

REVISIONS

DATE	DESCRIPTION
07/07/23	PC1 SUBMITTAL
02/18/25	PC2 SUBMITTAL
04/29/25	PC3 SUBMITTAL

Bid Issue Date:	TBD
Date:	04/29/25
Scale:	AS NOTED
Project No.	-
Sheet Title:	

TITLE SHEET

Sheet No.:

T0.0

# EL TAPATIO CATERING ADDITION

667 SILVER STRAND BLVD., IMPERIAL BEACH, CA 91932

PROJECT DATA	SCOPE OF WORK	INDEX OF DRAWINGS
<p>PROJECT ADDRESS: 667 SILVER STRAND BLVD. IMPERIAL BEACH, CA 91932</p> <p>APN#: 625-024-12-00</p> <p>LEGAL DESCRIPTION: LOT 18, MAP 1902</p> <p>ZONING: CMU-2 ZONE</p> <p>EXISTING BUILDING:</p> <p>STORIES: 1 STORY</p> <p>TYPE OF CONSTRUCTION: V-B</p> <p>SPRINKLERED: NO</p> <p>OCCUPANCY: B</p> <p>EXISTING USE: CATERING KITCHEN AND COFFEE SHOP</p> <p>EXISTING GROSS FLOOR AREA: 1,610 SF EXISTING BUILDING AREA: 1,720 SF EXISTING COVERED PATIO: 485 SF</p> <p>EXISTING HEIGHT: 12 FT</p> <p>ALLOWABLE BUILDING HEIGHT: 30 FT (CMU-2 ZONE)</p> <p>PROPOSED PROJECT</p> <p>STORIES: 2 STORY</p> <p>TYPE OF CONSTRUCTION: V-B -- NO CHANGE</p> <p>OCCUPANCY: B -- NO CHANGE</p> <p>PROPOSED USE: (E) CATERING KITCHEN, (E) COFFEE SHOP &amp; PROPOSED OFFICES TO SERVE EXISTING AND NEW CATERING KITCHEN</p> <p>SPRINKLERED: NO -- NO CHANGE</p> <p>PROPOSED ADDITION: 1ST LEVEL AREA = 1,550 SF 2ND LEVEL AREA = 1,797 SF 2ND LEVEL DECK = 290 SF EXT. STAIRWAY/DECK = 163 SF</p> <p>PROPOSED GROSS FLOOR AREA: GROUND LEVEL = 1,465 SF (WITHIN THE INSIDE PERIMETER 2ND LEVEL = 1,660 SF OF THE EXTERIOR WALLS)</p> <p>PROPOSED TOTAL BUILDING AREA: GROUND LEVEL = 3,270 SF (INCLUDES EXTERIOR WALLS) 2ND LEVEL = 1,810 SF TOTAL HABITABLE AREA = 5,067 SF</p> <p>TOTAL DECKS &amp; EXT. STAIRWAY = 453 SF</p> <p>PROPOSED BUILDING HEIGHT: 29' - 5" BUILDING HEIGHT LIMIT: 30' - 0"</p>	<p>PROPOSED 2-STORY ADDITION TO EXISTING 1-STORY CATERING KITCHEN AND COFFEE SHOP:</p> <ul style="list-style-type: none"><li>ENLARGE EXISTING CATERING KITCHEN ON GROUND FLOOR - 1,550 S.F.</li><li>NEW OFFICES ON NEW SECOND FLOOR TO SERVE CATERING KITCHEN - 1,797 S.F.</li><li>NEW EXTERIOR STAIRWAY AND DECK - 163 S.F.</li></ul>	<p><b>GENERAL</b></p> <p>T0.0 TITLE SHEET</p> <p>T1.1 GENERAL NOTES</p> <p><b>ARCHITECTURAL</b></p> <p>A0.0 TOPOGRAPHIC SURVEY (FOR REFERENCE ONLY)</p> <p>A0.1 SITE PLAN</p> <p>A1.0 EXISTING FLOOR PLAN</p> <p>A1.1 PROPOSED FLOOR PLANS</p> <p>A1.2 PROPOSED ROOF PLAN</p> <p>A4.0 PROPOSED EXTERIOR ELEVATIONS</p> <p>A4.1 BUILDING SECTIONS</p> <p>A4.2 RENDERINGS - DAY VIEWS</p> <p>A4.3 RENDERINGS - NIGHT VIEWS</p> <p>A4.4 EXTERIOR MATERIAL BOARD</p> <p><b>LANDSCAPE</b></p> <p>L-1 PROPOSED LANDSCAPE PLAN</p> <p>L-2 PROPOSED IRRIGATION PLAN</p> <p>L-3 LANDSCAPE DETAILS</p> <p>L-4 PROPOSED LIGHTING PLAN</p>
CURRENT GOVERNING CODES	PROJECT DIRECTORY	SITE MAP
<p>ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE LOCAL FIRE MARSHALL, THE CITY OF IMPERIAL BEACH BUILDING OFFICIALS AND UTILITY COMPANIES FURNISHING SERVICES. NOTHING IN THE PLANS OR SPECIFICATIONS SHALL BE CONSTRUCTED AS PERMITTING WORK THAT IS NOT IN CONFORMANCE WITH APPLICABLE CODES OR REGULATIONS. CODES GOVERNING THIS WORK INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:</p> <ul style="list-style-type: none"><li>THE 2022 CALIFORNIA BUILDING (CBC) IS BASED ON THE 2021 IBC, BUT INCLUDES NUMEROUS STATE OF CALIFORNIA AMENDMENTS</li><li>THE 2022 CALIFORNIA ELECTRICAL CODE (CEC) IS BASED ON THE 2020 NEC, WITH STATE OF CALIFORNIA AMENDMENTS.</li><li>THE 2022 CALIFORNIA MECHANICAL CODE (CMC) IS BASED ON THE 2021 UMC, WITH STATE OF CALIFORNIA AMENDMENTS.</li><li>THE 2022 CALIFORNIA PLUMBING CODE (CPC) IS BASED ON THE 2021 UPC, WITH STATE OF CALIFORNIA AMENDMENTS.</li><li>THE 2022 CALIFORNIA ENERGY CODE</li><li>THE 2022 CALIFORNIA GREEN BUILDING CODE.</li><li>THE 2022 CALIFORNIA FIRE CODE.</li><li>THE 2022 CALIFORNIA AMENDMENTS AMERICANS WITH DISABILITIES ACT (CALIFORNIA BUILDING CODE - CHAPTER 11B)</li></ul> <p>THESE PLANS AND ALL NEW WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA - TITLE 24 CCR AS AMENDED AND ADOPTED BY THE CITY OF IMPERIAL BEACH.</p> <p>REQUIREMENTS OF CODES AND REGULATIONS SHALL BE CONSIDERED AS MINIMUM. WHERE CONTRACT DOCUMENTS EXCEED W/O VIOLATING CODE AND REGULATION REQUIREMENTS, CONTRACT DOCUMENTS SHALL TAKE PRECEDENCE. WHERE CODES CONFLICT, THE MORE STRINGENT SHALL APPLY.</p>	<p>BUILDING OWNER &amp; TENANT: EL TAPATIO 667 SILVER STRAND BLVD. IMPERIAL BEACH, CA 92932 OFFICE: (619) 423-2440 CONTACT: CAROLINA RAMIREZ</p> <p>DESIGNER: ARCH5 DESIGN STUDIO 2825 DEWEY ROAD BLDG 202, UNIT 207 SAN DIEGO, CA 92106 TEL: (619) 546-9670 CONTACT: RACHELLE DOMINGO-ROGERS</p> <p>LANDSCAPE DESIGNER: LANDSCAPE LOGIC 4455 MORENA BLVD. #110 SAN DIEGO, CA 92109 TEL: (619) 446-6482 CONTACT: TONY VITALE</p> <p>GENERAL CONTRACTOR: TBD</p>	

## ABBREVIATIONS

A.B.	ANCHOR BOLT	F.H.	FIRE HYDRANT	PLYWD.	PLYWOOD
A.C.	ASPHALT CONCRETE	FIN.	FINISH	P.T.	PRESSURE TREATED
A/C	AIR CONDITIONING	FIXT.	FIXTURE	R	RISER
ACOUS.	ACOUSTICAL	FLR.	FLOOR	RAD.	RADIUS
A.A.	AREA DRAIN	FLSH.	FLASHING	R.A.G.	RETURN AIR GRILLE
ADJ.	ADJACENT	F.L.	FLOW LINE	R.D.	ROOF DRAIN
A.F.F.	ABOVE FINISH FLOOR	FLUOR.	FLUORESCENT	R.D.W.D.	REDWOOD
ALUM.	ALUMINUM	F.O.C.	FACE OF COLUMN	REF.	REFERENCE
ANOD.	ANODIZED	F.O.M.	FACE OF MASONRY	REFL.	REFRIGERATOR
A.P.	ACCESS PANEL	F.O.S.	FACE OF STUD	REG.	REGISTER
AUTO.	AUTOMATIC	FT	FEET OR FOOT	REINF.	REINFORCED
ARCH.	ARCHITECTURAL	F.S.	FLOOR SINK	REQ'D	REQUIRED
		FTG.	FOOTING	RESL	RESILIENT
		FLR(R).	FURRING	RM.	ROOM
BD.	BOARD	GA.	GAUGE	R.O.	ROUGH OPENING
BIT.	BITUMINOUS	GALV.	GALVANIZED	R.O.W.	RIGHT-OF-WAY
BLDG.	BUILDING	G.I.	GALVANIZED IRON	R.S.	RESAWN
BLK(Q).	BLOCKING	GYP.	GYPSPUM	S.A.G.	SUPPLY AIR GRILLE
B.N.	BOUNDARY NAIL	H.B.	HOSE BIBB	S.A.R.	SUPPLY AIR REGISTER
B.O.	BOTTOM OF	H.C.	HOLLOW CORE	S.C.	SOLID CORE
BOT(T).	BOTTOM	HDBD.	HARD BOARD	SCHED.	SCHEDULE
B.S.	BOTH SIDES	HDR.	HEADER	SA	STORM DRAIN
BTW.	BETWEEN	HDW.	HARDWARE	SECT.	SECTION
		HDWD.	HARDWOOD	S.F.	SQUARE FEET
CAB.	CABINET	H.M.	HOLLOW METAL	SHI.	SHEET
C.B.	CATCH BASIN	HORZ.	HORIZONTAL	SHTO.	SHEATHING
CEM.	CEMENT	I.D.	INSIDE DIAMETER	SHM.	SIMILAR
C.F.	CUBIC FEET	I.E.	INVERT ELEVATION	S.M.	SHEET METAL
CFASH.	COUNTER FLASHING	INSUL.	INSULATION	S.O.V.	SHUT-OFF VALVE
C.I.	CAST IRON	INT.	INTERIOR	SP.	SPACE(S)
C.J.	CONTROL JOINT	JST.	JOIST	SPECS.	SPECIFICATIONS
CLG.	CESLING	JT.	JOINT	SQ.	SQUARE
CLOS.	CLOSET	KIT	KITCHEN	S.S.	STAINLESS STEEL
CLR.	CLEAR	LAV.	LAVATORY	STL.	STEEL
C.O.	CLEAN OUT	LB.	LAG BOLT	STOR.	STORAGE
C.O.C.	CENTERLINE OF COLUMN	LT.	LIGHT	STRUCT.	STRUCTURAL
COL.	COLUMN			SUSP.	SUSPENDED
CONC.	CONCRETE	(M)	MODIFIED	T.C.F.O.	TEMPORARY CERTIFICATE
COND.	CONDITION	MAS	MASONRY	T.	TREAD
CONT.	CONTINUOUS	MATL.	MATERIAL	T.O.C.	TOP OF CURB
CONTR.	CONTRACTOR	MAX.	MAXIMUM	TEL(E)	TELEPHONE
CONST.	ONSTRUCTION	M.B.	MACHINE BOLT	T.O.F.	TOP OF FOOTING
CORR.	CORRIDOR	MECH.	MECHANICAL	T&G	TONGUE AND GROOVE
C.S.	COUNTERSINK	MEMB.	MEMBRANE	THK.	THICK
C.T.	CERAMIC TILE	MET.	METAL	T.N.	TOE NAIL
C.Y.	CUBIC YARD	MFR.	MANUFACTURER	T.O.	TOP OF
		M.H.	MANHOLE	T.O.P.	TOP OF PARAPET
DEPT.	DEPARTMENT	MIN.	MINIMUM	T.O.S.	TOP OF SHEATHING
DET.	DETAIL	MISC.	MISCELLANEOUS	T.O.W.	TOP OF WALL
D.F.	DOUGLAS FIR OR DRAWING FOUNTAIN	M.O.	MASONRY OPENING	T.O.TR.	TOP OF TRELLIS
DIA.	DIAMETER	M.R.	MOISTURE RESISTANT	TYP.	TYPICAL
DIM.	DIMENSION	MULL.	MULLION	U.O.N.	UNLESS OTHERWISE NOTED
DISP.	DISPENSER			UR.	URNAL
DN.	DOWN	(N)	NEW	VERT.	VERTICAL
D.S.	DOWNSPOUT	E.A.G.	EXHAUST AIR GRILLE	VEST.	VESTIBULE
DWG.	DRAWING	E.J.	EXPANSION JOINT	VCT.	VINYL COMPOSITION TILE
		ELEV.	ELEVATION	V.T.R.	VENT THRU ROOF
EA.	EACH	ELEC.	ELECTRICAL	V.I.F.	VERIFY IN FIELD
E.A.G.	EXHAUST AIR GRILLE	EMER.	EMERGENCY	W/	WITH
E.J.	EXPANSION JOINT	E.N.	EDGE NAIL	WAIN.	WAINSCOT
ELEV.	ELEVATION	E.P.	ELECTRICAL PANEL	W.C.	WATER CLOSET
ELEC.	ELECTRICAL	EQ.	EQUAL	W.D.	WOOD
EMER.	EMERGENCY	EQUIP.	EQUIPMENT	WDW.	WINDOW
E.N.	EDGE NAIL	E.S.	EACH SIDE	W.H.	WATER HEATER
E.P.	ELECTRICAL PANEL	E.W.C.	ELECTRIC WATER COOLER	WM.	WATER METER
EQ.	EQUAL	(E)	EXISTING	W.P.	WATERPROOF
EQ.	EQUIPMENT	EXT.	EXTERIOR	W.P.J.	WEAKENED PLANE JOINT
E.S.	EACH SIDE			W.R.	WATER RESISTANT
E.W.C.	ELECTRIC WATER COOLER			W.W.M.	WELDED WIRE MESH
(E)	EXISTING			<	ANGLE
EXT.	EXTERIOR			@	AT
				Ø	DIAMETER OR ROUND
F.A.	FIRE ALARM			℄	CENTERLINE
F.D.	FLOOR DRAIN				
F.D.C.	FIRE DEPT. CONNECTION				
F.E.	FIRE EXTINGUISHER				
F.F.	FACTORY FINISH OR FINISH FACE				
F.F.E.	FINISH FLOOR ELEVATION				

## GRAPHIC SYMBOLS

	STRUCTURAL GRID LINE: COLUMN LINE OR OUTSIDE FACE OF BUILDING		SECTION: SECTION IDENTIFICATION SHEET WHERE SECTION DRAWN
	DOOR NUMBER IDENTIFICATION		ELEVATION: ELEVATION IDENTIFICATION SHEET WHERE ELEVATION DRAWN
	WINDOW IDENTIFICATION		DETAIL: DETAIL IDENTIFICATION SHEET WHERE DETAIL DRAWN
	KEYNOTE		
	MATERIAL/FINISH TYPE DESIGNATION (SHOWN ON EXTERIOR ELEVATIONS)		
	REFERENCE POINT: CONTROL POINT, DATUM POINT, WORK POINT, POINT OF CONNECTION		FINISHED FACE DIMENSION
	REVISION: CLOUD AROUND CHANGE WITH DELTA		CENTERLINE DIMENSION
			FACE OF STUD, MASONRY, CONCRETE, ETC.
			ROOF PITCH (SHOWN ON EXTERIOR ELEVATIONS)

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GENERAL NOTES

DESIGNER'S STATEMENT:

- OVERLAPPING & CONFLICTING REQUIREMENTS: WHERE COMPLIANCE WITH TWO OR MORE INDUSTRY STANDARDS OR SETS OF REQUIREMENTS IS SPECIFIED, AND OVERLAPPING OF THOSE DIFFERENT STANDARDS OR REQUIREMENTS ESTABLISHES CONFLICTING LEVELS OF QUALITY, THE MOST STRINGENT STANDARD SHALL BE ENFORCED, UNLESS SPECIFICALLY NOTED OTHERWISE. CONSULT WITH THE DESIGNER/ENGINEER BEFORE PROCEEDING.
- MINIMUM QUALITY / QUANTITY: INTENDED AS MINIMUM FOR THE WORK TO BE PERFORMED OR PROVIDED. EXCEPT WHERE NOTED OTHERWISE, ACTUAL WORK MY EITHER COMPLY EXACTLY WITH THAT MINIMUM, OR MAY EXCEED THAT MINIMUM WITHIN REASONABLE LIMITS.
- NOTE TO CONTACTOR: WHERE CONTRACT DOCUMENTS (DRAWINGS AND SPECIFICATIONS) ARE INCOMPLETE, AMBIGUOUS OR CONTAIN CONFLICTING INSTRUCTIONS, DO NOT PROCEED UNTIL RECEIVING CLARIFICATION FROM THE DESIGNER IN WRITING. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL BUILDING SYSTEMS, NEW AND EXISTING, ARE IN GOOD WORKING ORDER WHEN TURNED OVER TO THE OWNER.

