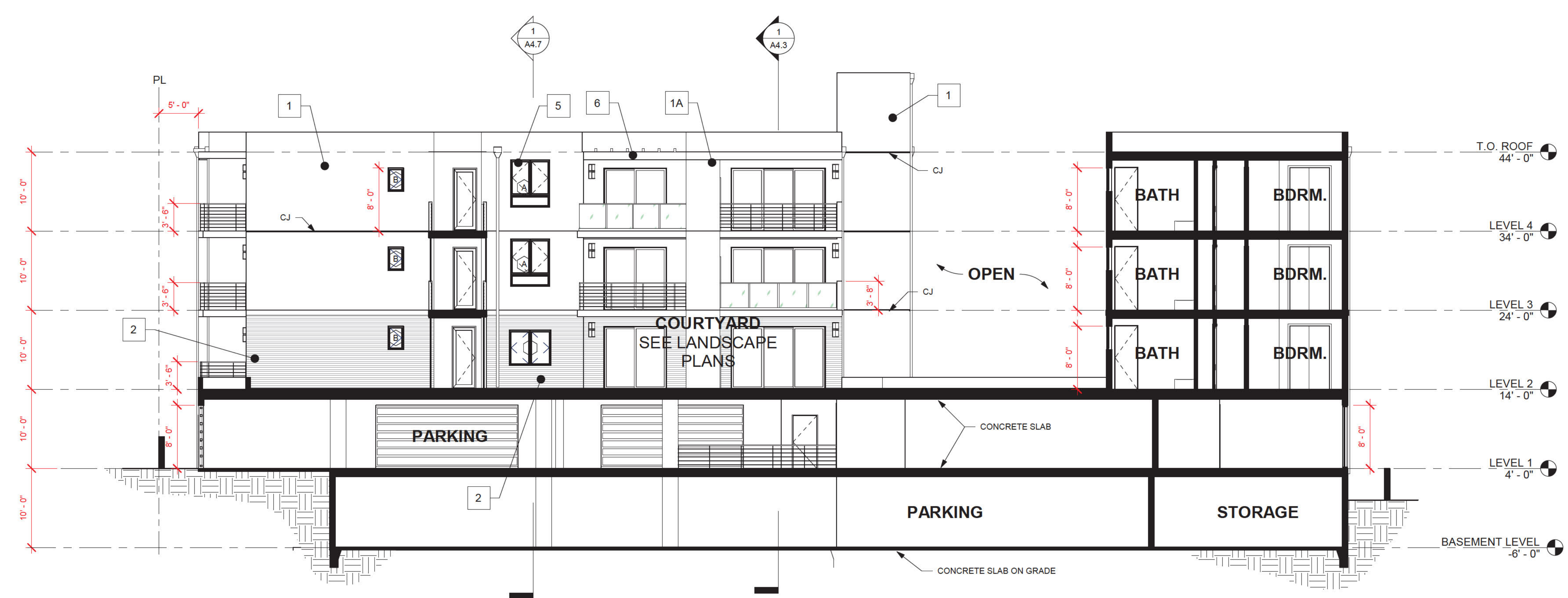
EXTERIOR ELEVATIONS

230012.00	JOB NO.
04/30/24	DATE

**A4.2**



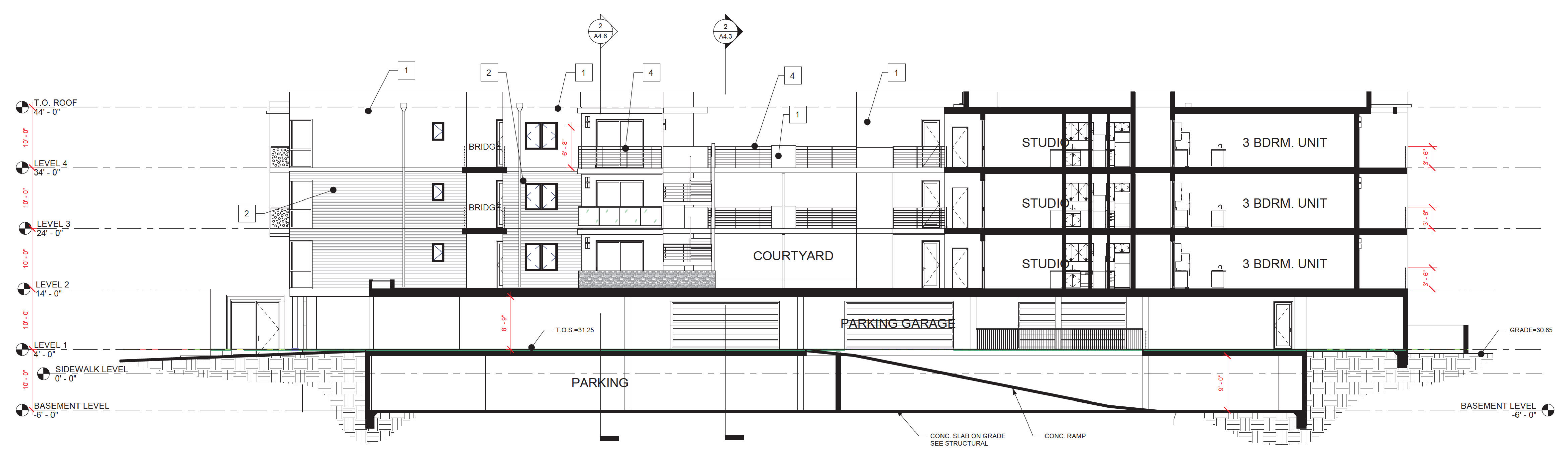
- SECTION NOTES:
- INSULATION SHALL BE PROVIDED PER ENERGY CALCULATIONS SEE SHEET M1
  - ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE
  - SEE SHEET A5.1 FOR EGRESS WINDOW INFORMATION
  - WALL SCANCES TO BE SELECTED BY OWNER
  - METAL FLASHING SHALL BE PAINTED TO MATCH ADJACENT FINISH U.N.O.
  - WOOD SIDING SPEC.: ICC-ESR-1301 LOUISIANA-PACIFIC CORPORATION SMART SIDE PRECISION SIDING OR APPROVED EQUAL



CROSS SECTION THROUGH COURTYARD  
②  
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE				
	DESCRIPTION	MANUFACTURER	STYLE / CAT. NO.	COLOR/REMARKS
1A	7/8" EXT. CEMENT PLASTER	*LA HABRA	20/30 SAND FINISH	ELASTOMERIC PAINT FINISH SW-6000 SNOWFALL
1B	7/8" EXT. CEMENT PLASTER	*LA HABRA	20/30 SAND FINISH	ELASTOMERIC PAINT FINISH SW-6005 FOLKSTONE
2	CEMENT BOARD SIDING	JAMES HARDIE ARTISAN SIDING	SHIPLAP	STAIN COLOR - SW 3501 'REDWOOD'
3	CONCRETE	--	BOARD FORMED	NATURAL GRAY
4A	METAL GUARD RAIL	*WESTCOAST ALUM.	HORIZONTAL PICKETS	ALUM. RAILING
4B	GLASS GUARD RAIL	*ADVANCED GLASS WALLS	T.B.D.	1/4" THICK TEMPERED GLASS
4C	LASER CUT METAL GUARD RAIL	*REVAMP PANELS	CUSTOM PATTERN	POWDER COATED ALUM. RAILING
5	VINYL WINDOWS	MILGARD	STYLELINE 450 SERIES	BLACK
6	METAL TRELLIS	--	--	BLACK
7	METAL GRATE (AT GARAGE)	--	--	COOL GRAY
8A	C.M.U. SITE WALL	RCP BLOCK AND BRICK	PRECISION BLOCK	NATURAL GRAY
8B	CONCRETE BLOCK WALL	RCP BLOCK AND BRICK	RIDGESTONE	GREYSTONE

\*OR APPROVED EQUAL



SECTION THROUGH COURTYARD  
①  
1/8" = 1'-0"



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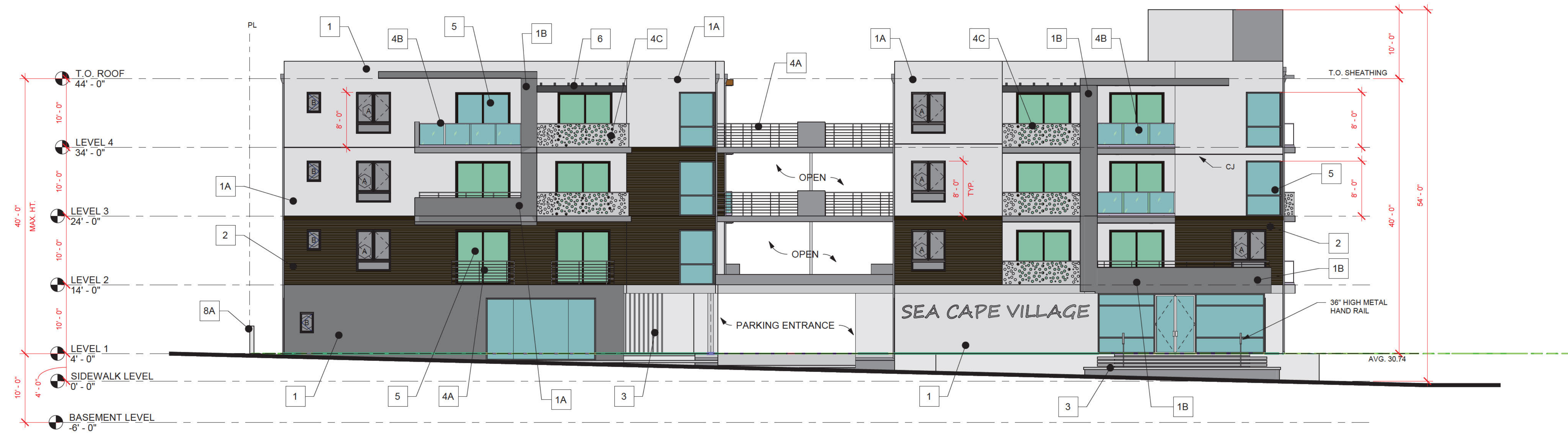
**SEA CAPE VILLAGE**  
1368 HOLLY AVE.  
IMPERIAL BEACH, CA. 91932

**BUILDING SECTIONS**

230012.00	JOB NO.
04/30/24	DATE

**A4.3**





1 COLORED HOLLY (SOUTH) ELEVATION  
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE				
	DESCRIPTION	MANUFACTURER	STYLE / CAT. NO.	COLOR/REMARKS
1A	7/8" EXT. CEMENT PLASTER	*LA HABRA	20/30 SAND FINISH	ELASTOMERIC PAINT FINISH SW-6000 SNOWFALL
1B	7/8" EXT. CEMENT PLASTER	*LA HABRA	20/30 SAND FINISH	ELASTOMERIC PAINT FINISH SW-6005 FOLKSTONE
2	CEMENT BOARD SIDING	JAMES HARDIE ARTISAN SIDING	SHIPLAP	STAIN COLOR - SW 3501 'REDWOOD'
3	CONCRETE	--	BOARD FORMED	NATURAL GRAY
4A	METAL GUARD RAIL	*WESTCOAST ALUM.	HORIZONTAL PICKETS	ALUM. RAILING
4B	GLASS GUARD RAIL	*ADVANCED GLASS WALLS	T.B.D.	1/4" THICK TEMPERED GLASS
4C	LASER CUT METAL GUARD RAIL	*REVAMP PANELS	CUSTOM PATTERN	POWDER COATED ALUM. RAILING
5	VINYL WINDOWS	MILGARD	STYLELINE 450 SERIES	BLACK
6	METAL TRELLIS	--	--	BLACK
7	METAL GRATE (AT GARAGE)	--	--	COOL GRAY
8A	C.M.U. SITE WALL	RCP BLOCK AND BRICK	PRECISION BLOCK	NATURAL GRAY
8B	CONCRETE BLOCK WALL	RCP BLOCK AND BRICK	RIDGESTONE	GREYSTONE