GENERAL:

- THE SPECIFICATIONS, INCLUDED HEREWITH, ARE AN INTEGRAL PART OF THESE CONTRACT DOCUMENTS AND ALL CONDITIONS MENTIONED IN EITHER SHALL BE EXECUTED AS THOUGH SPECIFICALLY MENTIONED IN BOTH.
- CONTRACTORS/SUBCONTRACTORS SHALL FIELD VERIFY ALL LOCATIONS, DIMENSIONS, AND CONDITIONS OF WALLS, DOORS, PLUMBING, MECHANICAL ELECTRICAL ITEMS, ETC. (WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS) PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO ADVISE THE ARCHITECT OF ANY ADVERSE CONDITIONS OR DISCREPANCIES.

GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION AND PROCEDURES SHALL CONFORM TO ALL APPLICABLE CODES AS OUTLINED ON TITLE SHEET.
- DO NOT SCALE DRAWINGS. IF DIMENSIONAL DISCREPANCIES OCCUR BETWEEN PLANS AND EXISTING CONDITIONS, CONTACT ARCHITECT IMMEDIATELY TO RESOLVE CONFLICT PRIOR TO CONTINUATION OF WORK.
- ALL EXTERIOR DOORS AND WINDOWS SHALL BE FULLY WEATHER STRIPPED; MANUFACTURED UNITS SHALL MEET ANSI AND TITLE 24 STANDARDS FOR AIR INFILTRATION.
- ALL JOINTS AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE CAULKED AND SEALED.
- NOT USED.
- PROVIDE R-13 INSULATION AT ALL INTERIOR PLUMBING WALLS AND BATHROOM WALLS FOR SOUND INSULATION.
- COORDINATE WITH ARCHITECT TO PROVIDE BLOCKING IN WALLS WHERE ACCESSORY ITEMS ARE INSTALLED TYPICAL: GRAB BARS, TOILET PAPER DISPENSERS, ETC.
- REFER TO WALL TYPES AND CROSS-HATCHED AREAS ON FLOOR PLANS FOR LOCATIONS OF ONE-HOUR FIRE RATED PARTITIONS IF APPLICABLE
- ALL DIMENSIONS SHOWN ARE TO FINISHED FACE OF WALL
- EXISTING WALLS WERE CONSTRUCTED WITH OTHER PERMITS AND/OR CONTRACTS. FIELD VERIFY CONSTRUCTION AND WIDTH PRIOR TO FABRICATION OF DOOR FRAMES OR COMPONENTS WHICH REQUIRE THE WIDTH OF THE WALL TO BE SET
- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT WHEN THOSE CONDITIONS DIFFER FROM THE CONSTRUCTION DOCUMENTS.
- ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL BE PROTECTED WITH A U.L. LISTED FIRE STOP SYSTEM.
- ALL PENETRATIONS @ WALLS THAT HAVE SOUND INSULATION SHALL BE SEALED WITH NON-HARDENING ACOUSTICAL SEALANT.
- ELECTRICAL PANELS SHALL NOT BE LOCATED WITHIN FIRE-RATED CORRIDORS.
- ALL ELEC./DATA OUTLET PENETRATIONS ON COMMON WALLS SHALL BE STAGGERED AND SEPARATED BY A VERTICAL STUD. ALL OPENINGS SHALL BE WRAPPED WITH SOUND INSULATION AND SEALED TIGHT W/ ACOUSTICAL SEALANT.
- FOR REQUIRED CLEARANCES ON ALL ACCESSIBLE DOORS SEE SHEET T1.3
- FURNITURE AND MODULAR SYSTEMS FURNITURE ARE SHOWN FOR REFERENCE ONLY AND ARE NOT PART OF PROJECT SCOPE.
- ALL DOOR FRAMES TO BE STAIN GRADE WOOD TRIM, U.O.N.

ROOF NOTES:

- GENERAL CONTRACTOR TO COORDINATE ALL PLUMBING AND MECHANICAL VENT LOCATIONS AT ROOF. VENTS TO BE SCREENED FROM VIEW WHEREVER POSSIBLE (SEE ROOF PLAN). COMBINE PLUMBING VENTS IN ATTIC WHERE POSSIBLE.
- ALL ROOF PENETRATIONS, FLASHINGS, VENTS, ETC. TO BE PAINTED TO MATCH WEATHERED ROOF COLOR.

COMBUSTIBLE INTERIOR FINISHES:

2022 CBC PER SECTION 803.1: INTERIOR WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES.

CLASS A: FLAME SPREAD 0-25; SMOKE DEVELOPED 0-450  
CLASS B: FLAME SPREAD 26-75; SMOKE DEVELOPED 0-450  
CLASS C: FLAME SPREAD 76-200; SMOKE DEVELOPED 0-450

ALL INTERIOR COMBUSTIBLE DECORATIVE FINISHES INCLUDING PALLET WOOD INTERIOR WALL CLADDING TO BE FLAME RESISTANT OR SHALL BE TREATED AND MAINTAINED FLAME RESISTANT IN ACCORDANCE WITH CFC STANDARDS. INTERIOR TEXTILE WALL COVERINGS TO BE IN ACCORDANCE WITH CBC SECTION 803.5.1- TEXTILES TO HAVE CLASS "A" FLAME SPREAD INDEX IN ACCORDANCE WITH ASTM E 84 ALL 2X WOOD BLOCKING TO BE FIRE RETARDANT TREATED WOOD ALL PLYWOOD / WOOD BACKING TO BE FIRE RETARDANT TREATED WOOD.

FLOOR FINISHES THAT ARE COMPRISED OF FIBERS SHALL COMPLY WITH SECTIONS 804.2 THROUGH 804.4.1 (SECTION 804.1)

BUILDING DIVISION - CONDITIONS OF APPROVAL:

OBTAIN ALL REQUIRED BUILDING PERMITS (BUILDING, PLUMBING, ELECTRICAL, GRADING, ETC.) FOR THIS PROJECT. ALL CONSTRUCTION SHALL COMPLY WITH THE ADOPTED 2022 CALIFORNIA BUILDING STANDARDS CODES: RESIDENTIAL, BUILDING, ELECTRICAL, MECHANICAL, PLUMBING, ENERGY, FIRE, GREEN BUILDING, HISTORIC BUILDING, EXISTING BUILDING, AS AMENDED BY CITY ORDINANCE 2022-1219 AND OTHER APPLICABLE MUNICIPAL CODES IN EFFECT AT THE TIME OF PLAN SUBMITTAL FOR BUILDING PERMITS.

PER SECTION 110.3.10.1 OF THE CALIFORNIA BUILDING CODE AS AMENDED BY CHAPTER 15.06 OF THE IMPERIAL BEACH MUNICIPAL CODE, PRIOR TO THE FIRST FOUNDATION INSPECTION FOR ANY NEW BUILDING OR ADDITION TO AN EXISTING BUILDING WITHIN ONE (1) FOOT OF THE REQUIRED SETBACKS OR BUILDING HEIGHT LIMITATIONS ESTABLISHED BY TITLE 19, ZONING OF THE IMPERIAL BEACH MUNICIPAL CODE, A WRITTEN STATEMENT OR CERTIFICATE PREPARED AND SIGNED BY A REGISTERED CIVIL ENGINEER LICENSED TO PRACTICE LAND SURVEYING OR A LICENSED LAND SURVEYOR SHALL BE SUBMITTED TO THE BUILDING OFFICIAL STATING THAT UNDER PENALTY OR PERJURY THAT THE ROUGH GRADE ELEVATIONS AND LOCATION OF THE BUILDING ARE IN SUBSTANTIAL CONFORMANCE WITH THE PLANS APPROVED BY THE CITY OF IMPERIAL BEACH.

ALL PROJECTS GREATER THAN OR EQUAL TO TWENTY-FIVE THOUSAND (\$25,000), OR WHICH INVOLVE THE CONSTRUCTION AND/OR DEMOLITION OF TWO-HUNDRED-FIFTY (250) SQUARE FEET OR MORE OF FLOOR SPACE SHALL COMPLY WITH IMPERIAL BEACH MUNICIPAL CODE CHAPTER 8.38. A COMPLETED WASTE MANAGEMENT PLAN SHALL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION.

PLANS DEVIATING FROM CONVENTIONAL WOOD FRAME CONSTRUCTION SHALL HAVE THE STRUCTURAL PORTIONS SIGNED AND SEALED BY THE CALIFORNIA STATE LICENSED ENGINEER OR ARCHITECT RESPONSIBLE FOR THEIR PREPARATION, ALONG WITH STRUCTURAL CALCULATIONS. (CALIFORNIA BUSINESS AND PROFESSIONS CODE).

NO WORK FOR WHICH A BUILDING PERMIT IS REQUIRED SHALL BE PERFORMED WITHIN THE HOURS OF 7:00 P.M. - 7:00 A.M. MONDAY - FRIDAY, NOR TO PRIOR TO 8:00 A.M. OR AFTER 5:00 P.M. ON SATURDAYS NOR ANYTIME ON SUNDAYS. A SIGN SHALL BE POSTED AT A CONSPICUOUS LOCATION NEAR THE MAIN ENTRY TO THE SITE, PROMINENTLY DISPLAYING THESE HOUR RESTRICTIONS.

RESTROOMS ON THE SECOND FLOOR MUST MEET THE REQUIREMENTS OF CHAPTER 11B OF THE CBC.

BUILDINGS LESS THAN 10 FEET FROM THE PROPERTY LINE MUST MEET THE FIRE RESISTIVE REQUIREMENTS OF THE CBC.

THE FOOD PREPARATION AREA ON THE FIRST FLOOR WOULD NEED PROTECTION FROM THE PLUMBING WASTE ON THE SECOND FLOOR.

PUBLIC WORKS DEPARTMENT - CONDITIONS OF APPROVAL:

NO BUILDING ROOF OR LANDSCAPE WATER DRAINS MAY BE PIPED TO THE STREET OR ONTO IMPERVIOUS SURFACES THAT LEAD TO THE STREET. A DESIGN THAT HAS THESE WATER DISCHARGES DIRECTLY INTO THE STORM DRAIN CONVEYANCE SYSTEM (ONTO AN IMPERVIOUS SURFACE THAT FLOWS TO THE STREET) IS IN VIOLATION OF THE MUNICIPAL STORM WATER PERMIT - ORDER R9-2003-0001.

THE OWNER OF PRIVATE PROPERTY ADJOINING THE PUBLIC RIGHT-OF-WAY SHALL BE RESPONSIBLE TO PLANT, INSTALL, AND MAINTAIN LANDSCAPING IN THE AREA BETWEEN THE CURB AND THE PRIVATE PROPERTY LINE FOR THE ENTIRE FRONTAGE OF THE PROPERTY. SUCH MAINTENANCE SHALL INCLUDE WATERING, MOWING, EDGING, CLEARING OF WEEDS, BUT EXCLUDES ROUTINE MAINTENANCE OF CITY-OWNED TREES. THE INSTALLATION OF A LANDSCAPE-WATERING SYSTEM TO SERVICE THE AREA BETWEEN THE CURB AND PRIVATE PROPERTY LINE IS REQUIRED PER MUNICIPAL CODE 19.50.040.F.

ALONG THE PUBLIC RIGHT-OF-WAY, THE APPLICANT SHALL ELIMINATE ANY EXISTING TRIPPING HAZARD CAUSED BY THE CONDITION OF THE EXISTING PUBLIC SIDEWALK ALONG THE PROPERTY FRONTAGE. THE REMEDIAL WORK REQUIRED HEREIN SHALL BE PERFORMED TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR.

ANY DISPOSAL/TRANSPORTATION OF SOLID/CONSTRUCTION WASTE IN ROLL OFF CONTAINERS MUST BE CONTRACTED THROUGH EDCO DISPOSAL CORPORATION UNLESS THE HAULING CAPABILITY EXISTS INTEGRAL TO THE PRIME CONTRACTOR PERFORMING THE WORK.

PROPERTY OWNER MUST INSTITUTE "BEST MANAGEMENT PRACTICES" TO PREVENT CONTAMINATION OF STORM DRAINS, GROUND WATER AND RECEIVING WATERS DURING BOTH CONSTRUCTION AND POST CONSTRUCTION. THE PROPERTY OWNER OR APPLICANT BMP PRACTICES SHALL INCLUDE BUT ARE NOT LIMITED TO:

- A) CONTAIN ALL CONSTRUCTION WATER USED IN CONJUNCTION WITH THE CONSTRUCTION. CONTAINED CONSTRUCTION WATER IS TO BE PROPERLY DISPOSED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY STATUTES, REGULATIONS, AND ORDINANCES.
- B) ALL RECYCLABLE CONSTRUCTION WASTE MUST BE PROPERLY RECYCLED AND NOT DISPOSED IN THE LANDFILL.
- C) WATER USED ON SITE MUST BE PREVENTED FROM ENTERING THE STORM DRAIN CONVEYANCE SYSTEM (I.E. STREETS, GUTTERS, ALLEY, STORM DRAIN DITCHES, STORM DRAIN PIPES).
- D) ALL WASTE WATER RESULTING FROM CLEANING CONSTRUCTION TOOLS AND EQUIPMENT MUST BE CONTAINED ON SITE AND PROPERLY DISPOSED IN ACCORDANCE WITH FEDERAL, STATE, AND CITY STATUTES, REGULATIONS, AND ORDINANCES.
- E) EROSION CONTROL - ALL SEDIMENT ON THE CONSTRUCTION SITE MUST BE CONTAINED ON THE CONSTRUCTION SITE AND NOT PERMITTED TO ENTER THE STORM DRAIN CONVEYANCE SYSTEM. THE APPLICANT IS TO COVER DISTURBED AND EXPOSED SOIL AREAS OF THE PROJECT WITH PLASTIC-LIKE MATERIAL (OR EQUIVALENT PRODUCT) TO PREVENT SEDIMENT REMOVAL INTO THE STORM DRAIN SYSTEM. SEE CASQA'S (CALIFORNIA STORMWATER QUALITY ASSOCIATION) CONSTRUCTION BEST MANAGEMENT PRACTICES HANDBOOK FOR OTHER ALTERNATIVE EROSION AND SEDIMENT CONTROL BMPs.

TWO DAY PRIOR TO ANY EXCAVATION, "DIG-ALERT" (800) 227-2600 SHALL BE NOTIFIED TO LOCATE ALL KNOWN UNDERGROUND UTILITIES.

FIRE DEPARTMENT REQUIREMENTS:

- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC CH. 33.
- ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION.
- AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10B:C SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR. 2019 CFC 906.
- PROVIDE AN APPROVED MANUAL/AUTOMATIC FIRE ALARM SYSTEM. PLANS FOR THE FIRE ALARM SYSTEM SHALL BE SUBMITTED TO THE FIRE DEPARTMENT JURISDICTION FIRE PREVENTION BUREAU PRIOR TO INSTALLATION. 2019 CFC SECTION 901.
- A FIRE EXTINGUISHER LISTED AND LABELED FOR CLASS K FIRES SHALL BE INSTALLED WITHIN 30 FEET OF COMMERCIAL FOOD HEAT-PROCESSING EQUIPMENT.
- ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS AND WATER-FLOW SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE ELECTRICALLY MONITORED WHERE THE NUMBER OF SPRINKLERS IS MORE THAN 6.
- FIRE-EXTINGUISHING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH CBC 904 AND COMPLY WITH CFC STANDARDS.
- ALL FIRE ALARM SYSTEMS SHALL BE IN ACCORDANCE WITH 2019 CFC SEC 907.
- ANY ROOM HAVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS WHERE FIXED SEATS ARE NOT INSTALLED, AND WHICH IS USED FOR ASSEMBLY, CLASSROOM, DINING, DRINKING, OR SIMILAR PURPOSES, SHALL HAVE THE MAXIMUM CAPACITY OF THE ROOM POSTED ON AN APPROVED SIGN IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT FROM THE ROOM. SHOW SIGN DESIGN AND LOCATION ON THE PLANS.
- ANYTIME A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOTCANDLE AT THE FLOOR LEVEL.
- EGRESS ILLUMINATION REQUIRES A SOURCE OF EMERGENCY POWER ANYTIME TWO OR MORE EXITS ARE REQUIRED. FOR AN A-2 OCCUPANCY: WHEN OCC. LOAD IS 50 OR MORE PERSONS.
- PROVIDE AN APPROVED FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13. PLANS FOR THE INSTALLATION OR MODIFICATION OF THE SPRINKLER SYSTEM SHALL BE SUBMITTED FOR APPROVAL TO CSFM PRIOR TO INSTALLATION. 2019 CFC SECTION 903.
- INTERIOR FINISHES AND COMBUSTIBLE DECORATIVE MATERIALS SHALL COMPLY WITH 2019 CFC SECTION 801.
- COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SHALL BE SUBMITTED TO THE FIRE DEPARTMENT JURISDICTION SERVICES FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION (2019 CFC 907.1.1.).
- LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH 2019 CFC 906 AND CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 19.
- DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EAH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 3315.1.
- COMPLETE PLANS AND SPECIFICATION FOR ALL FIRE EXTINGUISHER SYSTEMS, INCLUDING AUTOMATIC SPRINKLER AND STANDPIPE SYSTEMS INCLUDING AUTOMATIC SPRINKLER AND STANDPIPE SYSTEMS AND OTHER SPECIAL FIRE EXTINGUISHING SYSTEMS AND RELATED APPURTENANCES SHALL BE SUBMITTED TO THE FIRE DEPARTMENT JURISDICTION FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. 2019 CFC SECTIONS, 105.4.1, 107.2.1 AND 901.2
- IN BUILDINGS THAT REQUIRE STANDPIPES, STANDPIPES SHALL BE PROVIDED DURING CONSTRUCTION WHEN THE HEIGHT REACHES 40 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS. A FIRE DEPARTMENT CONNECTION SHALL BE NO MORE THAN 100 FEET FROM AVAILABLE FIRE DEPARTMENT VEHICLE ACCESS ROADWAYS.
- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. WELDING, CUTTING, AND OTHER HOT WORK SHALL IN CONFORMANCE WITH 2019 CFC CHAPTER 35.
- KEY BOXES SHALL BE PROVIDED FOR ALL HIGH-RISE BUILDINGS, POOL ENCLOSURES, GATES IN THE PATH OF FIREFIGHTER TRAVEL TO STRUCTURES, SECURED PARKING LEVELS, DOORS GIVING ACCESS TO ALARM PANELS AND/OR ANNUNCIATORS, AND ANY OTHER STRUCTURES OR AREAS WHERE ACCESS TO AN AREA IS RESTRICTED.
- ALL CODE REFERENCES ARE TO BE IN COMPLIANCE WITH THE HEALTH AND SAFETY CODE (HSC) SECTION 13145. CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 19 AND TITLE 24, 2022 EDITION.
- FIRE DEPARTMENT INSPECTIONS AREA REQUIRED. SCHEDULE ALL INSPECTIONS 2 DAYS IN ADVANCE.
- A DETAILED LETTER CLEARLY IDENTIFYING ALL INTENDED USE(S) AND OPERATION(S) OF THE STRUCTURE(S) SHALL BE PROVIDED TO THE FIRE DEPARTMENT ALONG WITH THE SUBMITTALS.
- IF ADDITIONS OF WALLS AND/OR OTHER TENANT IMPROVEMENTS OBSTRUCT OR EFFECT COVERAGE OR PERFORMANCE OF THE FIRE SPRINKLER SYSTEM AND/OR IF ANY MODIFICATION OF THE FIRE SPRINKLER SYSTEM IS NECESSARY, FIRE SPRINKLER TENANT IMPROVEMENT PLANS SHALL BE SUBMITTED TO CALIFORNIA STATE FIRE MARSHAL FOR APPROVAL PRIOR TO INSTALLATION.
- EXIT DOOR SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING MORE THAN (50) PERSONS.
- PROVIDE FIRE DEPARTMENT ACCESS TO THE FACILITY. "KNOX" KEY DEVICES ARE AVAILABLE FOR USE IN THE CITY. EXISTING BUILDING HAS APPROVED KNOX BOX LOCATION PER SHELL BUILDING PLANS.

SUSPENDED CEILING NOTES:

- SUSPENDED CEILINGS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ASTM C635, ASTM C636, ASTM E580, AND CISCA FOR SEISMIC ZONES 3-4 REQUIREMENTS WITH MODIFICATIONS AS OUTLINED IN ASC2 7-10, SECTION 13.5.6.2.2 FOR INSTALLATION IN SEISMIC DESIGN CATEGORY "D" THROUGH "F" TO SATISFY THE REQUIREMENTS OF CBC 2019
- PARTITIONS THAT ARE TIED TO THE CEILING AND ALL PARTITIONS GREATER THAN SIX FEET IN HEIGHT SHALL BE Laterally Braced TO THE STRUCTURE. SUCH BRACING SHALL BE INDEPENDENT OF ANY CEILING SPLAY BRACING. (ASCE 7-10, 13.5.8)
- ALL MAIN AND CROSS RUNNERS ARE TO BE HEAVY DUTY (HD) (ASTM E580)
- THESE REQUIREMENTS COVER SUSPENDED CEILING SYSTEMS, INCLUDING GRID, PANEL OR TILE, LIGHT FIXTURES AND AIR TERMINALS, WEIGHING NO MORE THAN 4 lbs PER SQUARE FOOT (ASCE 7-10, 13.5.6)
- WIRES SHALL NOT ATTACH OR BEND AROUND INTERFERING MATERIAL OR EQUIPMENT. (CISCA ZONE 3-4)
- ALL WIRE TIES ARE TO BE THREE TIGHT TURNS AROUND ITSELF WITHIN THREE INCHES (ASTM C 636 ITEM 2.3.4)
- CHANGES IN CEILING PLAN WILL REQUIRE POSITIVE BRACING (ASTM E580)

LATERAL FORCE BRACING:

- CEILINGS CONSTRUCTED OF LATH AND PLASTER OR GYPSUM BOARD, SCREW OR NAIL ATTACHED TO SUSPENDED MEMBERS THAT SUPPORT A CEILING ON ONE LEVEL, EXTENDING FROM WALL TO WALL, SHALL BE EXEMPT FROM THE LATERAL FORCE BRACING REQUIREMENTS. (CISCA ZONES 3-4)
- A CEILING AREA OF 144 SQUARE FEET OR LESS SURROUNDED ON ALL SIDES BY WALLS THAT CONNECT DIRECTLY TO THE STRUCTURE ABOVE SHALL BE EXEMPT FROM THE LATERAL DESIGN REQUIREMENTS PER CISCA "GUIDELINES FOR SEISMIC RESTRAINT FOR DIRECT HUNG SUSPENDED CEILING ASSEMBLIES MAY 2004 EDITION."
- FOR CEILING AREA EXCEEDING 1000 SQUARE FEET, HORIZONTAL RESTRAINTS OF THE CEILING (LATERAL FORCE BRACING) TO THE STRUCTURAL SYSTEM SHALL BE PROVIDED. THE TRIBUTARY AREA OF THE HORIZONTAL RESTRAINT SHALL BE APPROXIMATELY EQUAL. (ASTM E580)
- FOR CEILINGS 1000 SQUARE FEET OR LESS IN AREA, NO HORIZONTAL RESTRAINT IS REQUIRED, PROVIDED THE CEILING IS SURROUNDED BY WALLS OR SUPPORTS AND ATTACHED TO STRUCTURE. (ASTM E580)
- THE HORIZONTAL RESTRAINT POINTS FOR LATERAL FORCE BRACING SHALL BE PLACED 12 FEET ON CENTER (MAXIMUM) IN BOTH DIRECTIONS WITH THE FIRST POINT WITHIN 6 FEET OF EACH WALL. (CISCA ZONES 3-4)
- SPLAY WIRES ARE TO BE FOUR No. 12 GAGE WIRES ATTACHED TO THE MAIN RUNNER WITHIN 2 INCHES OF THE CROSS RUNNERS. WIRES ARE SPLAYED 90° FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45° FROM THE PLANE OF THE CEILING. (CISCA ZONES 3-4)
- RIGID BRACING MAY BE USED IN LIEU OF SPLAYED WIRES. (ASTM E580)
- VERTICAL STRUTS, FASTENED TO THE MAIN RUNNERS, MUST BE POSITIVELY ATTACHED TO THE CEILING SUSPENSION SYSTEMS AND THE STRUCTURAL MEMBER SUPPORTING THE ROOF OR FLOOR ABOVE. (CISCA ZONE 3-4)
- THE VERTICAL STRUT, FASTENED TO THE MAIN RUNNER, MAY BE AN "EMT" CONDUIT, METAL STUDS OR A PROPRIETARY COMPRESSION POST.
- THE VERTICAL STRUT, FASTENED TO THE MAIN RUNNER, MAY BE AN "EMT" CONDUIT, METAL STUDS OR A PROPRIETARY COMPRESSION POST.

PERIMETER CLOSURE ANGLES:

- WHEN PERIMETER CLOSURE ANGLES ARE USED, THE CLOSURE ANGLES ARE REQUIRED TO HAVE A HORIZONTAL MINIMUM FLANGE WIDTH OF 2 INCHES.
- ALTERNATE PERIMETER CLOSURE METHODS SHALL HAVE AN "ICC APPROVAL NUMBER" FOR IT'S PARTICULAR APPLICATION.
- WHEN ALTERNATE METHODS ARE USED IN LIEU OF CLOSURE ANGLES, THEY SHALL BE APPROVED PRIOR TO INSTALLATION.
- THE ENDS OF THE CEILING GRID SHALL BE ATTACHED TO PERIMETER CLOSURE ANGLES IN EACH ORTHOGONAL HORIZONTAL DIRECTION USING POP RIVETS (OPTIONAL) OR OTHER APPROVED METHODS.
- THE OTHER ENDS OF THE CEILING GRID, IN EACH HORIZONTAL DIRECTION, SHALL REMAIN UNATTACHED AND REST ON CLOSURE ANGLES THAT PERMIT FREE SLIDING MOVEMENT. A MINIMUM 3/4 INCH CLEARANCE BETWEEN THE WALL AND THE ENDS OF THE CEILING GRID SHALL BE PROVIDED. OTHER APPROVED METHODS OF ATTACHMENT ARE ALSO PERMITTED. (ASCE 7-10 13.5.6.2.2, ITEM A)
- SPREADER (SPACER) BARS OR OTHER APPROVED MEANS SHALL BE PROVIDED AT THE ENDS OF THE MAIN OR CROSS RUNNERS TO PREVENT SPREADING DURING SEISMIC EVENT. PERIMETER WIRES SHALL NOT BE USED IN LIEU OF SPREADER BARS. (CISCA ZONES 3-4)
- SPREADER BARS ARE NOT REQUIRED IF A 90 DEGREE INTERSECTING CROSS OR MAIN RUNNERS ARE WITHIN 8 INCHES OF A PERIMETER WALL.
- HANGER WIRES SHALL BE No. 12 GAGE AND SPACED 4 FEET ON CENTER OR No. 10 GAGE SPACED 5 FEET ON CENTER, (ASTM C 636)
- ANY CONNECTION DEVICE AT THE SUPPORTING FLOOR OR CEILING CONSTRUCTION SHALL BE CAPABLE OF CARRYING NOT LESS THAN 100 POUNDS. (CISCA ZONES 3-4)
- BRACING WIRES SHALL BE ATTACHED TO THE GRID AND TO THE STRUCTURE IN SUCH A MANNER THAT THEY CAN SUPPORT A DESIGN LOAD OF NOT LESS THAN 200 POUNDS OR THE ACTUAL DESIGN LOAD, WITH A SAFETY FACTOR OF 2, WHICHEVER IS GREATER. (CISCA ZONES 3-4)
- ALL LIGHTING FIXTURES SHALL BE POSITIVELY ATTACHED TO THE SUSPENDED CEILING SYSTEM USING ATTACHMENT DEVICES THAT SHALL HAVE THE CAPACITY TO RESIST 100 PERCENT OF THE LIGHTING FIXTURE WEIGHT ACTING IN ANY DIRECTION. (CISCA ZONES 3-4)
- LIGHT FIXTURES WEIGHING LESS THAN 10 POUNDS SHALL HAVE ONE No. 12 GUAGE HANGER WIRE CONNECTED FROM THE FIXTURE TO THE STRUCTURE ABOVE. THIS WIRE MAY BE SLACK. (CISCA ZONES 3-4)
- LIGHT FIXTURES WEIGHING MORE THAN 10 POUNDS AND LESS THAN 56 POUNDS SHALL HAVE TWO No. 12 GAGE WIRES ATTACHED AT OPPOSING CORNERS OF THE LIGHT FIXTURE TO THE STRUCTURE ABOVE. THESE WIRES MAY BE SLACK. (CISCA ZONES 3-4)
- LIGHT FIXTURES WEIGHING MORE THAN 56 POUNDS SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE BY APPROVED HANGERS. SUPPLEMENTARY HANGERS ARE NOT REQUIRED. (CISCA ZONES 3-4)
- PENDANT MOUNTED FIXTURES SHALL BE DIRECTLY SUPPORTED FROM THE STRUCTURE ABOVE USING A 9 GAGE WIRE OR AN APPROVED ALTERNATE SUPPORT. THE SUPPORT SYSTEM SHALL NOT RELY UPON THE CEILING SUSPENSION SYSTEM FOR DIRECT SUPPORT (CISCA ZONES 3-4)
- TANDEM FIXTURES MAY UTILIZE COMMON WIRES
- TERMINALS OR SERVICES WEIGHING 20 POUNDS BUT NOT MORE THAN 56 POUNDS MUST HAVE TWO No. 12 GAGE WIRE CONNECTION BETWEEN THE CEILING SYSTEM HANGERS OR THE STRUCTURE ABOVE. THESE WIRES MAY BE SLACK. (CISCA ZONES 3-4)
- TERMINALS OR SERVICES WEIGHING MORE THAN 56 POUNDS MUST BE INDEPENDENTLY SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE. THESE WIRES MUST BE TAUT. (CISCA ZONES 3-4)
- FOR CEILING AREAS EXCEEDING 2500 SQUARE FEET, A SEISMIC SEPERATION JOINT, WITH 2 INCH MINIMUM SEPERATION, SHALL BE PROVIDED UNLESS ANALYSES ARE PERFORMED FOR THE CEILING BRACING SYSTEM, CLOSURE ANGLES AND PENETRATIONS TO PROVIDE SUFFICIENT CLEARANCE. (ASCE 7-10 13.5.6.2.2, ITEM B)
- ALTERNATIVELY, FOR CEILING AREAS EXCEEDING 2500 SQUARE FEET, FULL HEIGHT WALL PARTITION THAT BREAK S THE CEILING SHALL BE PROVIDED UNLESS ANALYSES ARE PERFORMED OF THE CEILINGS BRACING SYSTEM, CLOSURE ANGLES AND PENETRATIONS TO PROVIDE SUFFICIENT CLEARANCE. (ASCE 7-10 13.5.6.2.2, ITEM B)
- FOR CEILINGS WITHOUT RIGID BRACING, SPRINKLER HEAD PENETRATIONS SHALL HAVE A 2 INCH OVERSIZE RING, SLEEVE OR ADAPTER THROUGH THE CEILING TILE TO ALLOW FREE MOVEMENT OF AT LEAST 1 INCH IN ALL HORIZONTAL DIRECTIONS. FLEXIBLE HEAD DESIGN THAT CAN ACCOMMODATE 1 INCH FREE MOVEMENT SHALL BE PERMITTED AS AN ALTERNATE. (ASTM E580)
- POWER ACTUATED FASTNERS (SHOT PINS) SHALL NOT BE USED FOR TENSION LOAD APPLICATIONS IN SEISMIC DESIGN CATEGORY D THROUGH F (ASCE 7-10, 13.4.5)
- SPECIAL INSPECTION MAY BE REQUIRED FOR THE ANCHORAGE MECHANISM OF THE SUSPENDED CEILING SYSTEM TO THE EXISTING STRUCTURE. THE REQUIREMENT FOR SPECIAL INSPECTION SHALL BE BASED ON THE CONDITION OF APPROVAL OF THE ATTACHMENT MECHANISM PER THE ICC APPROVAL OF THE PRODUCT BEING USED ON THE SPECIFIC PROJECT

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arch5design

2825 Dewey Road, Unit 207  
San Diego, CA 92106  
Phone: 619.546.9672

EL TAPATIO CATERING

667 SILVER STRAND BLVD  
IMPERIAL BEACH, CA 91932

REVISIONS					
DATE	DESCRIPTION	PC1 SUBMITTAL	PC2 SUBMITTAL	PC3 SUBMITTAL	
07/07/23					
02/18/25					
04/29/25					

Bid Issue Date:

TBD

Date:

04/29/25

Scale:

A5 NOTED

Project No.