\*OR APPROVED EQUAL



2 COLORED SIDE (WEST) ELEVATION  
1/8" = 1'-0"



5-12-24 P.C. SUBMITTAL  
REV. DATE DESCRIPTION

**SEA CAPE VILLAGE**  
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COLORED ELEVATIONS

SHEET TITLE  
230012.00 JOB NO.  
04/30/24 DATE

**A4.4**

SHEET





5-12-24 P.C. SUBMITTAL  
REV. DATE DESCRIPTION

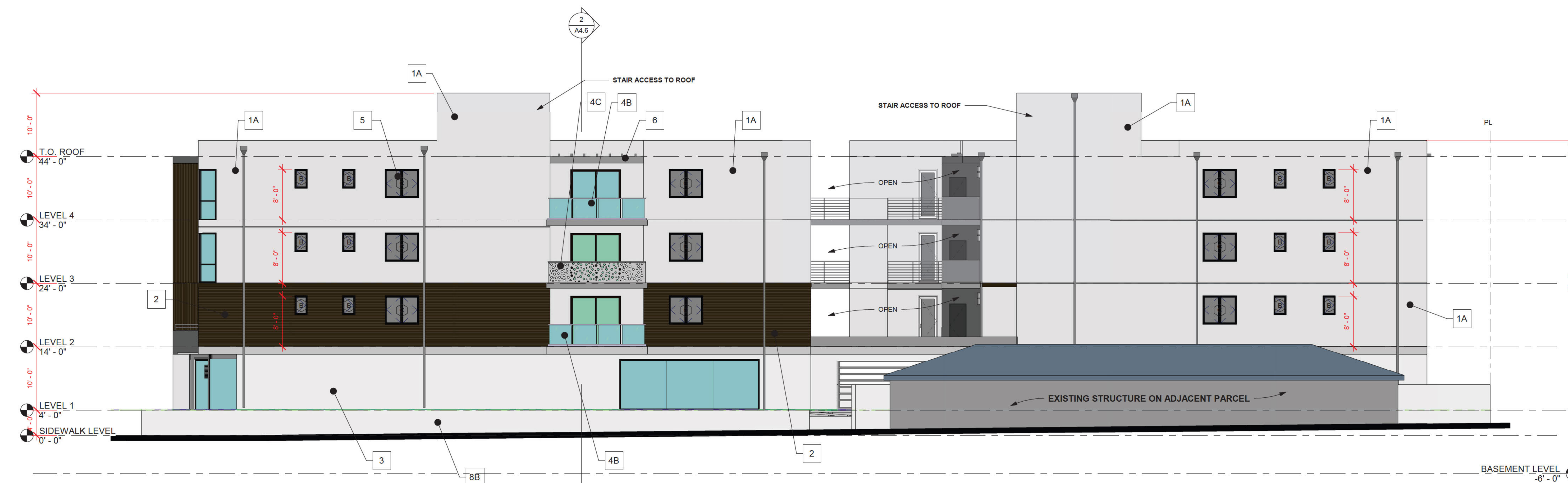
**SEA CAPE VILLAGE**  
1368 HOLLY AVE.  
IMPERIAL BEACH, CA. 91932

COLORED ELEVATIONS

SHEET TITLE  
230012.00 JOB NO.  
04/30/24 DATE

**A4.5**

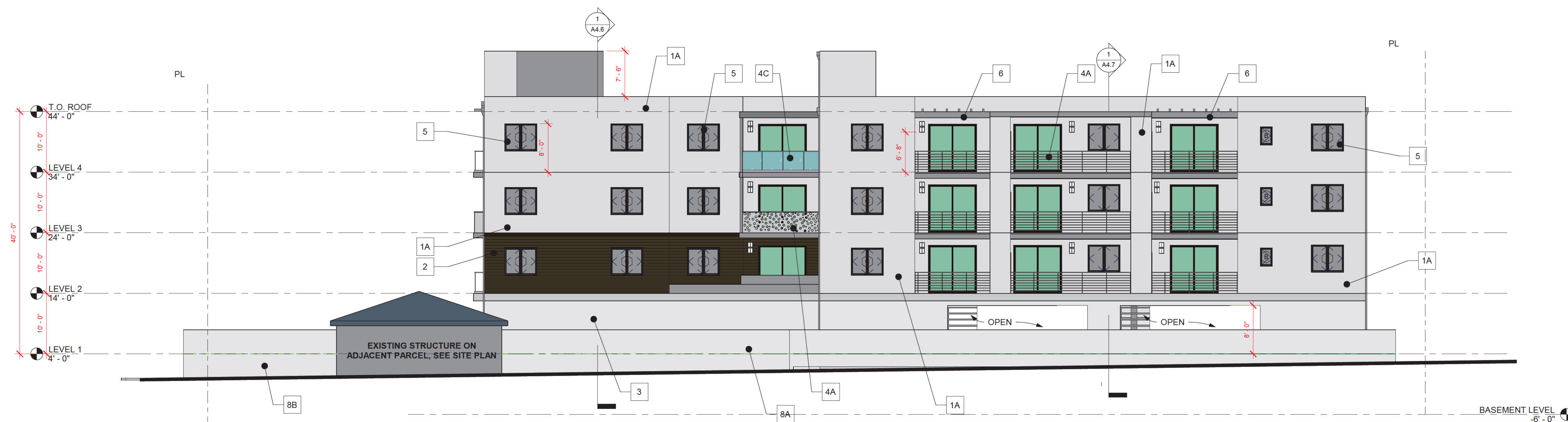
SHEET



① COLORED 14TH ST. (EAST) ELEVATION  
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE				
	DESCRIPTION	MANUFACTURER	STYLE / CAT. NO.	COLOR/REMARKS
1A	7/8" EXT. CEMENT PLASTER	*LA HABRA	20/30 SAND FINISH	ELASTOMERIC PAINT FINISH SW-6000 SNOWFALL
1B	7/8" EXT. CEMENT PLASTER	*LA HABRA	20/30 SAND FINISH	ELASTOMERIC PAINT FINISH SW-6005 FOLKSTONE
2	CEMENT BOARD SIDING	JAMES HARDIE ARTISAN SIDING	SHIPLAP	STAIN COLOR - SW 3501 'REDWOOD'
3	CONCRETE	--	BOARD FORMED	NATURAL GRAY
4A	METAL GUARD RAIL	*WESTCOAST ALUM.	HORIZONTAL PICKETS	ALUM. RAILING
4B	GLASS GUARD RAIL	*ADVANCED GLASS WALLS	T.B.D.	1/4" THICK TEMPERED GLASS
4C	LASER CUT METAL GUARD RAIL	*REVAMP PANELS	CUSTOM PATTERN	POWDER COATED ALUM. RAILING
5	VINYL WINDOWS	MILGARD	STYLELINE 450 SERIES	BLACK
6	METAL TRELLIS	--	--	BLACK
7	METAL GRATE (AT GARAGE)	--	--	COOL GRAY
8A	C.M.U. SITE WALL	RCP BLOCK AND BRICK	PRECISION BLOCK	NATURAL GRAY
8B	CONCRETE BLOCK WALL	RCP BLOCK AND BRICK	RIDGESTONE	GREYSTONE

\*OR APPROVED EQUAL



② COLORED NORTH (REAR) ELEVATION  
1/8" = 1'-0"



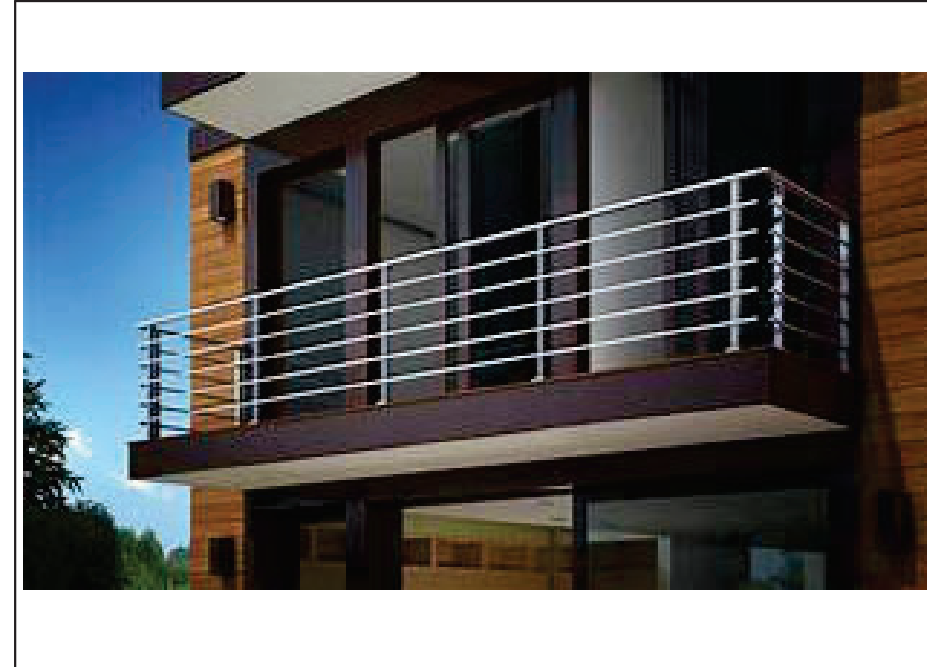
# SEA CAPE VILLAGE



STUCCO TEXTURE  
LA HABRA 20/30 SAND FINISH



2-CEMENT BOARD SIDING  
JAMES HARDIE - SHIPLAP



4A-METAL GUARD RAIL



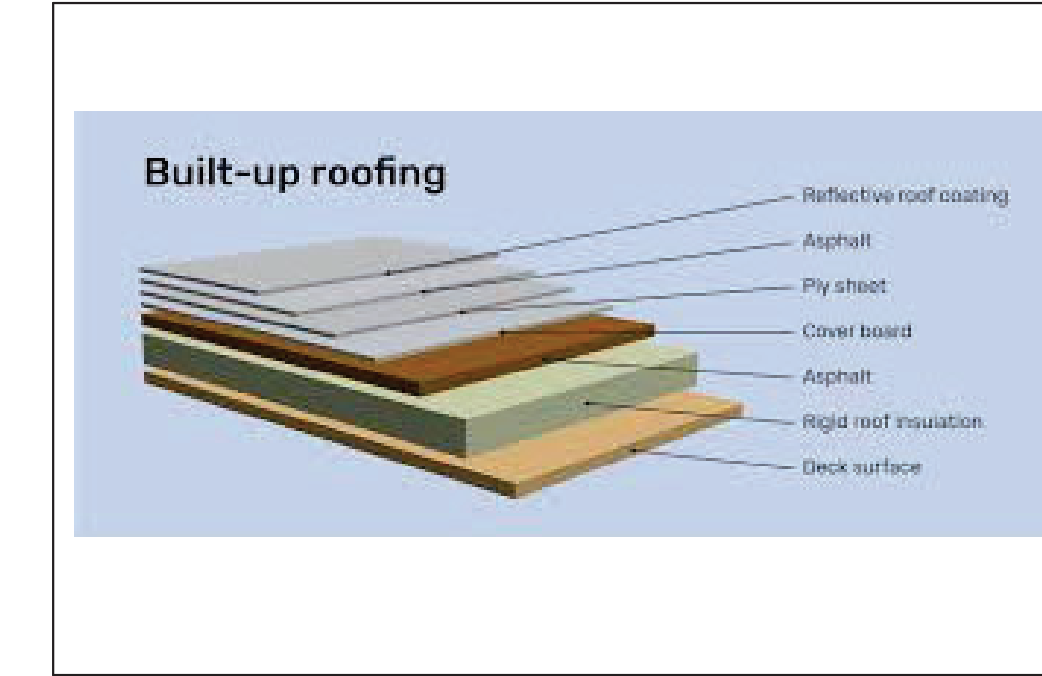
1A-STUCCO COLOR  
SHERWIN WILLIAMS SW6000-SNOWFALL



5- MILGARD STYLE-LINE  
WINDOWS



4B-GLASS GUARD RAIL



4 PLY BUILT UP ASPHALT ROOFING



1B-STUCCO COLOR  
SHERWIN WILLIAMS SW6005-FOLKSTONE



4C-LASER CUT METAL GUARD RAIL

EXTERIOR FINISH SCHEDULE				
	DESCRIPTION	MANUFACTURER	STYLE / CAT. NO.	COLOR/REMARKS
1A	7/8" EXT. CEMENT PLASTER	*LA HABRA	20/30 SAND FINISH	ELASTOMERIC PAINT FINISH SW-6000 SNOWFALL
1B	7/8" EXT. CEMENT PLASTER	*LA HABRA	20/30 SAND FINISH	ELASTOMERIC PAINT FINISH SW-6005 FOLKSTONE
2	CEMENT BOARD SIDING	JAMES HARDIE ARTISAN SIDING	SHIPLAP	STAIN COLOR - SW 3501 'REDWOOD'
3	CONCRETE	--	BOARD FORMED	NATURAL GRAY
4A	METAL GUARD RAIL	*WESTCOAST ALUM.	HORIZONTAL PICKETS	ALUM. RAILING
4B	GLASS GUARD RAIL	*ADVANCED GLASS WALLS	T.B.D.	1/4" THICK TEMPERED GLASS
4C	LASER CUT METAL GUARD RAIL	*REVAMP PANELS	CUSTOM PATTERN	POWDER COATED ALUM. RAILING
5	VINYL WINDOWS	MILGARD	STYLELINE 450 SERIES	BLACK
6	METAL TRELLIS	--	--	BLACK
7	METAL GRATE (AT GARAGE)	--	--	COOL GRAY
8A	C.M.U. SITE WALL	RCP BLOCK AND BRICK	PRECISION BLOCK	NATURAL GRAY
8B	CONCRETE BLOCK WALL	RCP BLOCK AND BRICK	RIDGESTONE	GREYSTONE

\*OR APPROVED EQUAL



8A- CONCRETE MASONRY UNIT  
R.C.P. PRECISION BLOCK



8B- CONCRETE BLOCK  
R.C.P. RIDGESTONE-GREYSTONE



**PLANT LIST**

	Qty	ID	Botanical Name	Common Name	Scheduled Size	Mature Height	Mature Width	WUCOLS	Comments
<b>Cacti-Succulents</b>									
	8	Aga N	Agave attenuata 'Nova'	Blue Fox Tail Agave	5 Gal	3-4'	3-4'	Low	Comment 1
	6	Aga 'SG'	Agave villmoriana 'Stained Glass'	Octopus Agave	5 gal	3-4'	3-4'	Low	
	7	YUC 'SA'	Yucca 'Silver Anniversary'	Silver Anniversary Yucca	5 Gal	2-3'	3-4'	Low	
<b>Shrubs and Grasses</b>									
	5	Bou 'R'	Bougainvillea 'Rosenka'	NCN	5 gal	2-4'	4-6'	Low	
	6	GRE 'S'	Grevillea 'Superb'	Superb Grevillea	5 Gal	4-6'	4-8'	Low	
	11	Iva hay	Iva hayesiana	Poverty Weed	1 gal	2-4'	4-5'	Low	Native Species
	77	JUN PAT 'EB'	Juncus patens 'Elk Blue'	Elk Blue California Gray Rush	1 Gal	18-24"	2-3'	Low	Native Species
	9	Muh rig	Muhlenbergia rigens	Deer Grass	2 gal	4-5'	4-5'	Low	Native Species
	10	Rha 'EC'	Rhamnus californica 'Eve Case'	Coffeeberry	5 gal	4-6'	4-6'	Low	Native Species
	17	ROS CAL	Rosa californica	California Wild Rose	5 Gal	3-5'	5-10'	Low	Native Species
<b>Trees</b>									
	4	Aca pod	Acacia podalyrifolia	Pearl Acacia	24" box	15-20'	10-15'	Low	Tree Form
	3	Cer 'M'	Cercis x 'Merlot'	Merlot Redbud	24" box	15-20'	12-15'	Med	Standard
	2	Gei par	Geijera parviflora	Australian Willow	24" box	20-30'	15-20'	Low	
	4	Myr cal	Myrica californica	Pacific Wax Myrtle	15 gal	20-30'	10-20'	Low	Native Species
	1	Pla rac	Platanus racemosa	Western Sycamore	36" box	40-50'	30-45'	Med	Native Species

**TREES**



**SUCCULENTS, SHRUBS, AND GRASSES**



**MATERIALS**



PERMEABLE PAVERS, TYPE 1



STABILIZED DECOMPOSED GRANITE

**TOTAL PROJECT LANDSCAPE AREA: 9,656 SF**  
**PARK LANDSCAPE AREA: 5,323 SF**

**PROJECT TYPE: MULTI-FAMILY, RESIDENTIAL, PARK**

**WATER SUPPLY: POTABLE**

**I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.**

**SIGNATURE:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

**IRRIGATION NOTES:**

Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified irrigation devices.

Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur.

Irrigation system is designed to prevent runoff, low head drainage, over spray, or other similar conditions where irrigation water flows onto non-targeted areas.

A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.

A Certificate of Completion shall be filled out and certified by either the designer of the landscape plans, the designer of the irrigation plans, or the licensed landscape contractor for the project.

An irrigation audit report shall be completed at the time of final inspection.

A landscape waste diversion plan shall be completed and submitted with the Certificate of Completion.

**PLANTING NOTES**

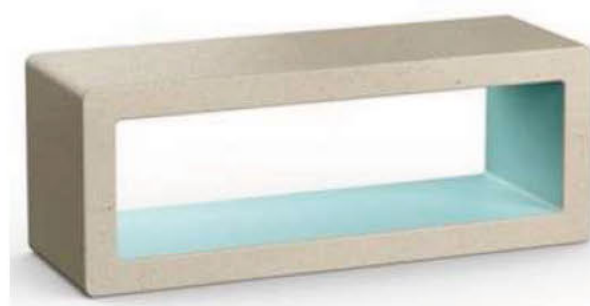
MATURE PLANT SPREAD INFORMATION PER SAN MARCOS GROWERS AND OTHER SOUTHERN CALIFORNIA NURSERIES.

MULCH DEPTH IN PLANTING AREAS IS 3", SUCH AS PREMIUM RECYCLE WOOD CHIPS FROM TERRA BELLA NURSERY.

COMPOST TO BE APPLIED AT A MINIMUM RATE OF 4 CU YD PER 1000 SF, OR AT A RATE TO BRING SOIL ORGANIC MATTER UP TO 6% BY DRY WEIGHT, AS INDICATED IN SOIL REPORT. COMPOST TO BE INCORPORATED AT LEAST 6" DEEP.