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Sheet Title:

GENERAL NOTES

Sheet No.:

T1.1

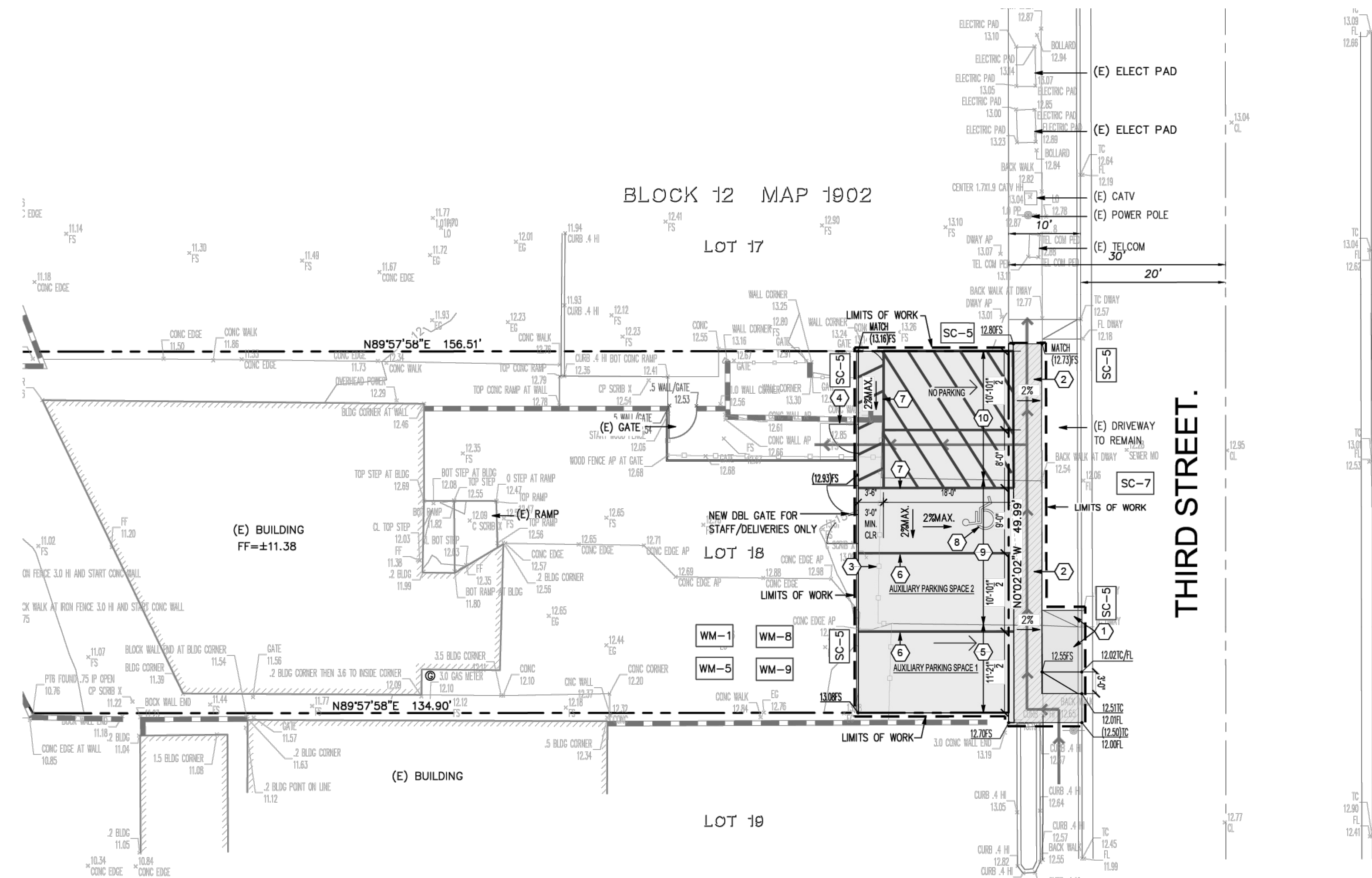


### CONSTRUCTION NOTES

- 1 REMOVE EXISTING DRIVEWAY WING AND SIDEWALK AND CONSTRUCT DRIVEWAY PER G-14A.
- 2 REMOVE AND REPLACE SIDEWALK PER G-07, G-10 & G-11.
- 3 REMOVE EXISTING WOOD FENCE.
- 4 CONSTRUCT ACCESSIBLE GATE PER ARCHITECTURAL PLAN.
- 5 CONSTRUCT 4" CONCRETE PAVEMENT.
- 6 CONSTRUCT 4" WHITE STRIPING.
- 7 CONSTRUCT 4" BLUE STRIPING.
- 8 CONSTRUCT ADA SYMBOL.
- 9 REMOVE CONCRETE DRIVEWAY & REPLACE BY 4" CONCRETE PAVEMENT.
- 10 REMOVE EXISTING A.C. PAVEMENT & REPLACE BY 4" CONCRETE PAVEMENT.

### DATA TABLE

TOTAL DISTURBANCE AREA	1,581.0 S.F.
EXISTING AMOUNT OF IMPERVIOUS AREA	6,330.0 S.F.
AMOUNT OF CREATED IMPERVIOUS AREA	262.7 S.F.
AMOUNT OF REPLACED IMPERVIOUS AREA	1,290.6 S.F.
TOTAL PROPOSED IMPERVIOUS AREA	1,553.3 S.F.
IMPERVIOUS % INCREASE	24.5%
AMOUNT OF CUT	13.7 C.Y.
AMOUNT OF FILL	0.30 C.Y.
EXPORT	13.4 C.Y.
HEIGHT OF CUT	0.83 FT.
HEIGHT OF FILL	0.50 FT.



### LEGEND

PROPERTY LINE	---
ROAD CENTERLINE	---
EXISTING BUILDING	---
EXISTING CURB & GUTTER	---
EXISTING SPOT ELEVATION	12.66
EXISTING CONTOUR	13
EXISTING WOOD FENCE	---
EXISTING WALL	---
REMOVE AND REPLACE SIDEWALK PER G-07, G-10 & G-11. PROPOSED IMPROVEMENTS	---
PROPOSED 4" CONCRETE PAVEMENT	---
PROPOSED 4" CONCRETE WALKWAY PER G-07, G-10, & G-11	---
PROPOSED STRIPING	---
LIMITS OF WORK	---
DRAINAGE DIRECTION	---
PROPOSED ELEVATION	279.78
MATCH EXISTING ELEVATION	(279.78)
MATERIAL DELIVERY & STORAGE	WM-1
SOILD WASTE MANAGEMENT	WM-5
CONCRETE WASTE MANAGEMENT	WM-8
SEPTIC/SANITARY WASTE MANAGEMENT	WM-9
FIBER ROLLS	SC-5
STREET SWEEPING & VACUUMING	SC-7

### SITE ADDRESS

667 SILVER STRAND BOULEVARD IMPERIAL BEACH, CA 91932

### ASSESSORS PARCEL NUMBER

625-024-12-00

### SHORT LEGAL DESCRIPTION:

LOT 18 BLOCK 12 OF SILVER STRAND BEACH GARDENS MAP 1902.

### TOPOGRAPHY SOURCE

J&B ENGINEERS, SURVEYORS

13670 DANIELSON ST. SUITE G

POWAY, CA 92064

### BENCHMARK:

STAMPING: 0120 0 1977

LOCATION: 0.5 MI. EAST OF THE BEACH IN THE NW CORNER OF MAR VISTA HIGH SCHOOL GROUNDS, 188 FT. EAST OF CL OF 4TH STREET 67.5 FT. SOUTH OF THE CHAINLINK FENCE BORDERING THE SCHOOL, AND 46 FT. SOUTH OF THE CL OF ENCINA AVENUE.

ELEVATION: 21.884 DATUM: M.S.L.

### CIVIL ENGINEER

J&B ENGINEERS, SURVEYORS  
13670 DANIELSON ST. SUITE G  
POWAY, CA 92064



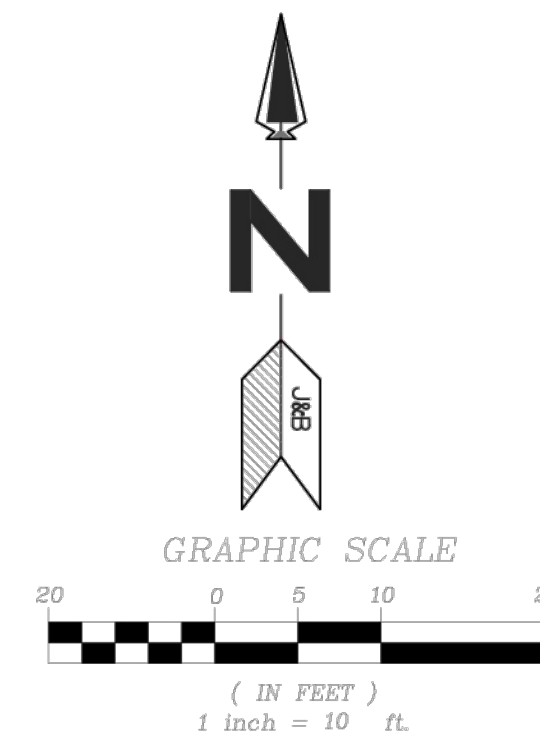
MACARIO R. PEREZ 3/31/22 RCE 20604 EXP: 09-30-21

CONCEPTUAL GRADING PLAN  
& EROSION CONTROL PLAN  
667 SILVER STRAND BOULEVARD  
IMPERIAL BEACH, CA 91932

C1



VICINITY MAP  
NO SCALE



FOR REFERENCE ONLY

### REVISIONS

DATE	DESCRIPTION
07/07/23	PC1 SUBMITTAL
02/18/25	PC2 SUBMITTAL
04/29/25	PC3 SUBMITTAL

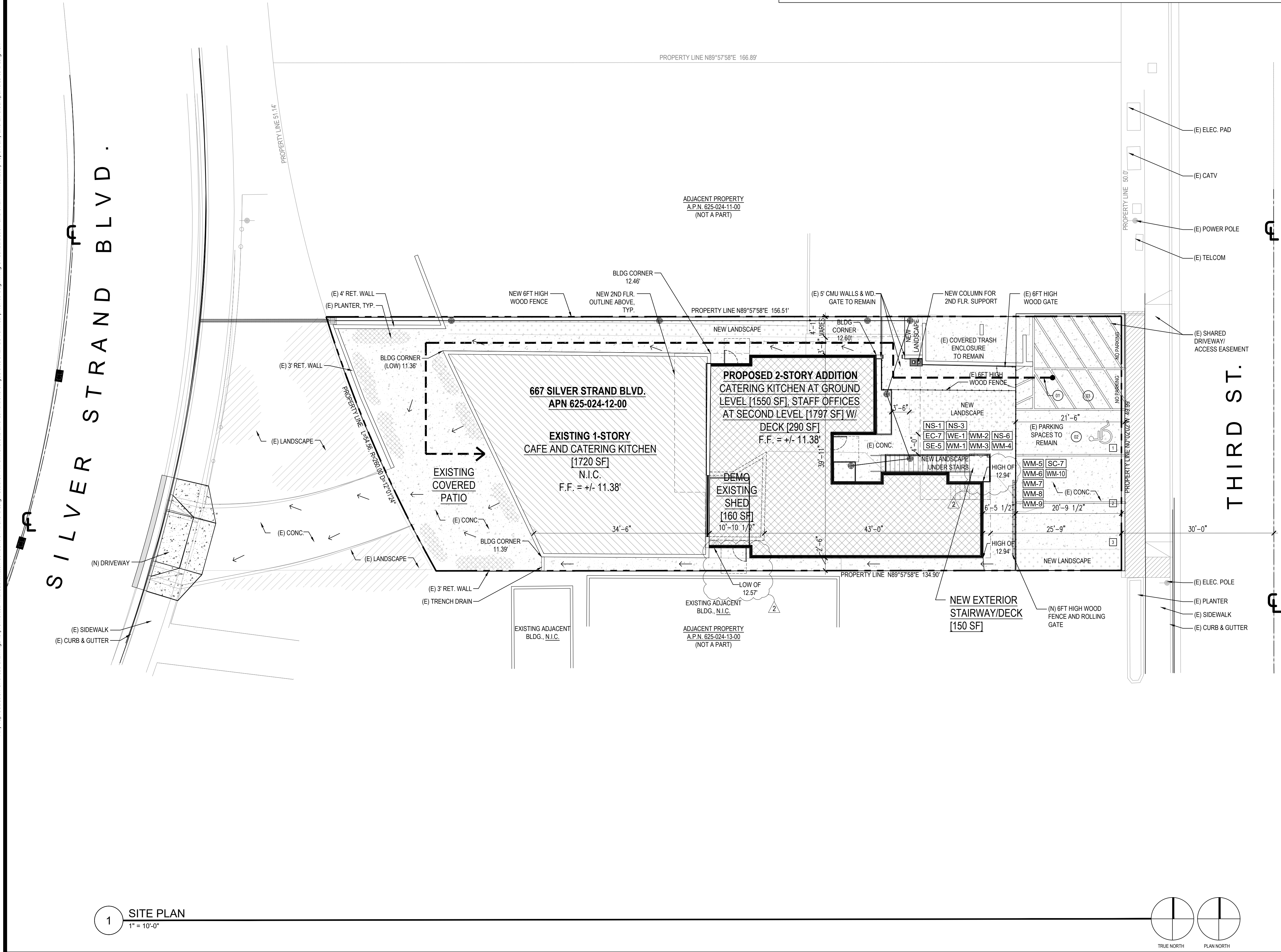
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Date:	04/29/25
Scale:	AS NOTED
Project No.	-
Sheet Title:	TOPOGRAPHIC SURVEY

Sheet No.:

A0.0



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## SITE PARKING SUMMARY

GROUND LEVEL	TOTAL SF	ADA PARKING (OVERALL SITE)
EXISTING:	1,720 SF	VAN ADA REQUIRED: 1 STALL
PROPOSED ADDITION:	1,550 SF	VAN ADA PROVIDED: 1 STALL
SECOND LEVEL		
PROPOSED ADDITION:	1,797 SF	TOTAL ADA REQUIRED: 1 STALL
TOTAL ADA PROVIDED:		1 STALL
TOTAL SF:	5,067 SF	
PARKING REQUIRED:	5,067 SF + (1:1000) = 5.07 STALLS	
*PARKING REQUIRED:	5 - (5 X 0.25 = 1.25) = 3.75 STALLS = 4 STALLS	
*PARKING PROVIDED:	3 STALLS	
**PARKING TO BE PROVIDED OFF-SITE:	1 STALL	

**\*PER IMBC SECTION 19.48.035 ELIGIBLE FOR 25% REDUCTION FOR VERTICAL MIXED-USE**

**\*\*OFF-SITE PARKING THIS REQUIREMENT WILL BE ADDRESSED IN A SEPARATE CUP SUBMITTAL**

## SITE PLAN KEYNOTES

- 01 ADA PATH OF TRAVEL - - - -
- 02 EXISTING ACCESSIBLE PARKING WITH ADA SIGNAGE. SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.
- 03 EXISTING ACCESSIBLE LOADING ZONE. SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.

- INDICATES 2ND FLOOR OUTLINE ABOVE
- ← INDICATES DIRECTION OF RUNOFF
- # INDICATES (E) PARKING SPACE

## SITE PLAN GENERAL NOTES

- ALL PRIMARY PUBLIC ENTRANCES AND MAJOR FUNCTION AREA TO DISPLAY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION, AND REPORT BACK TO DESIGNER WITH ANY DISCREPANCIES ON THIS DRAWING.
- UPGRADE ALL ACCESSIBLE ITEMS WITHIN THE PATH OF TRAVEL TO MEET THE 2022 CALIFORNIA BUILDING CODE (TITLE 24). REFER TO SHEETS T1.2 THRU T1.6 FOR TYPICAL DETAILS & REQUIREMENTS.
- 110.3.10.1 SETBACK AND BUILDING HEIGHT CERTIFICATION PRIOR TO THE FIRST FOUNDATION INSPECTION FOR ANY NEW BUILDING OR ADDITION TO AN EXISTING BUILDING WITHIN ONE (1) FOOT OF THE REQUIRED SETBACKS OR BUILDING HEIGHT LIMITATIONS ESTABLISHED BY TITLE 19, ZONING OF THE IMPERIAL BEACH MUNICIPAL CODE, A WRITTEN STATEMENT OR CERTIFICATE PREPARED AND SIGNED BY A REGISTERED CIVIL ENGINEER LICENSED TO PRACTICE LAND SURVEYING OR A LICENSED LAND SURVEYOR SHALL BE SUBMITTED TO THE BUILDING OFFICIAL STATING THAT UNDER PENALTY OF PERJURY THAT THE ROUGH GRADE ELEVATIONS AND LOCATION OF THE BUILDING ARE IN SUBSTANTIAL CONFORMANCE WITH THE PLANS APPROVED BY THE CITY OF IMPERIAL BEACH.

## REVISIONS

DATE	DESCRIPTION
07/07/23	PC1 SUBMITTAL
02/18/25	PC2 SUBMITTAL
04/29/25	PC3 SUBMITTAL

Bid Issue Date: TBD

Date: 04/29/25

Scale: AS NOTED

Project No. -

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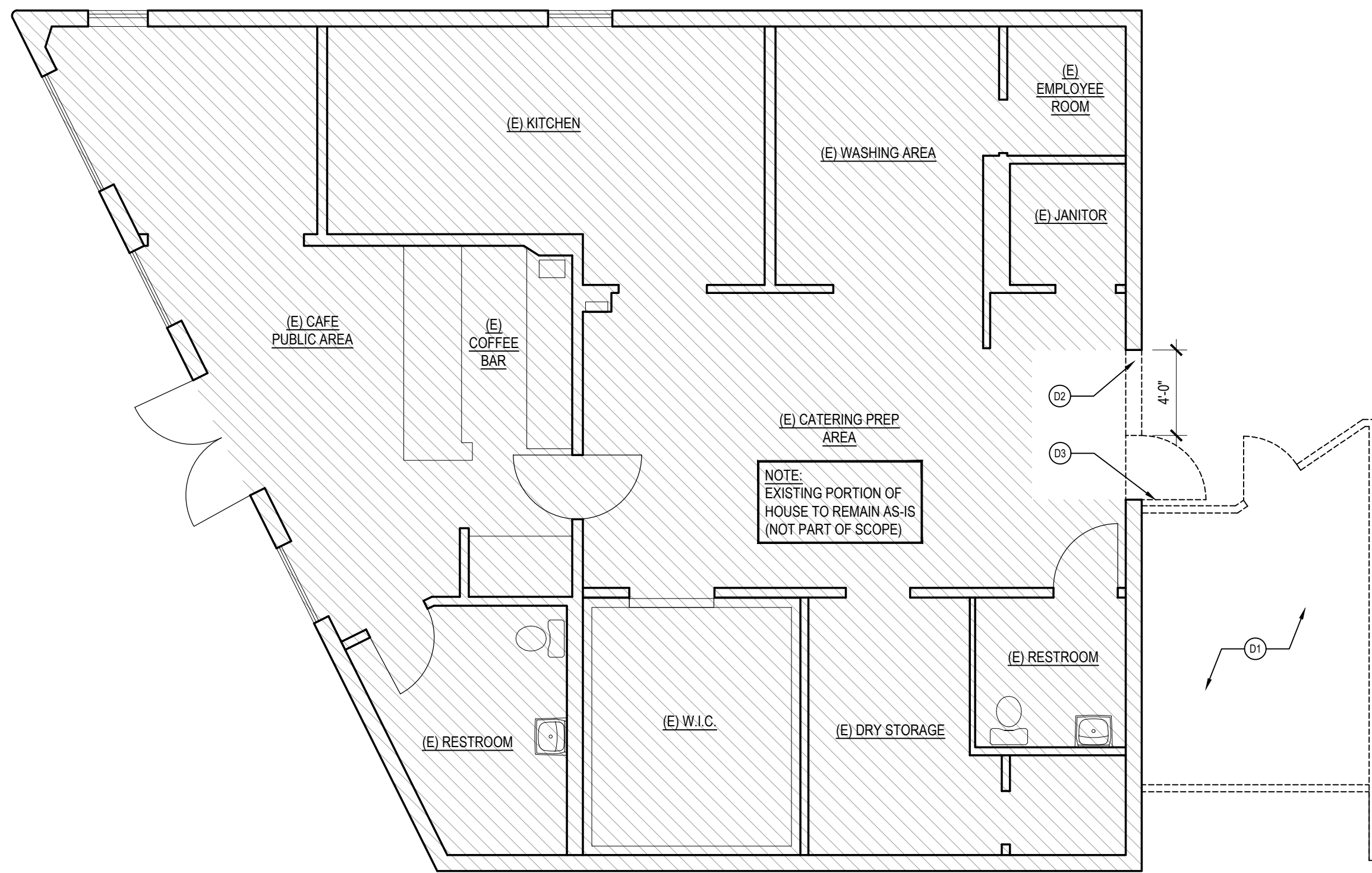
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SITE PLAN

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1 FLOOR PLAN - EXISTING AND DEMOLITION PLAN  
3/16" = 1'-0"

## DEMOLITION PLAN KEYNOTE

- (D1) DEMOLISH EXISTING REAR STORAGE ROOM/SHED
- (D2) DEMOLISH PORTION OF EXISTING WALL
- (D3) REMOVE EXISTING DOOR AND HARDWARE

## FLOOR PLAN LEGEND

- \* REFER TO 'GENERAL NOTES' (T1.1) FOR ADDITIONAL INFORMATION
- EXISTING STUD WALL TO REMAIN
- EXISTING WALL / ITEM TO BE DEMOLISHED
- DASHED AREA INDICATES AREA N.I.C., NO PROPOSED WORK AT THIS AREA

REVISIONS	
DESCRIPTION	DATE
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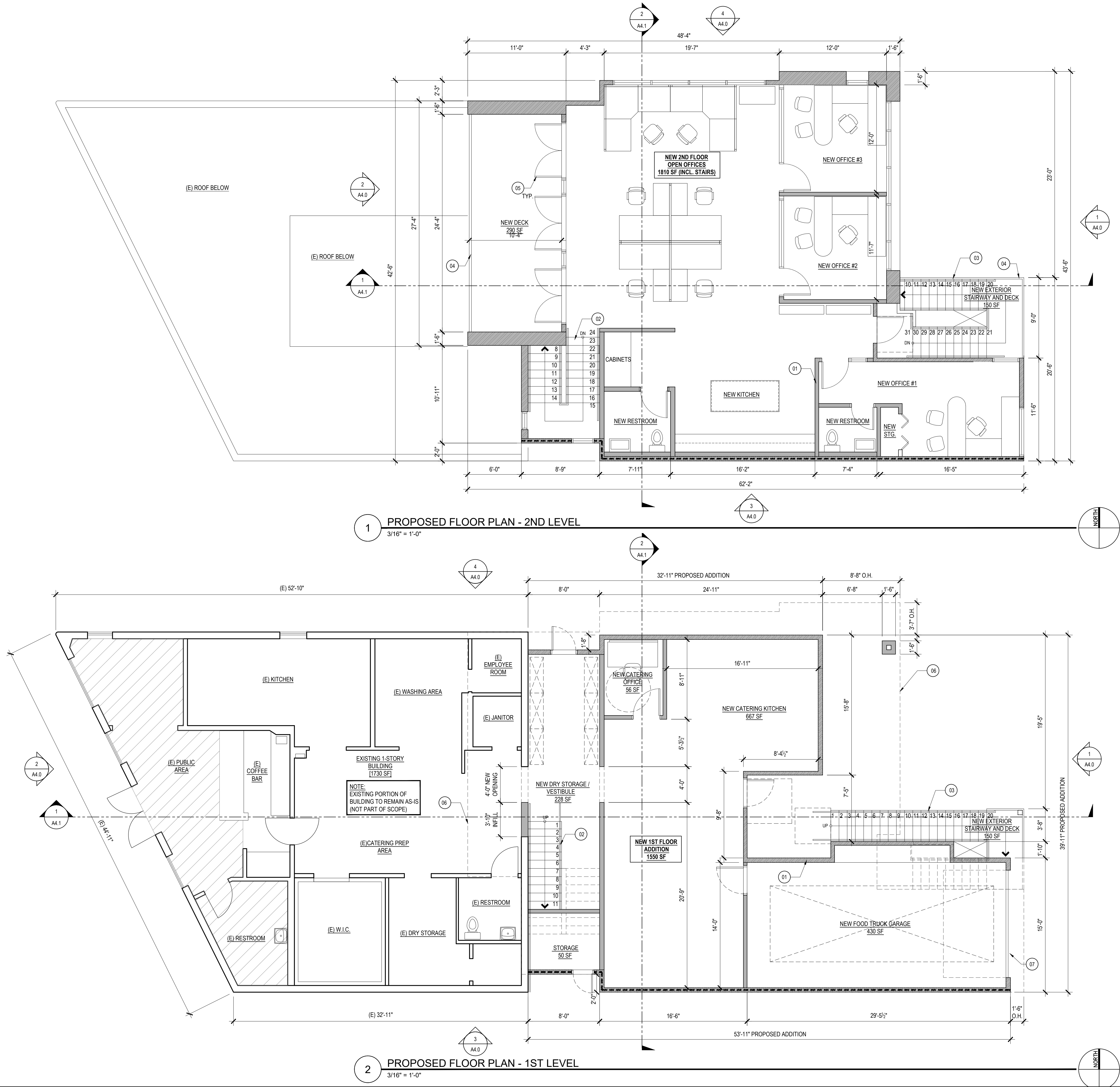
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EXISTING  
FLOOR PLAN

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## FLOOR PLAN KEYNOTES

- 01 NEW WALL, TYP.
- 02 NEW INTERIOR STAIRWAY
- 03 NEW EXTERIOR STAIRWAY
- 04 NEW 42" HIGH CABLE GUARDRAIL
- 05 NEW FRENCH DOOR
- 06 NEW 2ND STORY OUTLINE ABOVE, TYP.
- 07 NEW 12' X 8' GLASS ROLL UP/GARAGE DOOR

## FLOOR PLAN LEGEND

\* REFER TO 'GENERAL NOTES' (T1.1) FOR ADDITIONAL INFORMATION

- NEW EXTERIOR WALL
- NEW NON-BEARING INTERIOR WALL
- NEW 1-HR RATED EXTERIOR WALL
- EXISTING WALL TO REMAIN
- EXISTING DESIGNATED AREA FOR CUSTOMERS

## REVISIONS

DESCRIPTION	DATE
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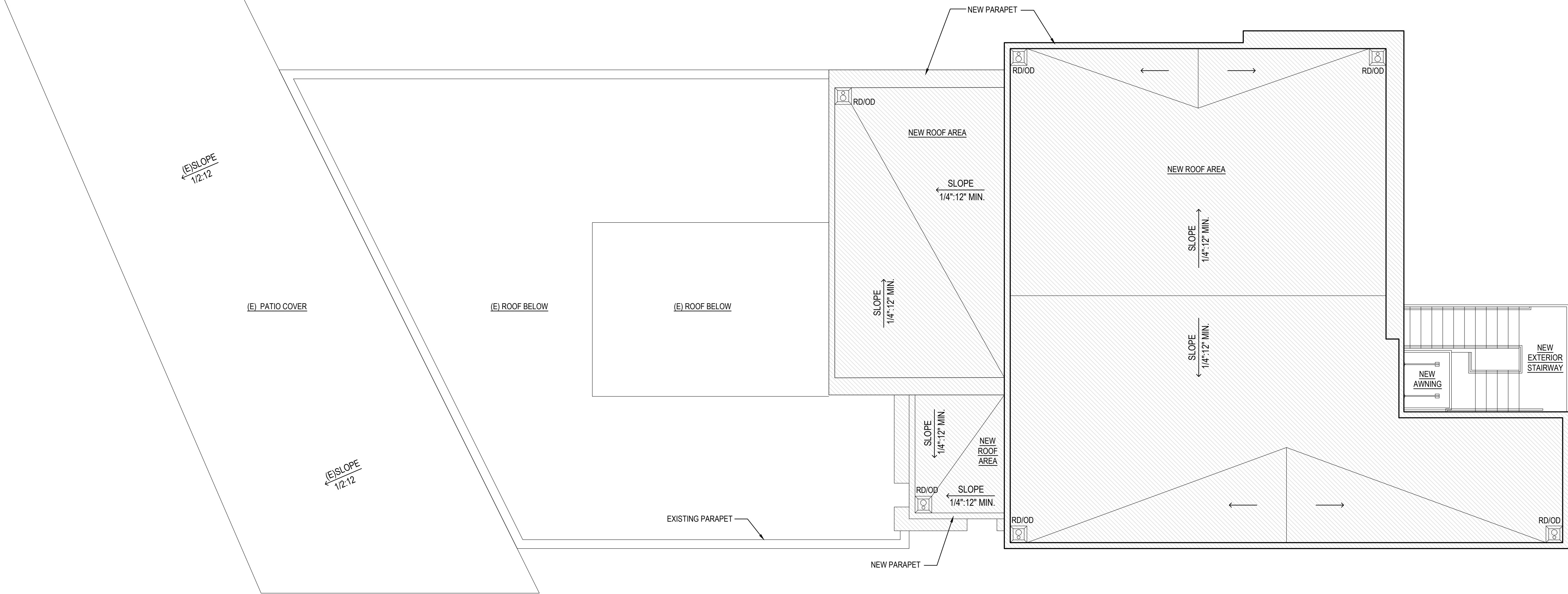
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FLOOR PLANS

Sheet No.:

A1.1



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1 PROPOSED ROOF PLAN  
3/16" = 1'-0"

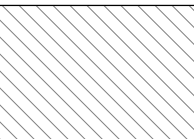
## ROOF PLAN GENERAL NOTES

- ALL ROOFING MATERIALS SHALL BE APPLIED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND CBC CHAPTER 15 LATEST ADOPTED ADDITION.
- PROVIDE 1X6 Z-BAR FLASH BACKING AT ALL ROOF TO WALL CONNECTIONS
- INSULATION SHALL NOT BLOCK EAVE VENTS. A MIN. OF 1" AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. TO ACCOMMODATE THE THICKNESS OF THE INSULATION PLUS THE REQUIRED 1" CLEARANCES, MEMBER SIZES MAY HAVE TO INCREASE FOR RAFTER/CEILING JOISTS.
- GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. GUTTERS SHALL BE DESIGNED TO REDUCE THE ACCUMULATION OF LEAF LITTER AND DEBRIS THAT CONTRIBUTES TO ROOF EDGE IGNITION.
- ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH 1/16" MINIMUM TO 1/4" MINIMUM OPENINGS. SECTION R806.1
- VENTS SHALL BE INSTALLED TO PREVENT THE INTRUSION OF FLAMES AND BURNING EMBERS. -OPENINGS SHALL BE COVERED WITH A NONCOMBUSTIBLE, CORROSION RESISTANT WIRE MESH WITH OPENINGS OF A MINIMUM OF 1/16" AND SHALL NOT EXCEED 1/8"

## ROOF SCOPE OF WORK

ARROW INDICATES DOWNSLOPE DIRECTION

MANUFACTURE: JOHN MANSVILLE  
MODEL: JM "SP6RM" 60M MECHANICALLY ADHERED  
TYPE: SINGLE PLY PVC MEMBRANE  
COLOR: LT. BROWN  
THICKNESS: 60mil  
ASTM: D 4434 TYPE III  
FIRE PROTECTION: CLASS A  
APPROVAL (UL): UL-TGFU R10167



ENERGY & ENVIRONMENT				0.86
ENERGY STAR:	PASS	REFLECTIVITY:	0.86	0.94
TITLE 24:	PASS	REFLECTIVITY:	0.86	EMISSIVITY:
CAL Green		REFLECTIVITY:	0.86	EMISSIVITY:
		RECYCLED CONTENT:	POST CONSUMER: 0%	POST INDUSTRIAL: 0%

EL TAPATIO CATERING  
667 SILVER STRAND BLVD  
IMPERIAL BEACH, CA 91932

## REVISIONS

DESCRIPTION	DATE
PC1 SUBMITTAL	07/07/23
PC2 SUBMITTAL	02/18/25
PC3 SUBMITTAL	04/29/25

Bid Issue Date: TBD

Date: 04/29/25

Scale: AS NOTED

Project No. -

Sheet Title:

ROOF PLAN

Sheet No.:

A1.2



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## ELEVATION KEYNOTES

- 1A STUCCO #1 - 3-COAT SANTA BARBARA FINISH - WHITE
- 1B STUCCO #2 - 3-COAT SANTA BARBARA FINISH - BLACK
- 1C STUCCO #3 - 3-COAT SANTA BARBARA FINISH - MURAL BY LOCAL ARTIST
- 2 EXPOSED CONCRETE FINISH
- 3 STAINED CEDAR WOOD CLADDING
- 4 NEW DOOR - BLACK FRAME
- 5 NEW WINDOW - BLACK ALUMINUM FRAME
- 6 42" HIGH (MIN.) PATIO/DECK WALL W/ GALV. CAP FLASHING
- 7 42" HIGH (MIN.) CABLE GUARDRAIL
- 8 LINE OF EXISTING GRADE
- 9 LINE OF PROPOSED GRADE
- 10 COLUMN FOR STAIR SUPPORT
- 11 COLUMN FOR 2ND FLOOR SUPPORT
- 12 AWNING
- 13 GALV. EAVE FLASHING PAINTED TO MATCH STUCCO/SIDING
- 14 EXTERIOR STEEL STAIRWAY WITH WOOD THREADS
- 15 STUCCO EXPANSION JOINTS
- 16 42" HIGH (MIN.) GLASS GUARDRAIL
- 17 NEW 12' X 8' GLASS ROLL UP/GARAGE DOOR

arch5 design

2825 Dewey Road, Unit 207  
San Diego, CA 92106  
Phone: 619.546.9672

EL TAPATIO CATERING  
667 SILVER STRAND BLVD  
IMPERIAL BEACH, CA 91932

## REVISIONS

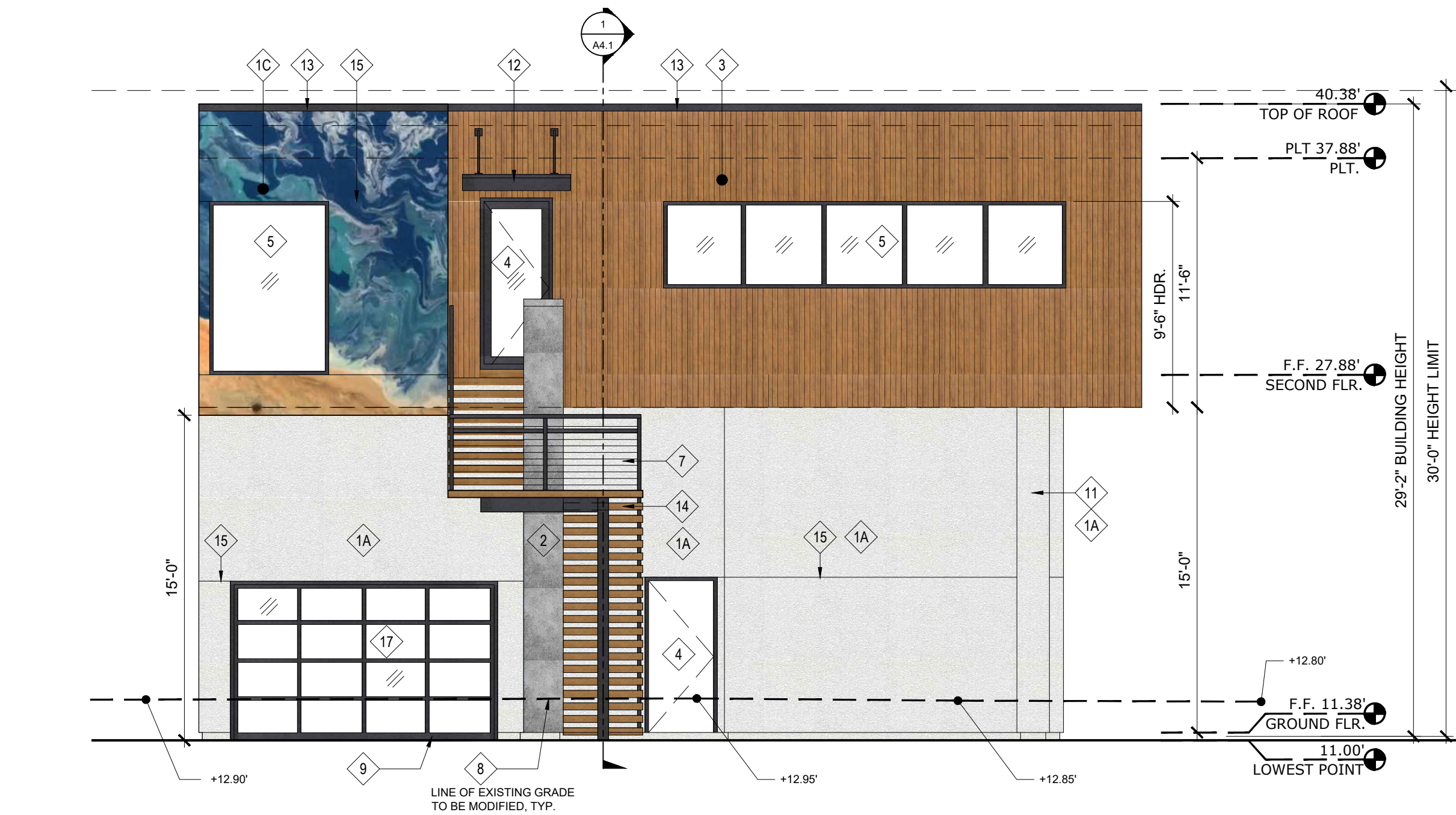
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07/07/23	PC1 SUBMITTAL
02/18/25	PC2 SUBMITTAL
04/29/25	PC3 SUBMITTAL