BENCH, TYPE 1



BENCH, TYPE 2



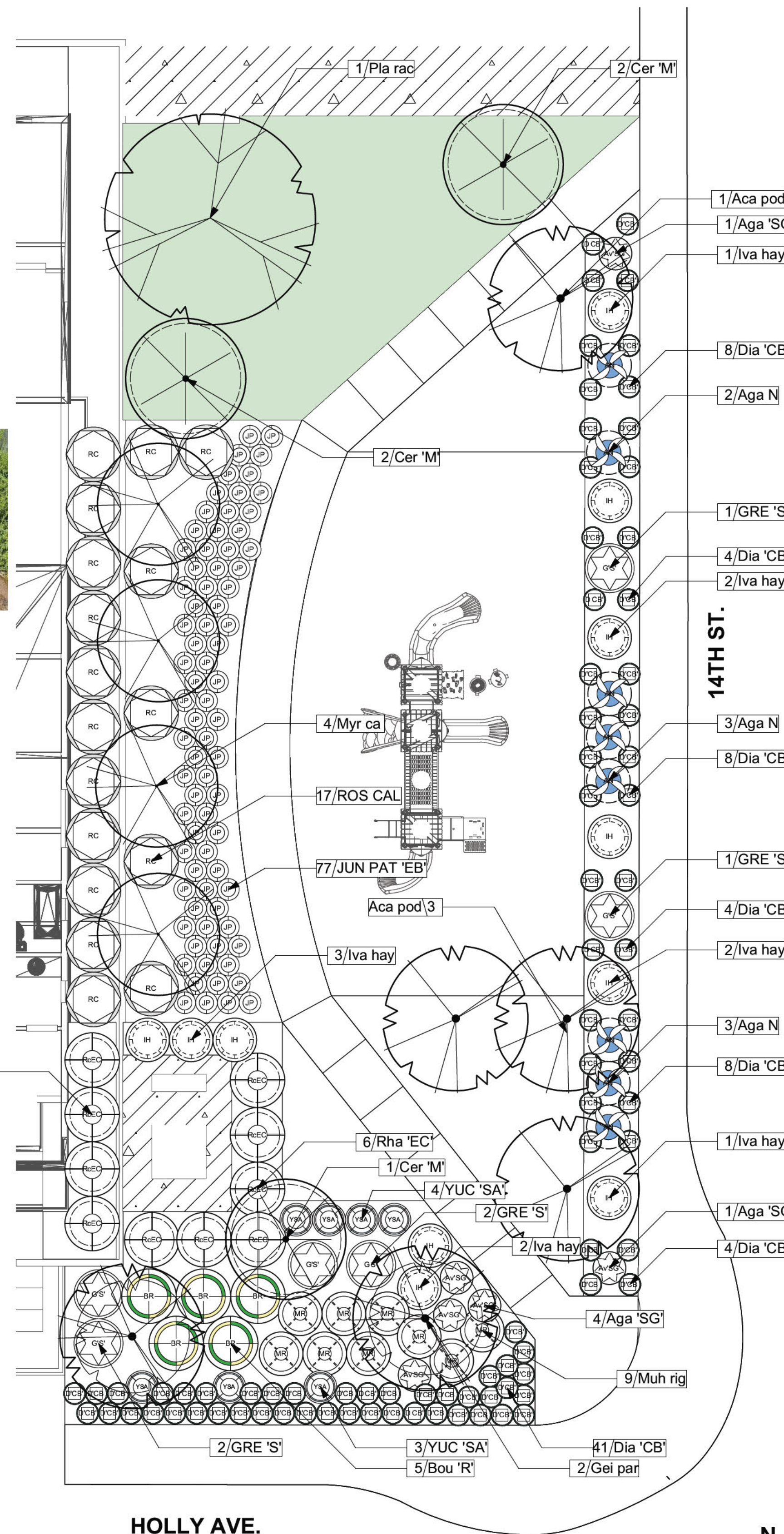
BIKE RACK



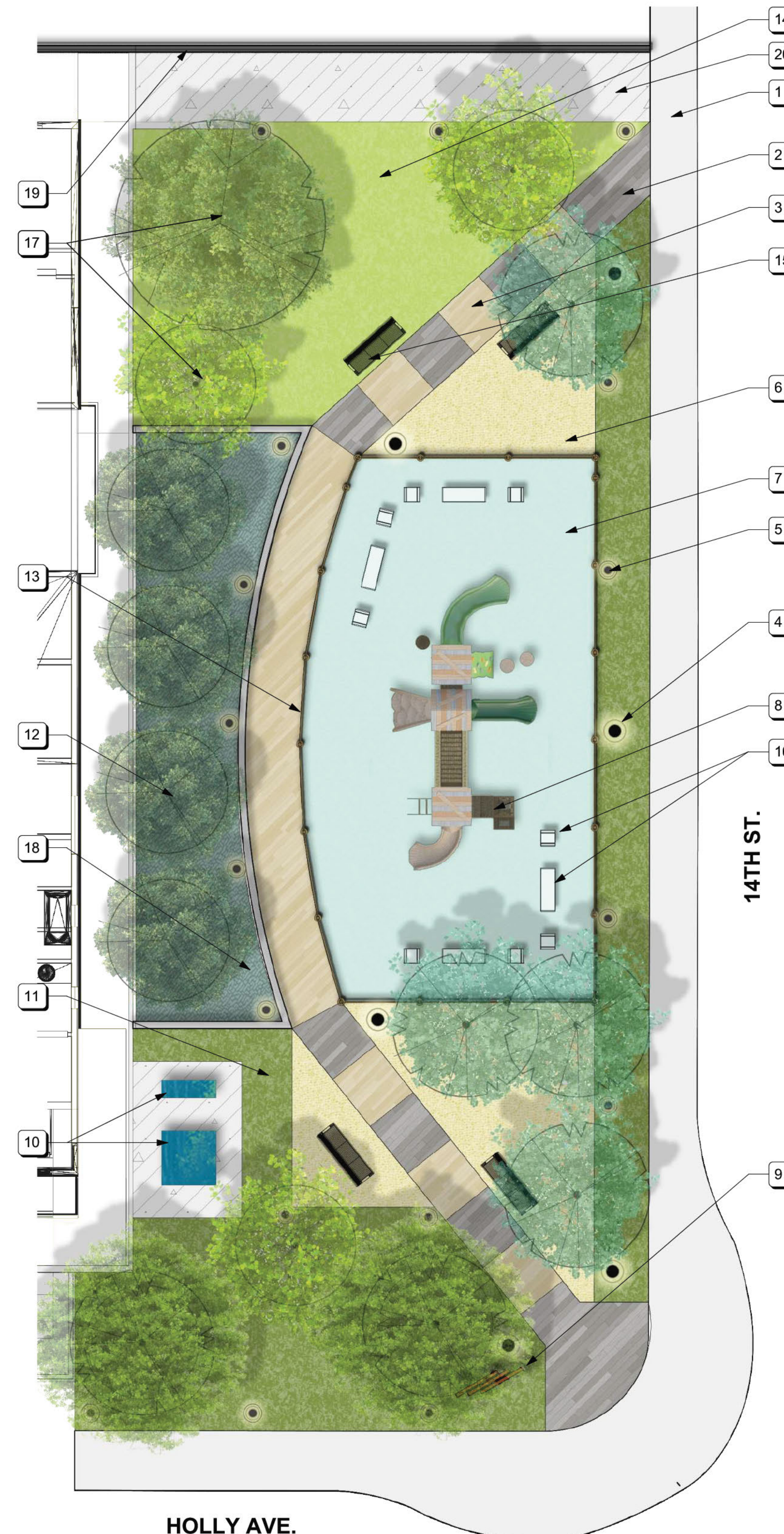
PLAY EQUIPMENT

**PROPOSED PLAN NOTES**

- EXISTING SIDEWALK TO REMAIN
- PERMEABLE CONCRETE PAVERS TYPE 1, SUCH AS WAUSAU TILE H-SERIES, COLOR: ECO PREMIER HEP-10 (SRI 32), SIZE: 6"X12"
- PERMEABLE CONCRETE PAVERS TYPE 2, SUCH AS WAUSAU TILE H-SERIES, COLOR: ECO PREMIER HEP-60 (SRI 28), SIZE: 6"X12"
- POLE LIGHT, TYPICAL, TYPE TBD
- PATH LIGHT, TYPICAL, TYPE TBD
- STABILIZED DECOMPOSED GRANITE PAVING, SUCH AS PALM SPRINGS GOLD FROM SOUTHWEST BOULDER, CHULA VISTA, (619)591-2366
- PLAYGROUND SURFACING, TYPE AND COLOR TBD
- PLAY EQUIPMENT, SUCH AS PLAYWORLD CUSTOM PLAYGROUND, (INTENDED USER AGE 2-12)
- PARK ENTRY SIGN
- ELECTRICAL TRANSFORMER
- PLANTING AREA, LOW WATER USE PALETTE, TYPICAL. SEE PLANTING PLAN FOR MORE INFORMATION
- SCREENING TREE/SHRUB, SEE PLANTING PLAN FOR PROPOSED SPECIES
- 42" HEIGHT FENCE WITH GATE WITH SELF-CLOSING HARDWARE, TYPE TBD
- TURF AREA
- BENCH, TYPE 1, METAL, BY MMCITE, MODEL: EMAU SOLO (EMS256), COLOR TBD
- BENCH, TYPE 2, CONCRETE, BY QCP, MODELS: Q2-WILSON-S AND Q2-WILSON-L, INTERIOR COLOR TBD
- PROPOSED TREE, SEE PLANTING PLAN
- STORMWATER TREATMENT BASIN, PER CIVIL
- CMU BLOCK WALL, PER CIVIL
- CONCRETE WALKWAY



**2 PLANTING PLAN - POCKET PARK**  
 Scale: 1/8" = 1'-0"



**1 SITE PLAN - POCKET PARK**  
 Scale: 1/8" = 1'-0"

**s cala**  
 SOUTHERN CALIFORNIA ARCHITECTS

2100 SAWTELLE BLVD. #306  
 LOS ANGELES, CA.  
 90025 310.600.6502



LANDSCAPE ARCHITECTURE  
**HATCHWORKS STUDIO**  
 3745 TRUDY LANE  
 SAN DIEGO, CA 92106  
 619.356.8582



5-12-24	P.C. SUBMITTAL
REV. DATE	DESCRIPTION

**SEA CAPE VILLAGE**  
 1368 HOLLY AVE.  
 IMPERIAL BEACH, CA. 91932

**SITE PLAN - PARK**

2322-ANA	JOB NO.
6/7/2024	DATE

**LS1.1**

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF SOUTHERN CALIFORNIA ARCHITECTS, AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF JON WALTERS



**STRUCTURES**



SHADE STRUCTURE  
steel frame, perforated metal canopy



OUTDOOR KITCHEN COUNTER WITH GRILL



CANTILEVERED WOOD BENCHES  
such as Wally Bench by Tournesol Siteworks



ALUMINUM RAISED PLANTERS WITH LIGHTING  
such as Wislire and Kitsap by Tournesol Siteworks

TOTAL PROJECT LANDSCAPE AREA: 9,656 SF  
PARK LANDSCAPE AREA: 5,323 SF

PROJECT TYPE: MULTI-FAMILY, RESIDENTIAL, PARK

WATER SUPPLY: POTABLE

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

SIGNATURE: \_\_\_\_\_

DATE: 6/11/2024

**s cala**

SOUTHERN CALIFORNIA ARCHITECTS

2100 SAWTELLE BLVD. #306  
LOS ANGELES, CA.  
90025 310.600.6502

**FURNISHINGS**



PICNIC TABLES  
such as MCite Blooq picnic table



STONE BENCHES  
such as Santa Barbara sandstone

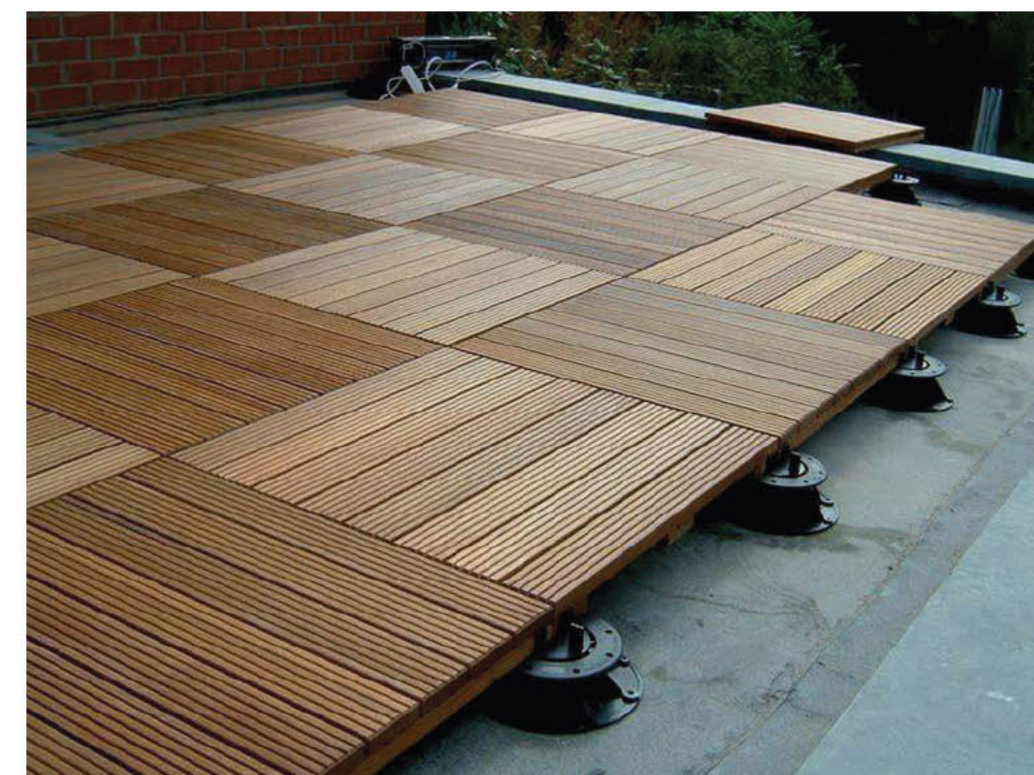


MOVEABLE FURNITURE  
rocking chairs, dining tables, side tables, dining chairs



FIRE TABLE

**PAVING**



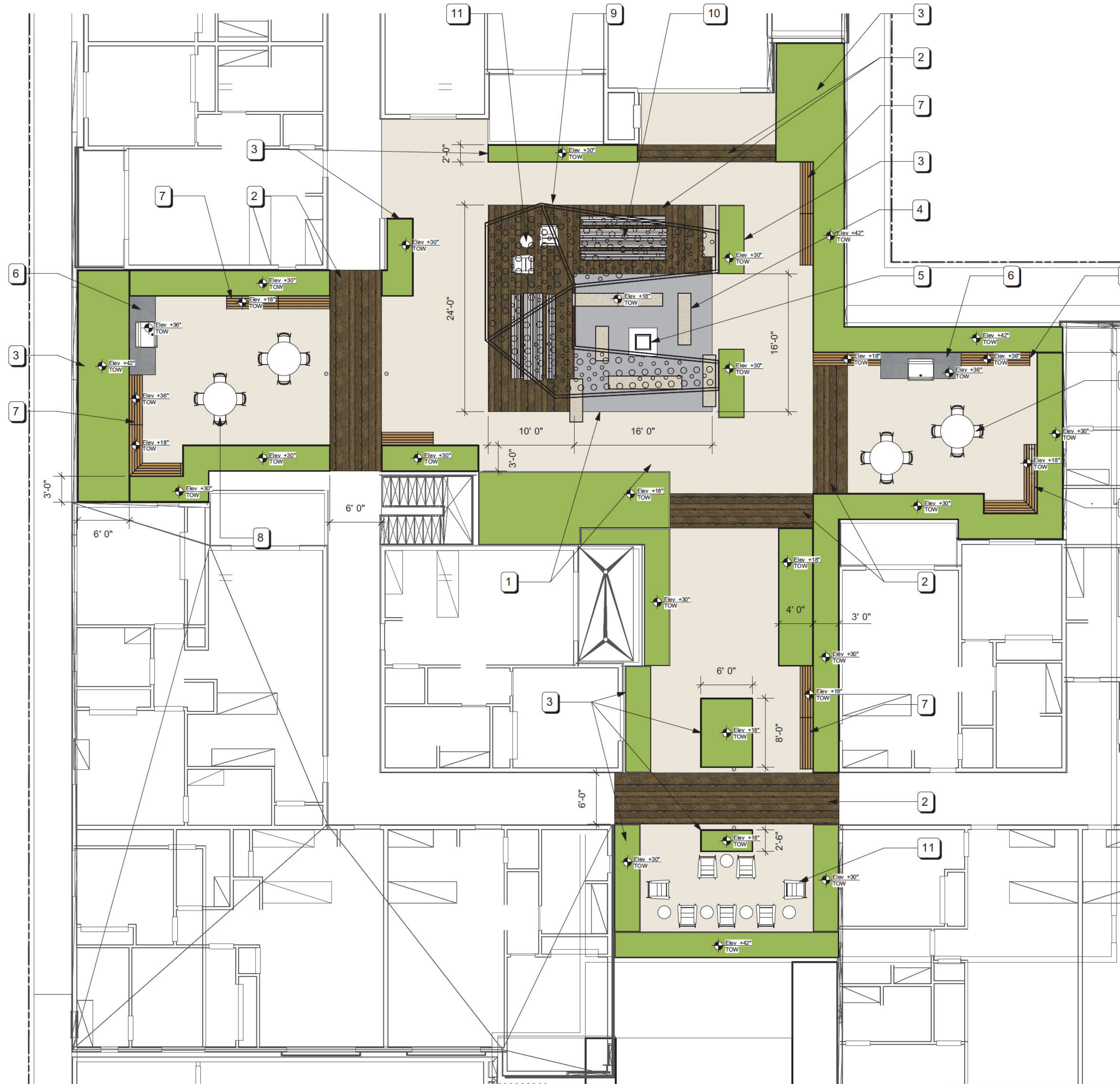
WOOD DECKING ON PEDESTALS  
such as Bison bamboo tiles



PORCELAIN TILE PAVERS ON PEDESTALS  
such as Bison 2cm pavers in Seastone Gray and Trust Gold

**PROPOSED PLAN NOTES**

- 1 2CM CERAMIC TILE PAVING ON PEDESTALS
- 2 WOOD TRAY MODULAR TILE PAVING ON PEDESTALS
- 3 RAISED ALUMINUM PLANTER WITH LIGHTWEIGHT SOIL MEDIUM, ON PEDESTALS, WITH IRRIGATION AND DRAINAGE. INTEGRATED LIGHTING, POWDERCOAT COLOR AND FINISH TBD
- 4 SANDSTONE SLAB SEATING OR LIGHTWEIGHT CONCRETE, COLOR AND FINISH TBD
- 5 GAS FIRE PIT, TYPE AND PRODUCT TBD
- 6 COUNTERTOP WITH GAS GRILL, PRODUCT, MATERIALS, AND COLOR TBD
- 7 CANTILEVERED WOOD BENCH OR COUNTER, FASTENED TO RAISED PLANTER, BRACKET AND REINFORCEMENT PER MANUFACTURER.
- 8 CAFE TABLE AND CHAIRS, PRODUCT AND COLOR TBD
- 9 STEEL SHADE STRUCTURE WITH PERFORATED METAL PANEL CANOPY. COLOR AND FINISH TBD
- 10 PICNIC TABLE AND BENCH
- 11 ADIRONDACK ROCKING CHAIRS AND SIDE TABLE



1 SITE PLAN - LEVEL 2  
Scale: 1/8" = 1'-0"



0 8 16 FT



LANDSCAPE ARCHITECTURE

**HATCHWORKS STUDIO**  
3745 TRUDY LANE  
SAN DIEGO, CA 92106  
619.356.8582



5-12-24	P.C. SUBMITTAL
REV. DATE	DESCRIPTION

**SEA CAPE VILLAGE**

1368 HOLLY AVE.  
IMPERIAL BEACH, CA. 91932

SITE PLAN - APARTMENT

SHEET TITLE

2322-ANA JOB NO.