Bid Issue Date: TBD  
Date: 04/29/25  
Scale: AS NOTED  
Project No.: -  
Sheet Title:

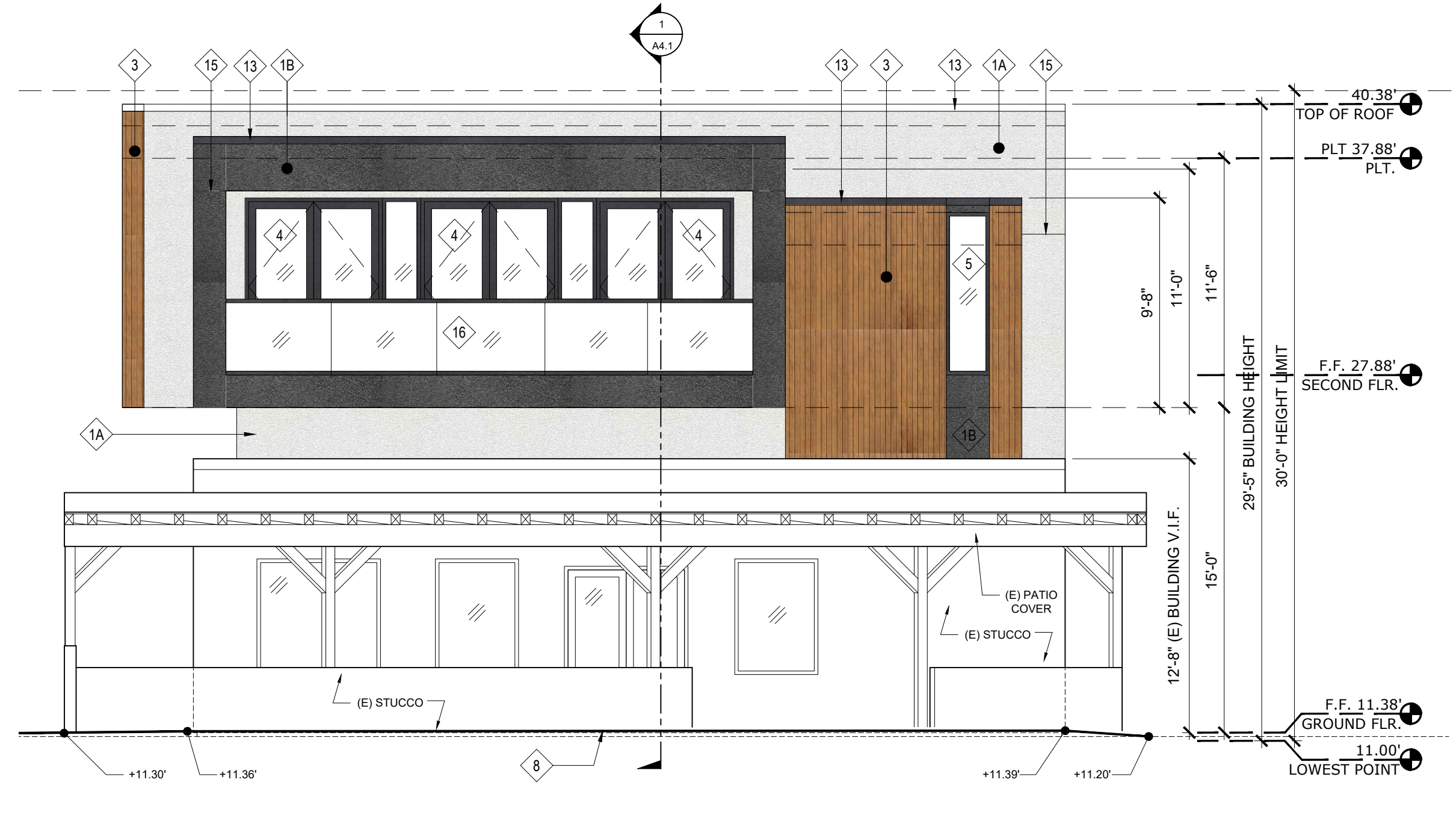
EXTERIOR ELEVATIONS

Sheet No.:

A4.0



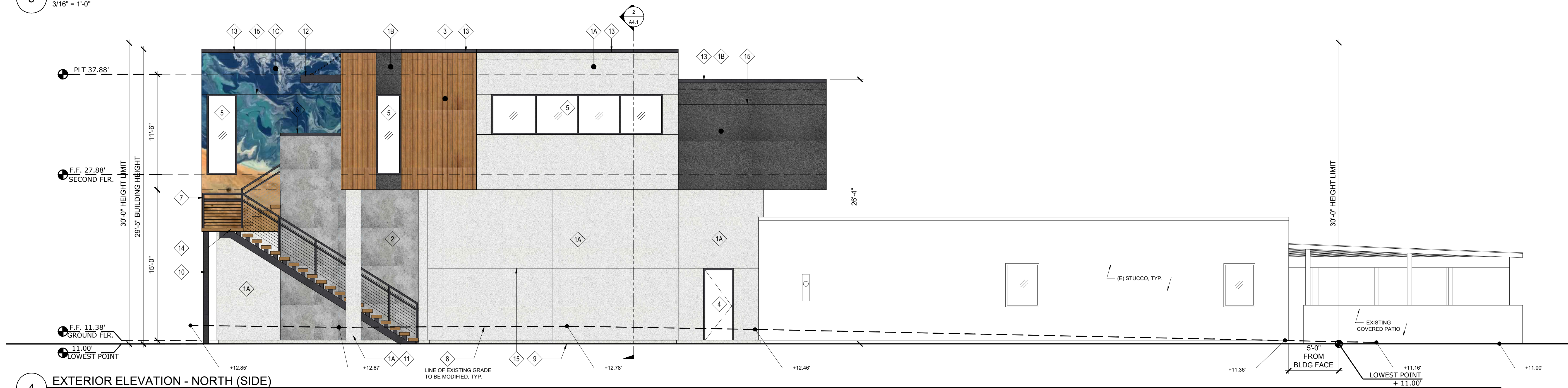
1 EXTERIOR ELEVATION - EAST (REAR - FACING 3RD ST.)  
3/16" = 1'-0"



2 EXTERIOR ELEVATION - WEST (FRONT - FACING SILVER STRAND BLVD.)  
3/16" = 1'-0"



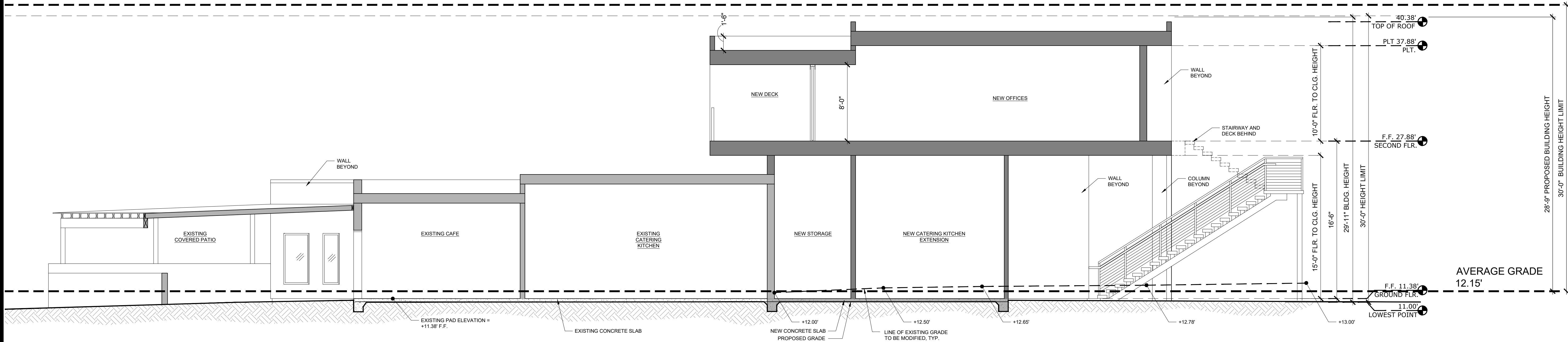
3 EXTERIOR ELEVATION - SOUTH (SIDE)  
3/16" = 1'-0"



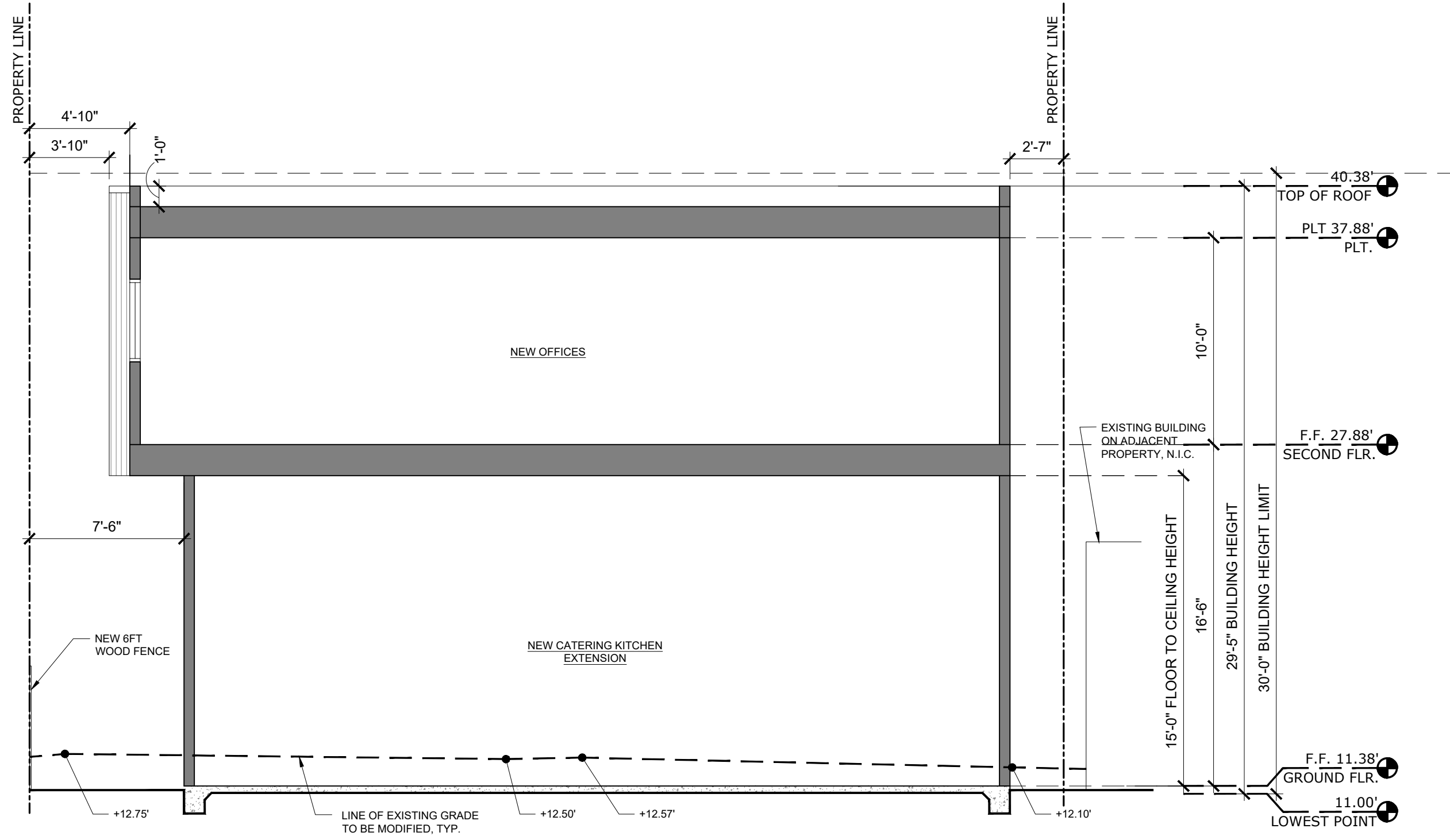
4 EXTERIOR ELEVATION - NORTH (SIDE)  
3/16" = 1'-0"



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1 BUILDING SECTION  
3/16" = 1'-0"



2 BUILDING SECTION  
3/16" = 1'-0"

EL TAPATIO CATERING  
667 SILVER STRAND BLVD  
IMPERIAL BEACH, CA 91932

REVISIONS	
DATE	DESCRIPTION
07/07/23	PC1 SUBMITTAL
02/18/25	PC2 SUBMITTAL
04/29/25	PC3 SUBMITTAL

Bid Issue Date: TBD  
Date: 04/29/25  
Scale: AS NOTED  
Project No: -  
Sheet Title:

BUILDING SECTIONS

Sheet No.:

A4.1



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1 SOUTHWEST VIEW - SILVER STRAND BLVD.  
N.T.S.



2 NORTHWEST VIEW - SILVER STRAND BLVD.  
N.T.S.



3 NORTHEAST VIEW - 3RD ST.  
N.T.S.



4 SOUTHEAST VIEW - 3RD ST.  
N.T.S.

REVISIONS			
DATE	DESCRIPTION		
07/07/23	PC1 SUBMITTAL		
02/18/25	PC2 SUBMITTAL		
04/29/25	PC3 SUBMITTAL		

Bid Issue Date: TBD

Date: 04/29/25

Scale: AS NOTED

Project No. -

Sheet Title:

RENDERINGS  
DAY VIEWS

Sheet No.:

A4.2



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1 SOUTHWEST VIEW - SILVER STRAND BLVD.  
N.T.S.