6/11/2024 DATE

**LS1.2**

SHEET







**APARTMENT LEVEL COURTYARD 2 PLANTS**

**TREES**



Dracaena marginata 'Tricolor'

**SHRUBS AND GRASSES**



Asparagus densiflorus 'Myers'



Carex divulsa



Justicia brandegeana



Philodendron 'Xanadu'



Polystichum munitum



Tecomaria capensis Hybrid 'Yellow Cape Town'



Westringia fruticosa 'Grey Box'

**SUCCULENTS AND CACTI**



Aeonium tabuliforme



Agave attenuata 'Nova'



Graptoveria 'Fred Ives'



Portulacaria afra 'Minima'

**GROUND FLOOR PLANTS**

**TREES**



Archontophoenix cunninghamiana

**SHRUBS AND GRASSES**



Bougainvillea 'Rosenka'



Bouteloua gracilis 'Blonde Ambition'



Callistemon viminalis 'Better John'



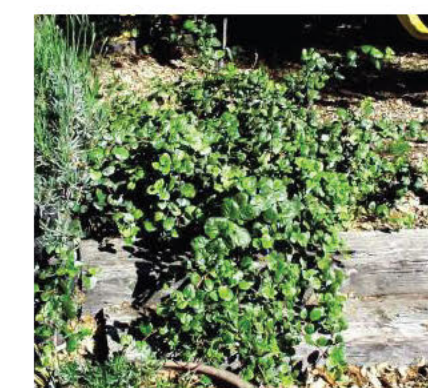
Chondropetalum tectorum



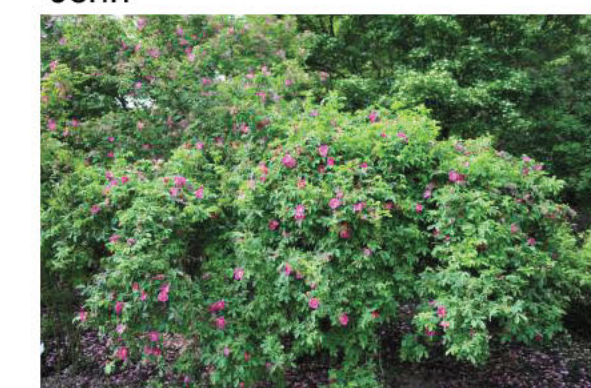
Eremophila glabra 'Grey Horizon'



Iva hayesiana



Ribes viburnifolium 'Spoooner's Mesa'



Rosa californica

**SUCCULENTS AND CACTI**



Aeonium tabuliforme



Agave villmoriana 'Stained Glass'



Echeveria 'First Lady'



Kalanchoe beharensis

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**PLANT LIST**

	Qty	ID	Botanical Name	Common Name	Size	Mature Height	Mature Width	WUCOLS	Comments
<b>Cacti-Succulents</b>									
ADP	60	Aeo 'DP'	Aeonium tabuliforme	Dinner Plate Aeonium	2 gal	6"	18"	Low	
AG	22	Aga N	Agave attenuata 'Nova'	Blue Fox Tail Agave	5 Gal	3-4'	3-4'	Low	
AG	13	Aga 'SG'	Agave villmoriana 'Stained Glass'	Octopus Agave	5 gal	3-4'	3-4'	Low	
EFL	9	Ech 'FL'	Echeveria 'First Lady'	NCN	1 gal	12"	12-18"	Low	
GF	49	Grap FI	Graptoveria 'Fred Ives'	Fred Ives' Graptoveria	1 gal	1-2'	1-2'	Low	
K	3	Kal beh	Kalanchoe beharensis	Velvet Elephant Ear	5 gal	6-8"	5-7"	Low	
P	40	Port Min	Portulacaria afra 'Minima'	Dwarf Elephant Food	2 gal	6"	4-5'	Low	
<b>Shrubs and Grasses</b>									
AD	26	Asp den 'M'	Asparagus densiflorus 'Myers'	Foxtail Asparagus Fern	1 Gal	1-2'	2-3'	Med	
B	8	Bou 'R'	Bougainvillea 'Rosenka'	NCN	5 gal	2-4'	4-6'	Low	
BBA	135	Bou gra 'BA'	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	1 gal	1-3'	1-3'	Low	Native Species
CV	26	Cal vim 'BJ'	Callistemon viminalis LJ1 'Better John'	Better John Bottlebrush	5 Gal	2-3'	2-3'	Low	
Cd	54	Car div	Carex divulsa	European Grey Sedge	4" pot	12-18"	1-2'	Med	
CT	8	Cho tec	Chondropetalum tectorum	Small Cape Rush	5 gal	2-3'	3-4'	Low	
E	26	Ere gla 'GH'	Eremophila glabra 'Grey Horizon'	Gray Emu Bush	5 Gal	8-12"	4-6'	Low	
I	16	Iva hay	Iva hayesiana	Poverty Weed	1 gal	2-4'	4-5'	Low	Native Species
J	4	Jus brn	Justicia brandegeana	Shrimp Plant	3 gal	3-4'	3-4'	Med	
P	20	Phil 'Xan'	Philodendron 'Xanadu'	Winterbourn Philodendron	5 Gal	2-3'	3-4'	Med	
PM	32	Pol mun	Polystichum munitum	Western Sword Fern	1 Gal	2-4'	2-4'	Low to Med	Native Species
R	25	Rib vib 'SM'	Ribes viburnifolium 'Spoooner's Mesa'	San Diego Evergreen Currant	1 Gal	2-4'	4-8"	Low	Native Species
R	24	Ros cal	Rosa californica	California Wild Rose	5 Gal	3-5'	5-10'	Low	Native Species
T	9	Tec cap	Tecomaria capensis Hybrid 'DWYE001'	Yellow Cape Town Honeysuckle	1 Gal	4-5'	3'	Low	
W	10	Wes GB	Westringia fruticosa Grey Box	Dwarf Coast Rosemary	3 gal	2-3'	2-3'	Low	
<b>Trees</b>									
A	2	Arc cun	Archontophoenix cunninghamiana	Australian Palm	36" Box	40-50'	12-15'	Med	Multi-trunk
D	2	Dra Tri	Dracaena marginata 'Tricolor'	Tricolor Dragon Tree	15 Gal	6-12'	3-6'	Low	Min (3) heads

**GENERAL NOTES**

- VISIT SITE PRIOR TO SUBMITTING BIDS.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLANS.
- DO NOT SCALE DRAWINGS.
- ALL WORK CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE LATEST BUILDING CODE AND WITH OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE LOCATION OF THE WORK. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
- DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED PRIOR TO THE CONTINUATION OF THIS WORK. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY CORRECTIONS DUE TO FAILURE TO REPORT KNOWN DISCREPANCIES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE UNLESS OTHERWISE SHOWN; THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE LANDSCAPE ARCHITECT SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE LANDSCAPE ARCHITECT DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE LANDSCAPE ARCHITECT, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED BEFORE, DURING OR AFTER COMPLETION OF CONSTRUCTION ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, BUT THEY DO NOT GUARANTEE GENERAL CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
- A PROTECTION FENCE SHALL BE CONSTRUCTED AND MAINTAINED DURING CONSTRUCTION CONFORMING TO THE REQUIREMENTS OF THE BUILDING CODE.
- MAINTAIN SANITARY TOILET FACILITIES DURING CONSTRUCTION AS REQUIRED BY APPLICABLE REGULATIONS.
- THE GENERAL CONTRACTOR WARRANTS TO THE OWNER AND THE LANDSCAPE ARCHITECT THAT ALL MATERIALS AND EQUIPMENT FURNISHED WILL BE NEW UNLESS OTHERWISE SPECIFIED AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK AND/OR EQUIPMENT SUPPLIED BY THE OWNER.
- PROVIDE FACILITIES FOR THE PHYSICALLY HANDICAPPED IN ACCORDANCE WITH C.A.C. TITLE 24 AND AS REQUIRED BY THE LATEST VERSION OF THE CALIFORNIA BUILDING CODE.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE GENERAL CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE EXECUTION OF THIS WORK.
- PAVING, MASONRY AND CONCRETE SUBCONTRACTORS ARE TO COORDINATE WITH THE ELECTRICIAN, DRAINLINE SUBCONTRACTOR AND IRRIGATION SUBCONTRACTOR FOR SLEEVING, PIPING AND/OR CONDUIT INSTALLATION UNDER OR THROUGH HARDSCAPE ELEMENTS.
- VERIFY ALL PROPERTY LINES OR OTHER LIMIT OF WORK LINES PRIOR TO COMMENCING WORK.
- IN THE CASE OF DISCREPANCIES IN THE DRAWINGS, SPECIFICATIONS TAKE PRECEDENCE OVER DETAILS, AND DETAILS TAKE PRECEDENCE OVER PLANS.
- SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE OWNER.
- THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL TRADES ARE PROVIDED WITH CURRENT DRAWINGS AND SPECIFICATIONS APPROVED FOR CONSTRUCTION. DO NOT ALLOW DOCUMENTS NOT APPROVED FOR CONSTRUCTION TO BE USED IF SEEN ON SITE. KEEP ONE SET OF AGENCY-APPROVED STAMPED PLANS ON SITE IN CASE CITY INSPECTORS REQUIRE PROOF OF CITY-APPROVED PLANS.
- REPAIR OR REPLACE ANY DAMAGE TO ADJACENT PROPERTIES, CURBS, WALKS, PLANTING, WALLS, ETC. AT NO ADDITIONAL COST TO THE OWNER.
- LOCATIONS OF N.E.C. CONSTRUCTION ELEMENTS SUCH AS LIGHTS, SIGNS, VENTS, HYDRANTS, TRANSFORMERS, ETC. ARE APPROXIMATE. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD THE LOCATION OF THESE ITEMS INTERFERE WITH THE PROPER EXECUTION OF WORK.
- PROVIDE THE OWNER WITH ALL WARRANTIES, GUARANTEES, AND INSTRUCTION MANUALS FOR EQUIPMENT, APPLIANCES, FIXTURES, ETC. AS DESCRIBED IN THE SPECIFICATIONS.
- NOTIFY THE CITY'S AUTHORIZED REPRESENTATIVE 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING AND ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- LANDSCAPE ARCHITECT SHALL HAVE FINAL SAY ON INTERPRETATION OF ALL INFORMATION CONTAINED IN THE LANDSCAPE CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND ASSOCIATED REPORTS FOR THE PROJECT.

**IRRIGATION NOTES:**

Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specified irrigation devices.

Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur.

Irrigation system is designed to prevent runoff, low head drainage, over spray, or other similar conditions where irrigation water flows onto non-targeted areas.

A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.

A Certificate of Completion shall be filled out and certified by either the designer of the landscape plans, the designer of the irrigation plans, or the licensed landscape contractor for the project.

An irrigation audit report shall be completed at the time of final inspection.

A landscape waste diversion plan shall be completed and submitted with the Certificate of Completion.

s cala

SOUTHERN CALIFORNIA ARCHITECTS

2100 SAWTELLE BLVD. #306  
LOS ANGELES, CA.  
90025 310.600.6502



LANDSCAPE ARCHITECTURE

**HATCHWORKS STUDIO**  
3745 TRUDY LANE  
SAN DIEGO, CA 92106  
619.356.8582



5-12-24 P.C. SUBMITTAL  
REV. DATE DESCRIPTION

**SEA CAPE VILLAGE**

1368 HOLLY AVE.  
IMPERIAL BEACH, CA. 91932

**PLANT IMAGES - APARTMENT**

SHEET TITLE

2322-ANA

JOB NO.