2 NORTHWEST VIEW - SILVER STRAND BLVD.  
N.T.S.



3 NORTHEAST VIEW - 3RD ST.  
N.T.S.



4 SOUTHEAST VIEW - 3RD ST.  
N.T.S.

REVISIONS		
DATE	DESCRIPTION	
07/07/23	PC1 SUBMITTAL	
02/18/25	PC2 SUBMITTAL	
04/29/25	PC3 SUBMITTAL	

Bid Issue Date: TBD

Date: 04/29/25

Scale: AS NOTED

Project No. -

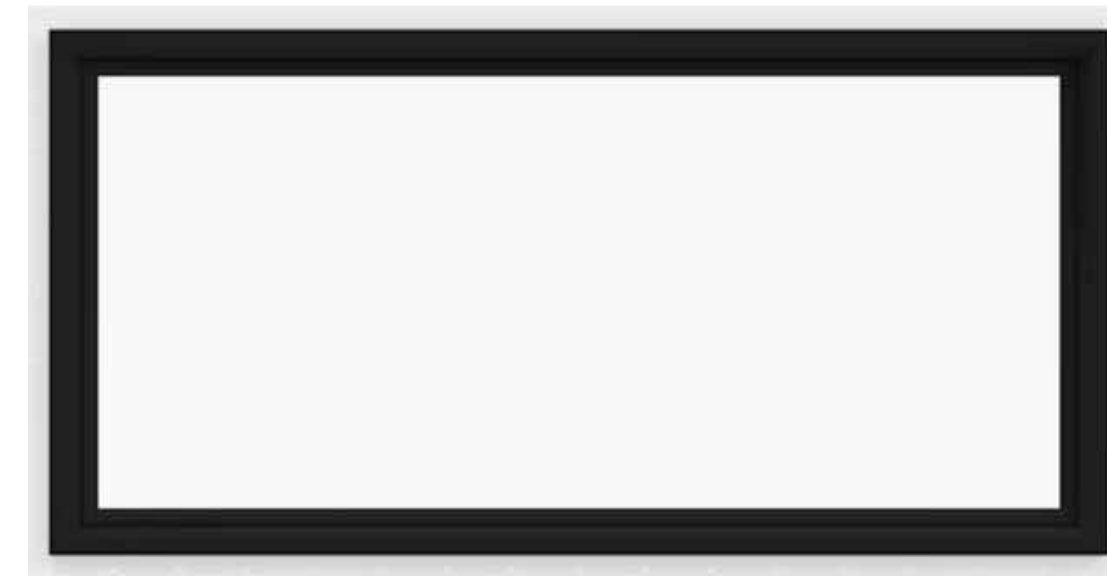
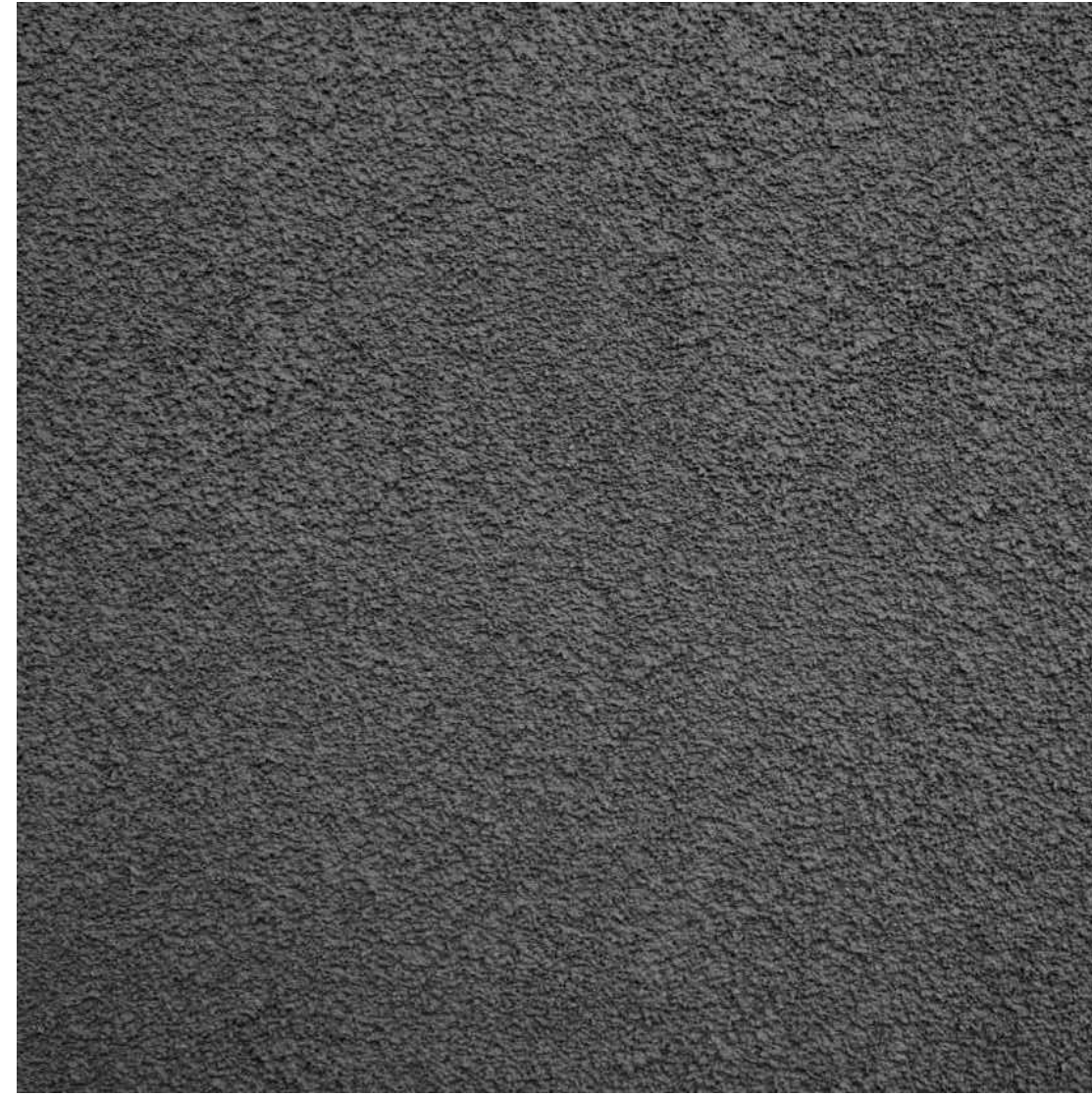
Sheet Title:

RENDERINGS  
NIGHT VIEWS

Sheet No.:

A4.3

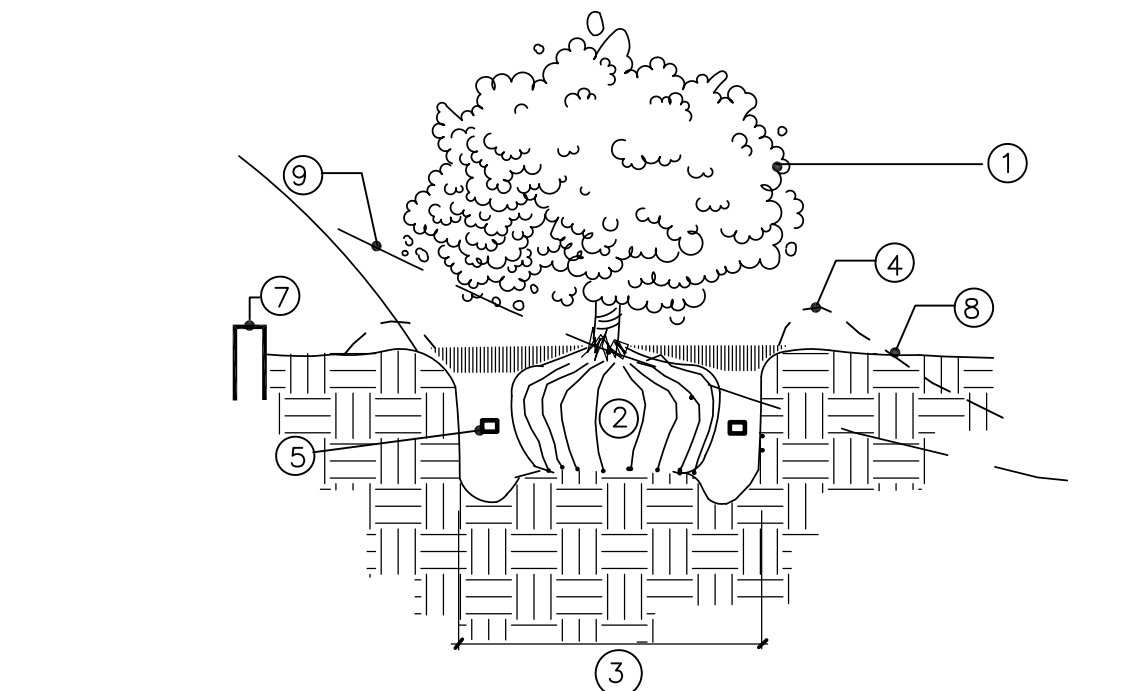




REVISIONS		
DATE	DESCRIPTION	
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02/18/25	PC2 SUBMITTAL	2
04/29/25	PC3 SUBMITTAL	3
		4
		5

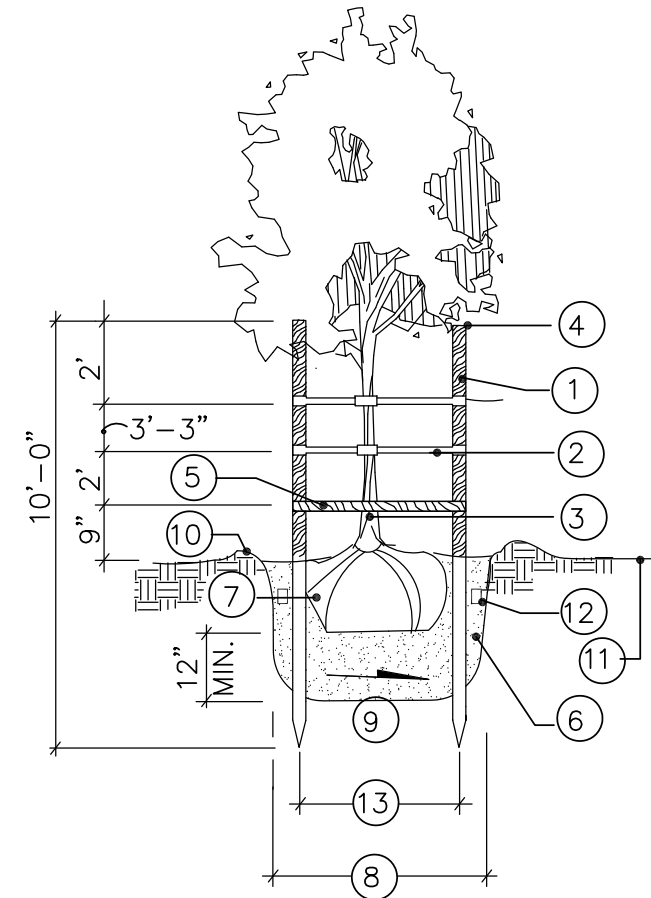
Bid Issue Date:	TBD
Date:	04/29/25
Scale:	AS NOTED
Project No.	-
Sheet Title:	





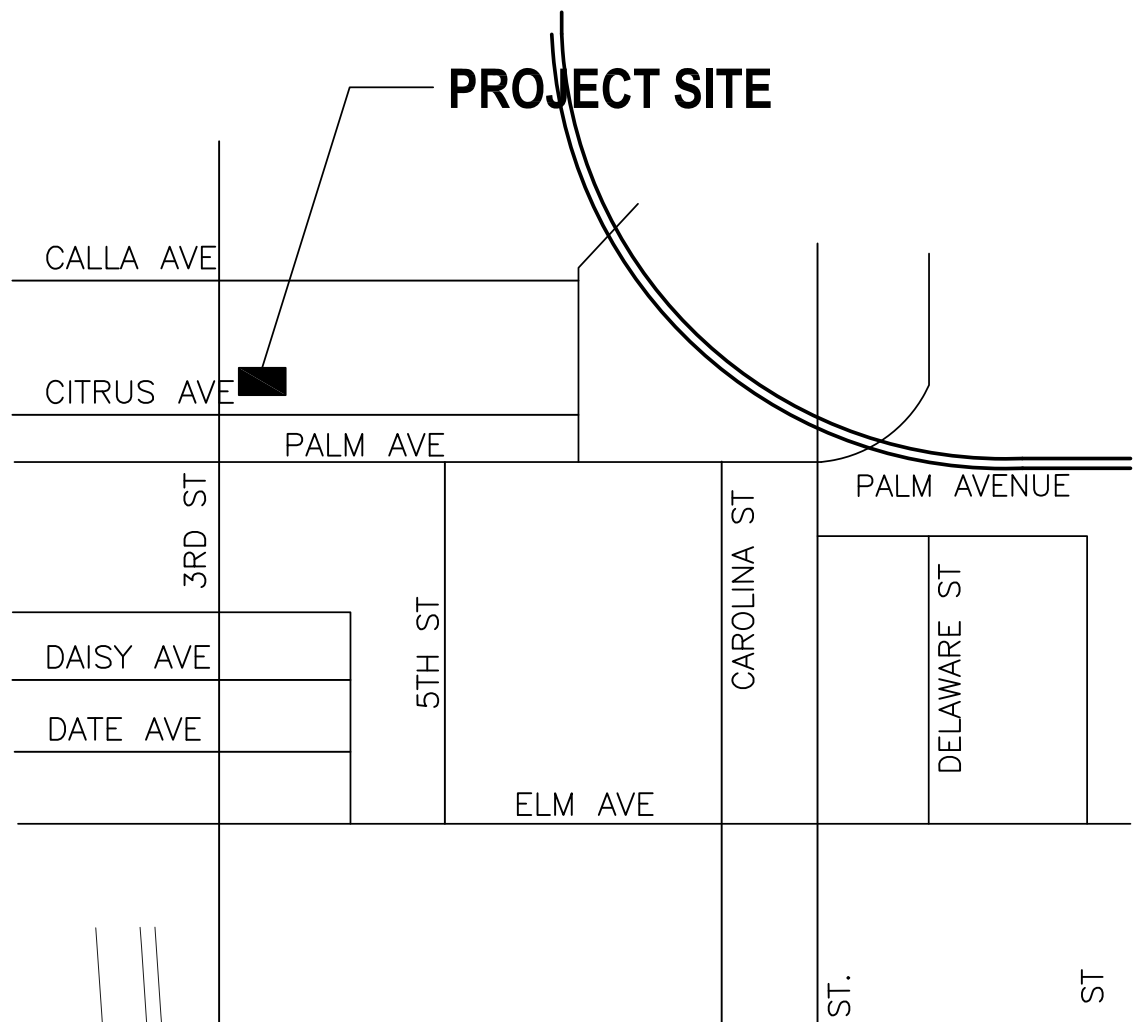
- SHRUB
- ROOTBALL
- 2 X ROOTBALL DIA.
- WATERING BASIN (IF REQ'D.)
- PLANT TABLETS  
INSTALL PER MANUFACTURE'S SPECIFICATIONS.
- TOP OF CURB, PLANTER, OR PAVING.
- FIN. GRADE AT SLOPE (AS REQ'D.)
- FIN. GRADE AT EXISTING SLOPE (AS REQ'D.)

A SHRUB  
NO SCALE INSTALLATION DETAIL



- 2" DIA. X 10' LONG LODGEPOLE PINE STAKES.  
(2) 24" BOX OR LARGER  
(1) 15 GAL. OR SMALLER
- V.I.T. 'CINCH TIES', OR EQUAL. WRAP AROUND TRUNK. NAIL EACH END TO EACH STAKE.
- TREE TRUNK
- CUT TOP SECTION OFF OF STAKE DAMAGED BY HAMMERING.
- 1" X 4" CROSSTIE
- ROOT BALL BACKFILL PUDDLE AND SETTLE. SET TREE 2" ABOVE FIN. GR.
- ROOTBALL
- 2 X ROOTBALL DIAMETER
- SLOPE BOTTOM TO DRAIN
- 6" WATERING BASIN, EXCEPT IN LAWN AREAS. REMOVE AFTER MAINT. PD.
- FINISH GRADE
- PLANT TABLETS (3" BELOW GRADE)
- PLACE STAKES OUTSIDE OF ROOTBALL. OFFSET FROM TRUNK 3".

B TREE  
NO SCALE INSTALLATION DETAIL



VICINITY MAP  
NOT TO SCALE



## GENERAL NOTES:

- LANDSCAPE AREAS PLANTED WITH ONLY TREES AND/OR SHRUBS THAT ARE NOT ALSO PLANTED WITH TURFGRASS OR GROUNDCOVERS SHALL BE MULCHED ON THE SOIL SURFACE TO A MINIMUM DEPTH OF THREE INCHES.
- ALL LANDSCAPE AND IRRIGATION SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF IMPERIAL BEACH'S LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS, AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- PRIOR TO AMENDING, SOIL WILL BE TESTED FOR PH BALANCE, AMENDMENTS WILL BE APPLIED IF NECESSARY.
- PRIOR TO AMENDING, THE SURFACE SOIL IN AREAS TO BE LANDSCAPED SHOULD BE RIPPED OR TILLED TO ALLEVIATE COMPACTION, PREFERABLY TO A 9 INCH DEPTH.
- ALL REQUIRED LANDSCAPE MAINTENANCE AREAS SHALL BE MAINTAINED BY "OWNER". THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION.
- PROVIDE ON-SITE DRAINAGE SYSTEM TO COLLECT AND ROUTE SURFACE AND ROOF RUNOFF TO AN APPROVED OUTLET.
- FINAL GRADING SHALL PROVIDE A MINIMUM 2% SLOPE IN ALL LANDSCAPE AREAS AWAY FROM STRUCTURES, ADJACENT PROPERTIES AND COMMON AREAS.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WILL NOT BE WRAPPED AROUND THE ROOTBALL.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY "OWNER". LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY "OWNER". THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING OF TREES IS NOT PERMITTED.