6/11/2024

DATE

**LS1.4**

SHEET





LANDSCAPE ARCHITECTURE

**HATCHWORKS STUDIO**  
3745 TRUDY LANE  
SAN DIEGO, CA 92106  
619.356.8582



**IRRIGATION CONSTRUCTION NOTES:**

- 1 POINT OF CONNECTION - CONTRACTOR TO MAKE CONNECTION DOWNSTREAM OF A DEDICATED 3/4" POTABLE WATER METER. CONTRACTOR TO INSTALL A WYE STRAINER, BACKFLOW, PRESSURE REGULATOR (IF NEEDED), FLOW SENSOR, MASTER CONTROL VALVE, ISOLATION VALVE AND EXTEND SYSTEM AS SHOWN.
- 2 IRRIGATION CONTROLLER IS A WEB BASE UNIT AS SPECIFIED. POWER SOURCE TO BE PROVIDED BY OTHERS. INSTALL A WIRED RAIN SENSOR ON THE SIDE OF THE BUILDING OR WALL. SENSOR TO HAVE A CLEAR VIEW TO THE SKY.
- 3 REMOTE CONTROL VALVES TO BE INSTALLED IN A MANIFOLD AND TO BE HIDDEN FROM CASUAL SIGHT WHEN POSSIBLE. STATE LOCATION OF ALL VALVES FOR APPROVAL BY LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE. (TYPICAL ALL LOCATIONS)
- 4 LOCATIONS SHOWN DIAGRAMMATICALLY. ALL EQUIPMENT TO BE INSTALLED WITHIN PLANTING AREAS OR LOCATED AS DIRECTED BY THE LANDSCAPE ARCHITECT. ROUTE IRRIGATION MAINLINE AND CONTROL WIRE APPROXIMATELY AS SHOWN 1.2" TO 1.8" FROM BACK OF CURB OR WALK.
- 5 DRIVEWAY AND SIDEWALK CROSSING- MAINLINE, LATERAL LINE AND CONTROL WIRE SLEEVES UNDER ALL PAVING. SLEEVES TWO TIMES DIA. OF PIPE, 2" MIN. (TYP.) PULL BOX- CONTROL WIRE SLEEVES UNDER ALL PAVING TO INCLUDE PULL BOX AT ENDS OF SLEEVES. (TYP.)
- 6 DESIGN PROVIDES ZONE SEPARATION REQUIRED BY DIFFERENCES IN APPLICATION RATE, ENVIRONMENTAL EXPOSURE, TOPOGRAPHY AND PLANT WATER CONSUMPTION.
- 7 DRIP IRRIGATION FOR SHRUB AND GROUND COVER PLANTINGS - DRIP TUBING WITH PRE-INSERTED, 1.1 GPH PRESSURE COMPENSATING EMITTERS AT 1.8' O.C. TUBING TO BE UNIFORMLY SPACED 16" TO 18" O.C. IN GRID PATTERN AS SHOWN. SECURE WITH STAPLES 5' O.C. AND PROVIDE 4" TOP SOIL COVER. (AVG. APPLICATION RATE = .72 in/hr TO .69 in/hr)
- 8 DRIP IRRIGATION FOR SHRUB AND GROUND COVER PLANTINGS WITHIN NARROW PLANTERS - DRIP TUBING WITH PRE-INSERTED, 0.53 GPH PRESSURE COMPENSATING EMITTERS AT 1.2' O.C. TUBING TO BE UNIFORMLY SPACED 10" TO 12" O.C. IN GRID PATTERN AS SHOWN. SECURE WITH STAPLES 5' O.C. AND PROVIDE 4" TOP SOIL COVER. (AVG. APPLICATION RATE = .36 in/hr TO .72 in/hr)
- 9 DRIP IRRIGATION FOR ADDITIONAL WATER ON TREES. DRIP TUBING WITH PRE-INSERTED, 1.1 GPH PRESSURE COMPENSATING EMITTERS AT 1.2' O.C. TUBING TO BE UNIFORMLY SPACED IN A RING PATTERN AS DETAILED. SECURE WITH STAPLES 5' O.C. AND PROVIDE 4" TOP SOIL COVER. (AVG. APPLICATION RATE = .92 in/hr TO .79 in/hr)
- 10 HUNTER RZWS BUBBLER IN DEEP WATERING DEVICE WITH PRESSURE COMPENSATING BUBBLER, FOR TREES WITHIN D.G. AREAS AND TURF. SEE LEGEND AND DETAILS FOR STYLE, TYPE AND PLACEMENT.
- 11 DRIP SYSTEM FLUSHING- STATION FLOW 10 GPM OR GREATER; MANUAL FLUSH VALVE AS DETAILED AND INSTALLED AT FLUSH MANIFOLDS. STATION FLOW 9 GPM OR LESS; DRIP OPERATION INDICATOR WITH GPH GDFN NOZZLE AT LATERAL ENDS OR TERMINAL MANIFOLDS.
- 12 DRIP OPERATION INDICATOR INSTALLED ON INLET MANIFOLD, NEAR CONTROL VALVE AND/OR AT LATERAL ENDS OR ON FLUSH MANIFOLDS OF ALL DRIP SYSTEMS (TYP. 2 UNITS PER SYSTEM MINIMUM.) ON SMALL SYSTEMS OR SUB-SYSTEMS THE DRIP OPERATION INDICATOR CAN ALSO ACT AS A FLUSH DEVICE.
- 13 DRIP AIR/VACUUM RELIEF VALVE. LOCATION SHOWN DIAGRAMMATICALLY. VALVE TO BE INSTALLED ON MANIFOLD AT HIGHEST LOCAL ELEVATION (TYP. THROUGHOUT).

NOTE:  
ALL BASE INFORMATION FOR THESE PLANS HAS BEEN OBTAINED FROM THE LANDSCAPE ARCHITECT AND REFLECTS ARCHITECTURAL, CIVIL AND/OR MECHANICAL DESIGN AND/OR PLANS. THE LANDSCAPE ARCHITECT OR IRRIGATION CONSULTANT DEPENDS ON ACCURACY OF THIS OBTAINED INFORMATION. CONTRACTOR MUST FIELD VERIFY ACTUAL LOCATIONS.

**DECLARATION OF RESPONSIBLE CHARGE:**

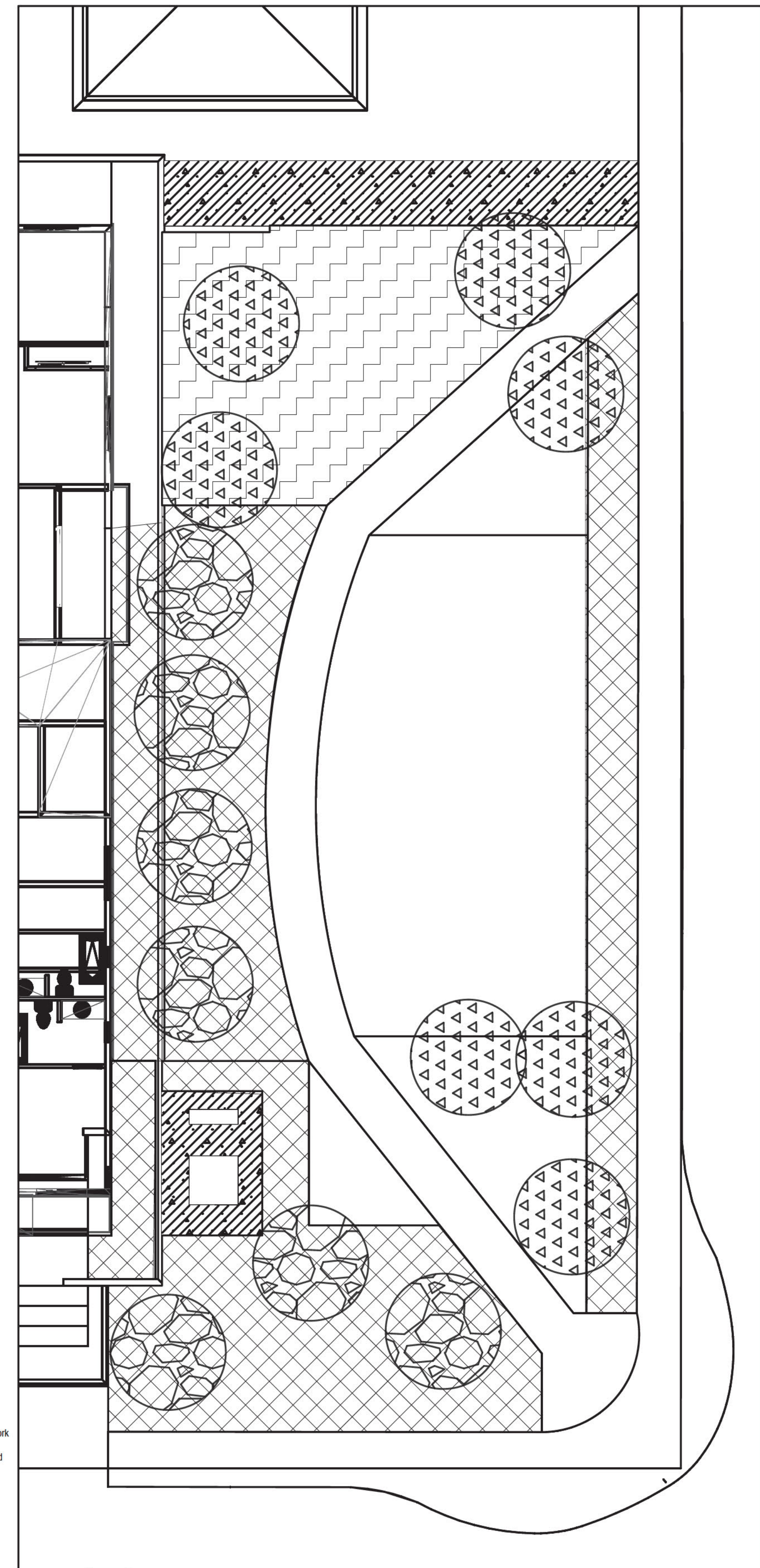
I am familiar with the requirements for landscape and irrigation plans contained in the City of San Diego Water Efficient Landscape Regulations. I understand that construction drawings are to be prepared in compliance with those regulations and the Landscape Manual. I certify that the plans have been prepared implementing those regulations to provide efficient use of water.

I hereby declare that I am the licensed designer of work for this project and that I have exercised responsibilities charges over the design of this project as defined in Section 6703 of the Business and Professions Code and the design is consistent with current standards.

I understand that the check of project drawings and specifications by the City of San Diego is confined to a review only and does not relieve me, as the licensed designer of work, of my responsibilities for project design.

HATCHWORKS STUDIO  
3745 Trudy Lane  
San Diego, CA 92106  
(704) 968-0029

By: [Signature] Date: 06/11/2024  
ANDREW HATCH, RLA # 16903, Exp. 4/30/2025



**1368 HOLLY AVE. - PARK**

**MAXIMUM APPLIED WATER APPLICATION (MAWA) Calculation:**

46	[(.62 x	5,323	)] + (1.55 x	882	) =	<b>79,635 GPY</b>
Eto	Const	Total Landscape Area	ETAF	Total SLA		OR
						<b>0.2444 AC.FT/YR</b>
						OR
						<b>10,646 CU.FT/YR</b>

**1368 HOLLY AVE. - PARK**

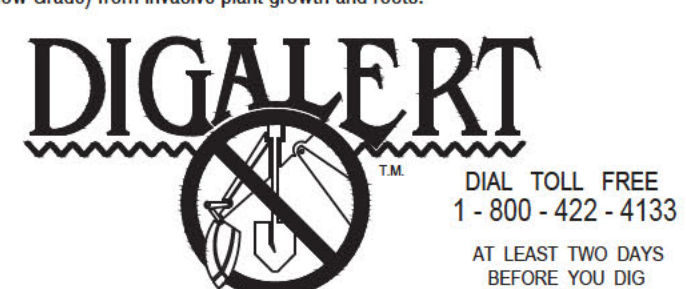
**CITY OF IMPERIAL BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET**

	Line	Hydro-zone Number					SLA
		1	2	3	4	5	
Evapotranspiration Rate (Eto) See "A" below	1	46	46	46	46	46	
Conversion Factor - 0.62	2	0.62	0.62	0.62	0.62	0.62	
(Line 1 x Line 2)	3	28.52	28.52	28.52	28.52	28.52	
Plant Factor (PF) See "B" below	4	0.3	0.5	0.3	0.3	0.6	
Hydrozone Area( Sq. Ft.)	5	2,439	882	560	560	0	882
(Line 4 x Line 5)	6	732	432	168	168	0	
Irrigation Efficiency (IE) See "C" below	7	81%	75%	81%	75%	81%	
(Line 6 / Line 7)	8	903	576	207	224	0	
TOTAL of all Line 8 boxes + SLA	9						<b>2,793</b>
Estimated Total Water Use ETWU (Gallon Per Year) Total shall not exceed MAWA below	10	<b>79,656</b>	<b>GPY</b>	<b>100.0%</b>	<b>OF MAWA</b>		

PLANT FACTOR	HZ #	PLANT TYPE	IRRIGATION METHOD	ENV. EXP.
LOW CONSUMPTIVE	1	SHRUB/G.C.	SUBSURFACE DRIP	SUN
HIGH CONSUMPTIVE	2	TURF	ROTATOR	SUN
LOW CONSUMPTIVE	3	TREES	SUBSURFACE DRIP	SUN
MED. CONSUMPTIVE	4	TREES	BUBBLER	SUN

Where: Eto = Reference Evapotranspiration (San Diego II -Cimis Sta. # 184)  
 ETAF = ET Adjustment Factor (45% for MAWA calculation)  
 S.ETAF = ET Adjustment Factor add for Special Landscape Area (55% for MAWA calculation)  
 LA = Landscape Area  
 S.LA = Special Landscape Area "Recycled Water"  
 Defined as areas:  
 - Dedicated to edible plants, active recreation, recycled water.  
 Const = Constant to convert to gallons per year (GPY)  
 GPY = Gallons Per Year  
 AC.FT/YR = Acre Feet a Year

**PRIOR TO BEGINNING WORK:**  
The contractor shall contact the designer of work prior to beginning landscape work and the designer of work shall review the project utility locations and review plans accordingly to fully screen all utilities from view and protect all utilities (Above and Below Grade) from invasive plant growth and roots.



1 IRRIGATION PLAN - POCKET PARK  
LS2.1 Scale: 1/8" = 1'-0"



REV.	DATE	DESCRIPTION
5-12-24		P.C. SUBMITTAL

**SEA CAPE VILLAGE**

1368 HOLLY AVE.  
IMPERIAL BEACH, CA. 91932

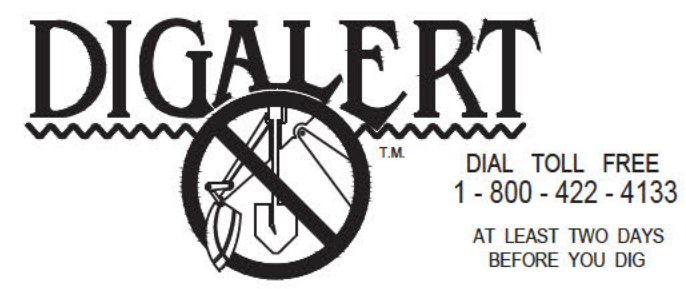
**IRRIGATION PLAN - PARK**

SHEET TITLE	JOB NO.	DATE
2322-ANA		6/7/2024

**LS2.1**



PRIOR TO BEGINNING WORK:  
The contractor shall contact the designer of work prior to beginning landscape work and the designer of work shall review the project utility locations and review plans accordingly to fully screen all utilities from view and protect all utilities (Above and Below Grade) from invasive plant growth and roots.



DECLARATION OF RESPONSIBLE CHARGE:

I am familiar with the requirements for landscape and irrigation plans contained in the City of San Diego Water Efficient Landscape Regulations. I understand that construction drawings are to be prepared in compliance with those regulations and the Landscape Manual. I certify that the plans have been prepared implementing those regulations to provide efficient use of water.

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I understand that the check of project drawings and specifications by the City of San Diego is confined to a review only and does not relieve me, as the licensed designer of work, of my responsibilities for project design.

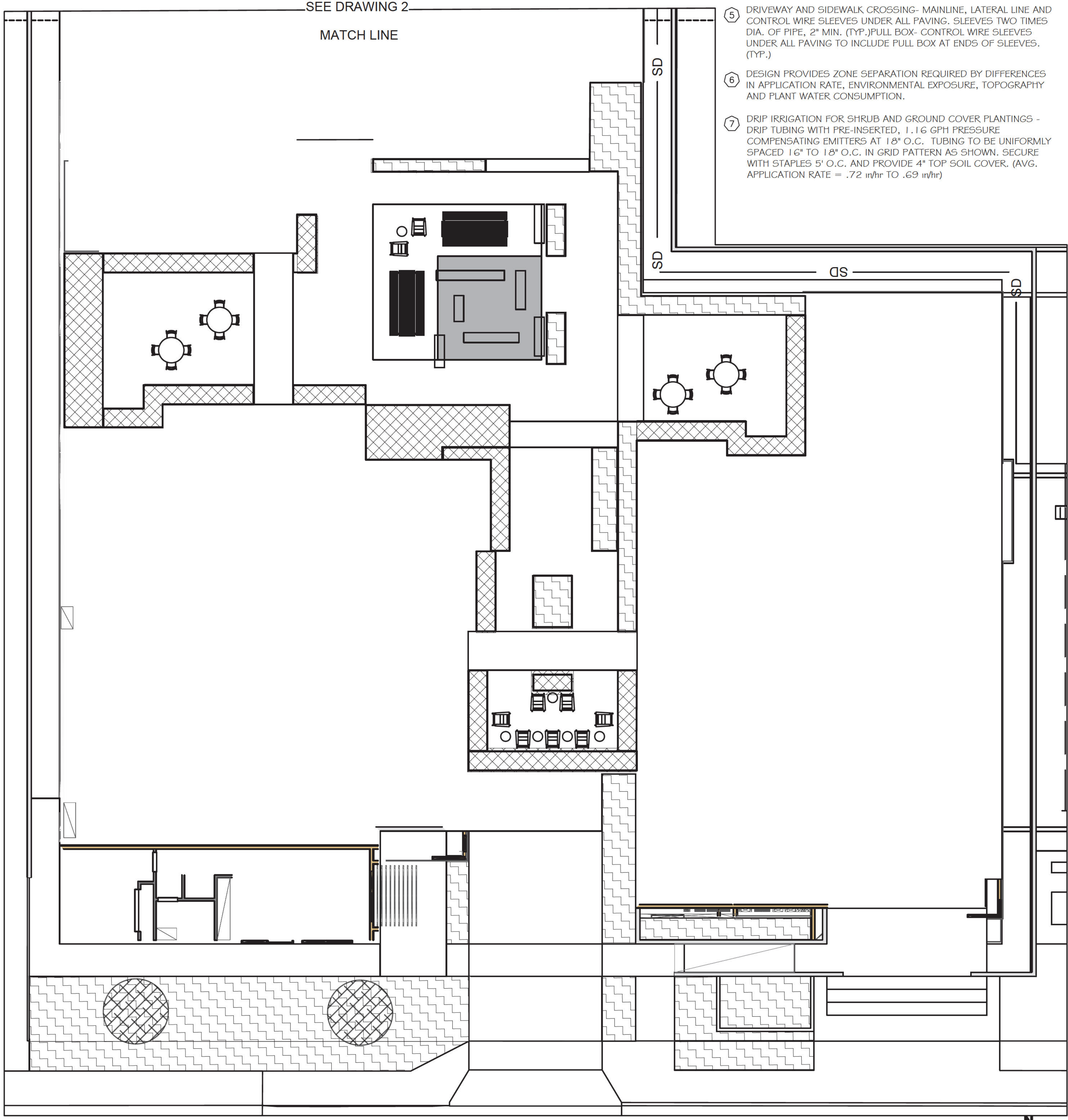
HATCHWORKS STUDIO  
3745 Trudy Lane  
San Diego, CA 92106  
(704) 988-0029

By: [Redacted Signature]  
ANDREW HATCH, RLA # 6903, Exp. 4/30/2025

IRRIGATION CONSTRUCTION NOTES:

- 1 POINT OF CONNECTION - CONTRACTOR TO MAKE CONNECTION DOWNSTREAM OF A DEDICATED 3/4" POTABLE WATER METER. CONTRACTOR TO INSTALL A WYE STRAINER, BACKFLOW, PRESSURE REGULATOR (IF NEEDED), FLOW SENSOR, MASTER CONTROL VALVE, ISOLATION VALVE AND EXTEND SYSTEM AS SHOWN.
- 2 IRRIGATION CONTROLLER IS A WEB BASE UNIT AS SPECIFIED. POWER SOURCE TO BE PROVIDED BY OTHERS, INSTALL A WIRED RAIN SENSOR ON THE SIDE OF THE BUILDING OR WALL, SENSOR TO HAVE A CLEAR VIEW TO THE SKY.
- 3 REMOTE CONTROL VALVES TO BE INSTALLED IN A MANIFOLD AND TO BE HIDDEN FROM CASUAL SIGHT WHEN POSSIBLE, STAKE LOCATION OF ALL VALVES FOR APPROVAL BY LANDSCAPE ARCHITECT AND OR OWNER'S REPRESENTATIVE. (TYPICAL ALL LOCATIONS)
- 4 LOCATIONS SHOWN DIAGRAMMATICALLY. ALL EQUIPMENT TO BE INSTALLED WITHIN PLANTING AREAS OR LOCATED AS DIRECTED BY THE LANDSCAPE ARCHITECT. ROUTE IRRIGATION MAINLINE AND CONTROL WIRE APPROXIMATELY AS SHOWN 12" TO 18" FROM BACK OF CURB OR WALK.
- 5 DRIVEWAY AND SIDEWALK CROSSING- MAINLINE, LATERAL LINE AND CONTROL WIRE SLEEVES UNDER ALL PAVING. SLEEVES TWO TIMES DIA. OF PIPE, 2" MIN. (TYP.) PULL BOX- CONTROL WIRE SLEEVES UNDER ALL PAVING TO INCLUDE PULL BOX AT ENDS OF SLEEVES. (TYP.)
- 6 DESIGN PROVIDES ZONE SEPARATION REQUIRED BY DIFFERENCES IN APPLICATION RATE, ENVIRONMENTAL EXPOSURE, TOPOGRAPHY AND PLANT WATER CONSUMPTION.
- 7 DRIP IRRIGATION FOR SHRUB AND GROUND COVER PLANTINGS - DRIP TUBING WITH PRE-INSERTED, 1.16 GPH PRESSURE COMPENSATING EMITTERS AT 18" O.C. TUBING TO BE UNIFORMLY SPACED 16" TO 18" O.C. IN GRID PATTERN AS SHOWN. SECURE WITH STAPLES 5" O.C. AND PROVIDE 4" TOP SOIL COVER. (AVG. APPLICATION RATE = .72 in/hr TO .69 in/hr)
- 8 DRIP IRRIGATION FOR SHRUB AND GROUND COVER PLANTINGS WITHIN NARROW PLANTERS - DRIP TUBING WITH PRE-INSERTED, 0.53 GPH PRESSURE COMPENSATING EMITTERS AT 12" O.C. TUBING TO BE UNIFORMLY SPACED 10" TO 12" O.C. IN GRID PATTERN AS SHOWN. SECURE WITH STAPLES 5" O.C. AND PROVIDE 4" TOP SOIL COVER. (AVG. APPLICATION RATE = .86 in/hr TO .72 in/hr)
- 9 DRIP IRRIGATION FOR ADDITIONAL WATER ON TREES. DRIP TUBING WITH PRE-INSERTED, 1.16 GPH PRESSURE COMPENSATING EMITTERS AT 12" O.C. TUBING TO BE UNIFORMLY SPACED IN A RING PATTERN AS DETAILED. SECURE WITH STAPLES 5" O.C. AND PROVIDE 4" TOP SOIL COVER. (AVG. APPLICATION RATE = .92 in/hr TO .79 in/hr)
- 10 DRIP AIR/VACUUM RELIEF VALVE. LOCATION SHOWN DIAGRAMMATICALLY. VALVE TO BE INSTALLED ON MANIFOLD AT HIGHEST LOCAL ELEVATION (TYP. THROUGHOUT).
- 11 DRIP SYSTEM FLUSHING- STATION FLOW 1.0 GPM OR GREATER; MANUAL FLUSH VALVE AS DETAILED AND INSTALLED AT FLUSH MANIFOLDS. STATION FLOW 9 GPM OR LESS; DRIP OPERATION INDICATOR WITH GPH GDFN NOZZLE AT LATERAL ENDS OR TERMINAL MANIFOLDS.
- 12 DRIP OPERATION INDICATOR. INSTALLED ON INLET MANIFOLD, NEAR CONTROL VALVE AND/OR AT LATERAL ENDS OR ON FLUSH MANIFOLDS OF ALL DRIP SYSTEMS (TYP. 2 UNITS PER SYSTEM MINIMUM.) ON SMALL SYSTEMS OR SUB-SYSTEMS THE DRIP OPERATION INDICATOR CAN ALSO ACT AS A FLUSH DEVICE.

NOTE:  
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1 IRRIGATION PLAN - STREETSCAPE AND BUILDING LEVEL 2  
Scale: 1/8" = 1'-0"

PLANT FACTOR	HZ #	PLANT TYPE	IRRIGATION METHOD	ENV. EXP.
LOW CONSUMPTIVE	1	SHRUB/G.C.	SUBSURFACE DRIP	SHADE
LOW CONSUMPTIVE	2	SHRUB/G.C.	SUBSURFACE DRIP	SUN
MED. CONSUMPTIVE	3	TREES	SUBSURFACE DRIP	SUN

Where:	Eto	= Reference Evapotranspiration (San Diego II - Cimis Sta. # 184)
	ETAF	= ET Adjustment Factor (55% for MAWA calculation)
	S.ETAF	= ET Adjustment Factor add for Special Landscape Area (55% for MAWA calculation)
	LA	= Landscape Area
	S.LA	= Special Landscape Area* Recycled Water
		Defined as areas:
		Dedicated to edible plants, active recreation, recycled water.
	Const	= Constant to convert to gallons per year (GPY)
	GPY	= Gallons Per Year
	ACFTYR	= Acre Feet a Year

1368 HOLLY AVE. - BUILDING

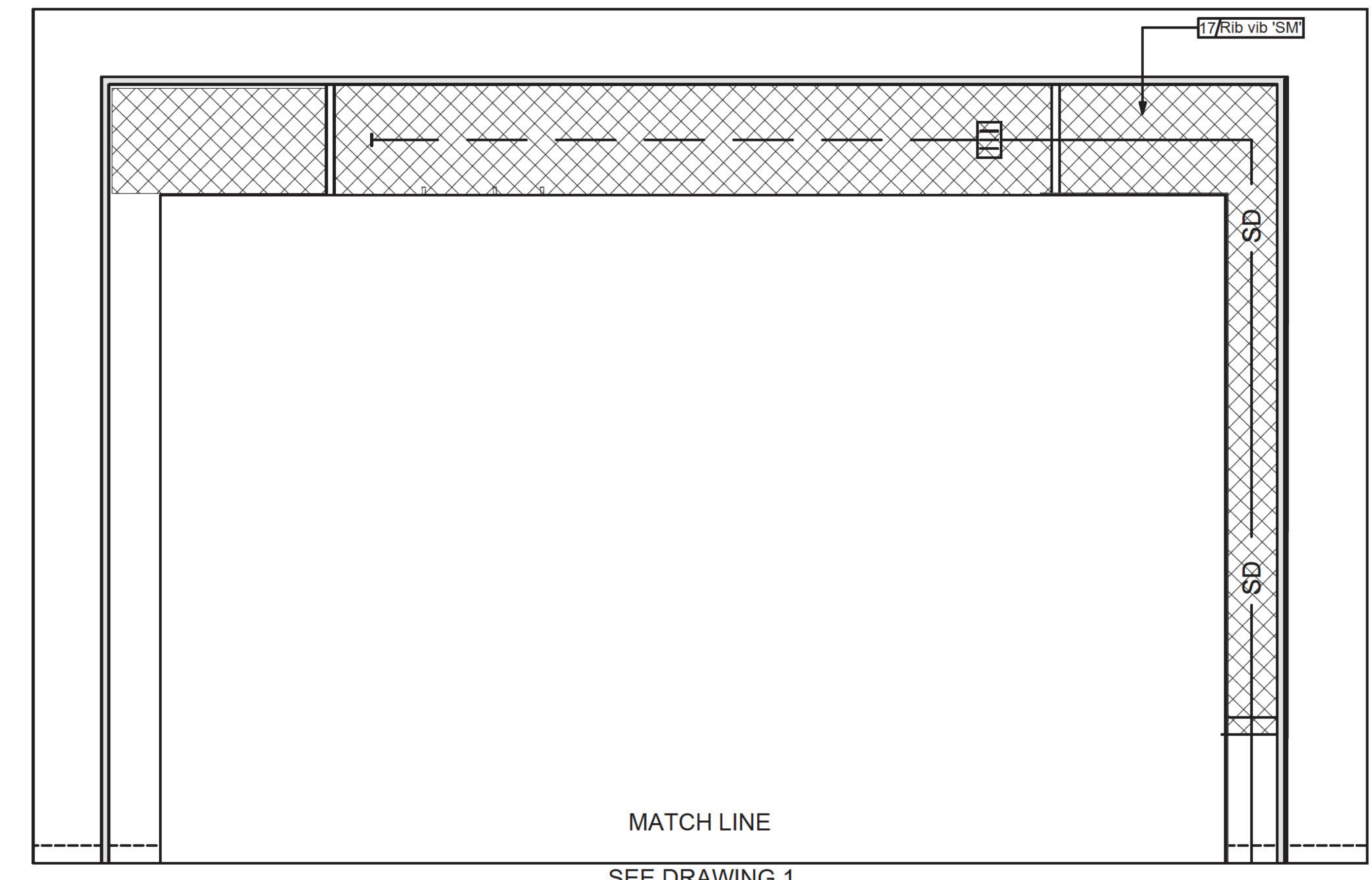
MAXIMUM APPLIED WATER APPLICATION (MAWA) Calculation:

46	[(.62 x 4,333)	]+ (1-.45 x 0)	=	67,967	GPY
Eto	Const.	Total Landscape Area	ETAF	Total SLA	OR
					0.2086 AC.FT/YR
					OR
					9.087 CU.FT/YR

1368 HOLLY AVE. - BUILDING

CITY OF IMPERIAL BEACH ESTIMATED TOTAL WATER USE (ETWU) WORKSHEET

	Line	Hydro-zone Number					SLA
		1	2	3	4	5	
Evapotranspiration Rate (Eto) See "A" below	1	46	46	46	46	46	
Conversion Factor - 0.62	2	0.62	0.62	0.62	0.62	0.62	
(Line 1 x Line 2)	3	28.52	28.52	28.52	28.52	28.52	
Plant Factor (PF) See "B" below	4	0.30	0.30	0.50	0.80	0.60	
Hydrozone Area (Sq. Ft.)	5	2,039	2,134	160	0	0	
(Line 4 x Line 5)	6	812	840	80	0	0	
Irrigation Efficiency (IE) See "C" below	7	81%	81%	81%	81%	81%	
(Line 6 / Line 7)	8	755	790	99	0	0	
TOTAL of all Line 8 boxes + SLA	9	1,644					
Estimated Total Water Use ETWU (Gallon Per Year) Total shall not exceed MAWA below	10	46,896	GPY	69.0%	OF MAWA		



2 IRRIGATION PLAN - NORTH GROUND LEVEL  
Scale: 1/8" = 1'-0"



LANDSCAPE ARCHITECTURE

HATCHWORKS STUDIO  
3745 TRUDY LANE  
SAN DIEGO, CA 92106  
619.356.8582



5-12-24	P.C. SUBMITTAL
REV.	DATE DESCRIPTION

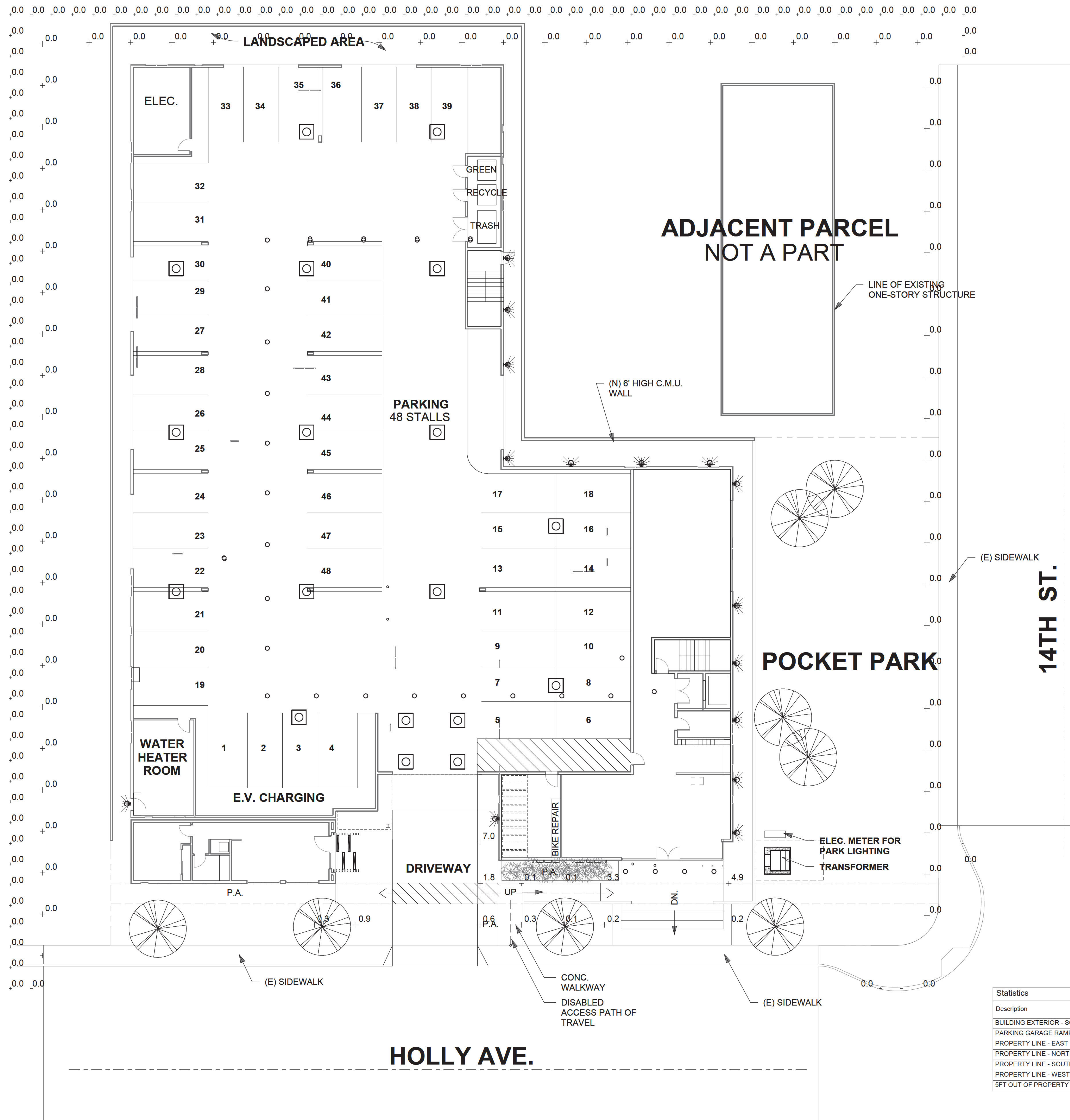
SEA CAPE VILLAGE  
1368 HOLLY AVE.  
IMPERIAL BEACH, CA. 91932

IRRIGATION PLAN - APARTMENT

2322-ANA	JOB NO.
6/7/2024	DATE

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF SOUTHERN CALIFORNIA ARCHITECTS, AND THE SAME MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF JOHN WALTERS





Statistics				
Description	Symbol	Avg	Max	Min
BUILDING EXTERIOR - SOUTH	+	3.0 fc	9.9 fc	0.1 fc
PARKING GARAGE RAMP	+	5.8 fc	15.1 fc	0.6 fc
PROPERTY LINE - EAST	+	0.0 fc	0.0 fc	0.0 fc
PROPERTY LINE - NORTH	+	0.0 fc	0.0 fc	0.0 fc
PROPERTY LINE - SOUTH	+	0.1 fc	0.3 fc	0.0 fc
PROPERTY LINE - WEST	+	0.0 fc	0.0 fc	0.0 fc
5FT OUT OF PROPERTY LINE	+	0.0 fc	0.1 fc	0.0 fc

1 PHOTOMETRIC CALCULATIONS FOR PROPERTY LINE  
1" = 10'-0"



9150 CHESAPEAKE DR, STE 220  
SAN DIEGO, CA 92123  
www.BELENconsulting.com

305-001



REV.	DATE	DESCRIPTION
5-12-24	P.C. SUBMITTAL	

**SEA CAPE VILLAGE**  
1368 HOLLY AVE.  
IMPERIAL BEACH, CA. 91932

**PHOTOMETRIC CALCULATIONS FOR PROPERTY LINE**

SHEET TITLE	JOB NO.	DATE
230012.00		04/30/24

**ES2.1**

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