## PLANT LEGEND

SYM.	QTY.	COMMON NAME	BOTANICAL NAME	WUCOLS	MATURE SIZE HxW
	5	PURPLE HOPSEED BUSH 5 GAL.	DODONAEA VISCOSA 'PURPUREA'	LOW	6'x3'
	7	MEXICAN BIRD OF PARADISE 5 GAL.	CAESALPINIA MEXICANA	LOW	4'x4'
	12	PINK ROCKROSE 5 GAL.	CISTUS INCANUS	LOW	3'x3'
	16	AFRICAN BOXWOOD 5 GAL.	MYRSINE AFRICANA	LOW	3'x2'

## TREES

SYM.	QTY.	COMMON NAME	BOTANICAL NAME	WUCOLS	MATURE SIZE HxW
	1	STRAWBERRY TREE 24" BOX	ARBUTUS UNEDO	LOW	12'x8'
	4	PEPPERMINT WILLOW 'AFTER DARK' 15 GAL.	AGONIS FLEXUOSA 'AFTER DARK'	LOW	10'x4'

## MATERIALS BOARD



PURPLE HOPSEED BUSH  
DODONAEA VISCOSA 'PURPUREA'



MEXICAN BIRD OF PARADISE  
CAESALPINIA MEXICANA



PINK ROCKROSE  
CISTUS INCANUS



AFRICAN BOXWOOD  
MYRSINE AFRICANA



STRAWBERRY TREE  
ARBUTUS UNEDO



PEPPERMINT WILLOW  
'AFTER DARK', AGONIS FLEXUOSA

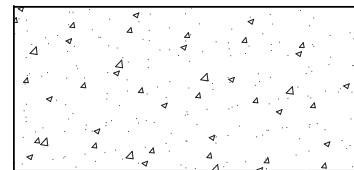
## SUMMARY CALCULATIONS (SEE DIAGRAM)

- TOTAL LOT SIZE: 7,340 S.F.
- TOTAL BUILDING FOOTPRINT: 3,268 S.F.
- TOTAL YARD AREA: 4,072 S.F.
- ACTUAL HARDSCAPE AREA (19%): 1,394 S.F.
- ACTUAL LANDSCAPE AREA (15%): 1,105 S.F.

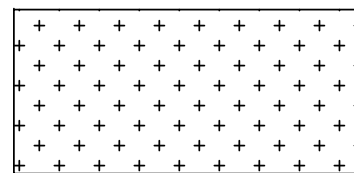
## MINIMUM TREE SEPERATION DISTANCE:

- TRAFFIC SIGNAL, STOP SIGN - 20 FEET
- UNDERGROUND UTILITY LINES - 5 FEET (SEWER - 10 FEET)
- ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC.) - 10 FEET
- DRIVEWAYS - 10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

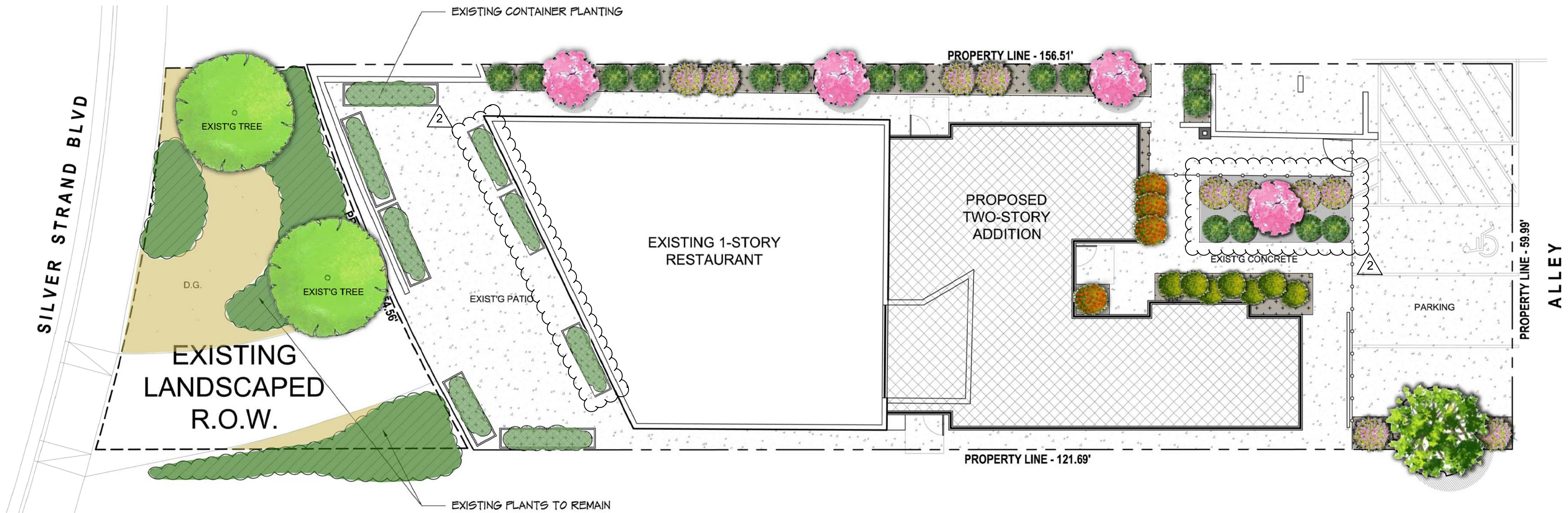
## KEY LEGEND



BROOMED CONCRETE  
(2,231 SQ.FT.)

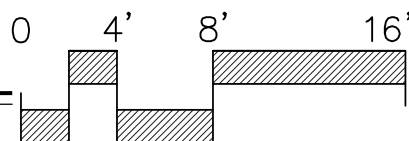


PLANTER AREA &  
MULCHED AREAS  
(1,105 SQ.FT.)



## PROPOSED LANDSCAPE PLAN

SCALE: 1/8"=1'-0"










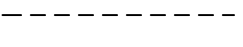
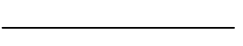
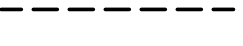
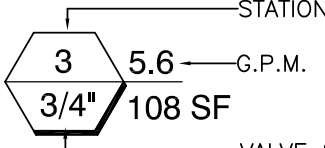
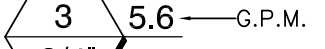
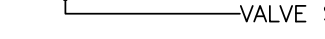
IRRIGATION NOTES

- 1
- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- 2
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- 3
- THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTUAL PLANS BEFORE BEGINNING WORK.
- 4
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- 5
- THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS NECESSARY.
- 6
- DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BOUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- 7
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- 8
- CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE TO THE END OF THE MAINLINE RUN IN TWO DIRECTIONS FROM THE CONTROLLER--AS NOTED.
- 9
- ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE TWICE THE DIAMETER OF THE PIPE CARRIED. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING. ALL SLEEVES TO BE AS SHOWN ON THE PLANS.
- 10
- ALL QUICK COUPLER VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER VALVES WITHIN 18" OF HARDSCAPE.
- 11
- ALL VALVE BOXES TO BE GREEN IN COLOR, SIZED AS INDICATED BY DETAILS, AND HOT BRANDED AS INDICATED ON THE PLANS OR DETAILS.
- 12
- ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDING, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
- 13
- ALL HEADS INDICATED ON THE PLANS AT A SPACING LESS THAN 75% OF FULL OPEN THROW, AS PER MANUFACTURER'S RECOMMENDATIONS, ARE TO RECEIVE A PCS SCREEN OF APPROPRIATE SIZE TO REDUCE THE RADIUS TO MORE CLOSELY MATCH THE SPACING. REFER TO THE MANUFACTURER'S CHARTS PROVIDED WITH PCS SCREENS FOR SIZING OF SCREENS.

ADDITIONAL IRRIGATION NOTES

1. AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE DATA AND UTILIZE A RAIN SENSOR.
2. PRESSURE REGULATORS ARE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE COMPONENTS ARE WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
3. MANUAL SHUT-OFF VALVES (SUCH AS GATE, BALL OR BUTTERFLY VALVES) ARE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
4. ALL IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET IN THE ANSI STANDARD ASABE/ICC 802-2014 "LANDSCAPE IRRIGATION SPRINKLER AND Emitter STANDARD." ALL SPRINKLER HEADS INSTALLED MUST HAVE A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 802-2014.
5. AREAS LESS THAN 10 FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
6. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND A SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
7. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
8. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, THE DESIGNER OF THE IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR OF THE PROJECT.
9. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.
10. A LANDSCAPE WASTE DIVERSION PLAN SHALL BE COMPLETED AND SUBMITTED WITH THE CERTIFICATION OF COMPLETION.

DRIP IRRIGATION LEGEND

	RAINBIRD	Rain Bird – XBD81 Xeri–Bird 8 Multi–Outlet Emission Device with Filter & (8) 1.0 GPH Xeri–Bug Emitters
SYMBOL	MANUFACTURER	MODEL NO. / DESCRIPTION
	EXISTING	WATER METER
	NIBCO	4660–S PVC SCHEDULE 40 BALL VALVE, LINE SIZE
	RAIN BIRD	PEB SERIES – PLASTIC REMOTE–CONTROL VALVE – SIZE AS NOTED
	RAIN BIRD	ESP–BMC SERIES, OUTDOOR WALL–MOUNT, AUTOMATIC CONTROLLER IN LOCKING
	AS APPROVED	PVC PIPE SCH. 40 AS SLEEVING; AS NOTED; TWICE THE DIAMETER OF PIPE
	AS APPROVED	PVC PIPE 3/4" SCH. 40 AS LATERAL LINES 12" BELOW GRADE
	AS APPROVED	PVC PIPE 1" AS MAINLINE, SCH. 40, 18" BELOW GRADE
	STATION	
	G.P.M.	
	VALVE SIZE	

DETAILS

I/L2

B/L2

J/L2

E/L2

H/L2

G/L2

WATER EFFICIENT LANDSCAPE WORKSHEET

Irrigation Point of Connection (P.O.C.) # _____ A _____										
A	B	C	D	E	F	G	H	I	J	
Controller #	Hydrozone #	Valve Circuit #	Irrigation Method (Code)	Plant Factor (average) (PF)	Hydrozone Area (HA) (sf)	% of Total Landscaped Area	PF x HA	IE	PF x HA / IE	
A	1	1	D	0.3	357	50%	107	0.81	132	
A	2	2	D	0.3	132	18%	40	0.81	49	
A	3	3	D	0.3	227	32%	68	0.81	84	
				SLA				1.0		
				TOTAL	716	100%			265	

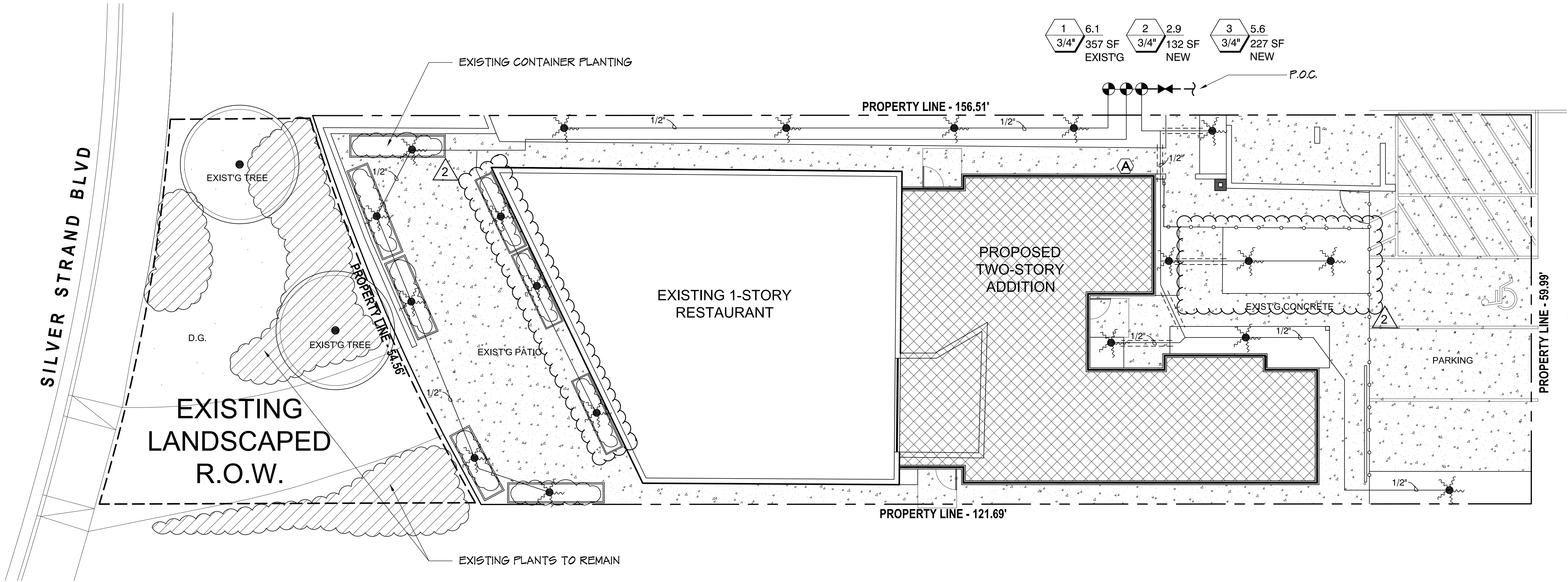
SLA = Special Landscaped Area

Calculation:  $[51.0 \times 0.62] [0.55 \times 716] + [0.45 \times 1.0]$

Maximum Allowed Water Allowance (MAWA) 12,466 GPY

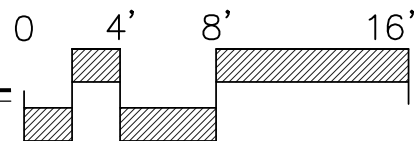
Calculation:  $[51.0 \times 0.62 \times 265]$

Estimated Total Water Use (ETWU) 8,379 GPY



PROPOSED IRRIGATION PLAN

SCALE: 1/8"=1'-0"



EL TAPATIO - LANDSCAPE PLANS

29 APRIL 2025

L-2

LIC# 942177

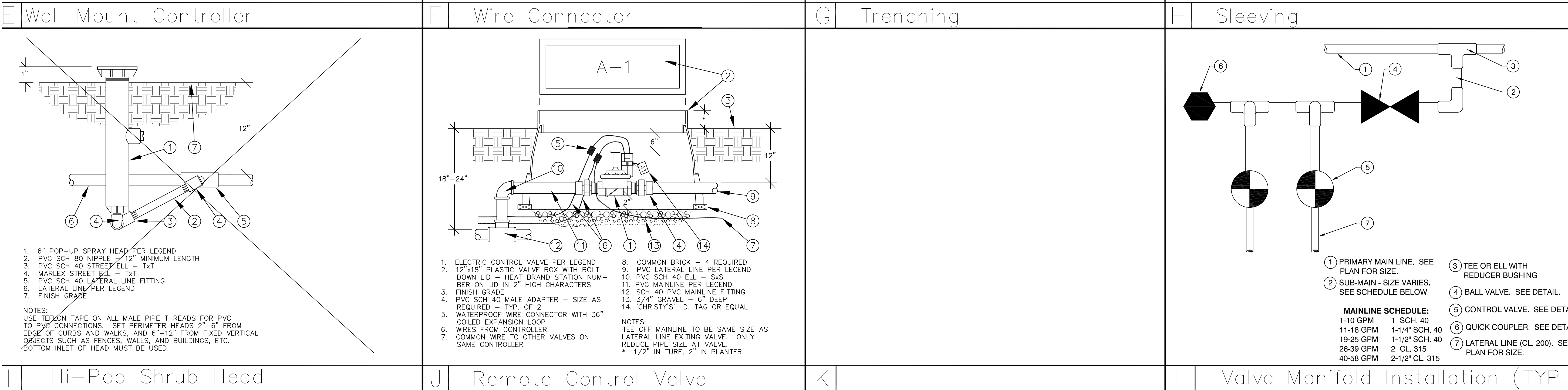
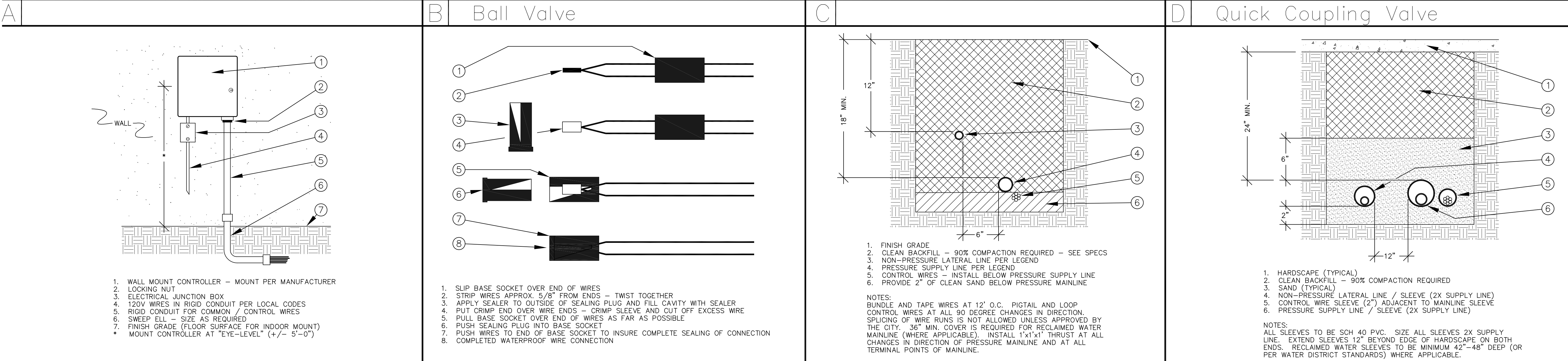
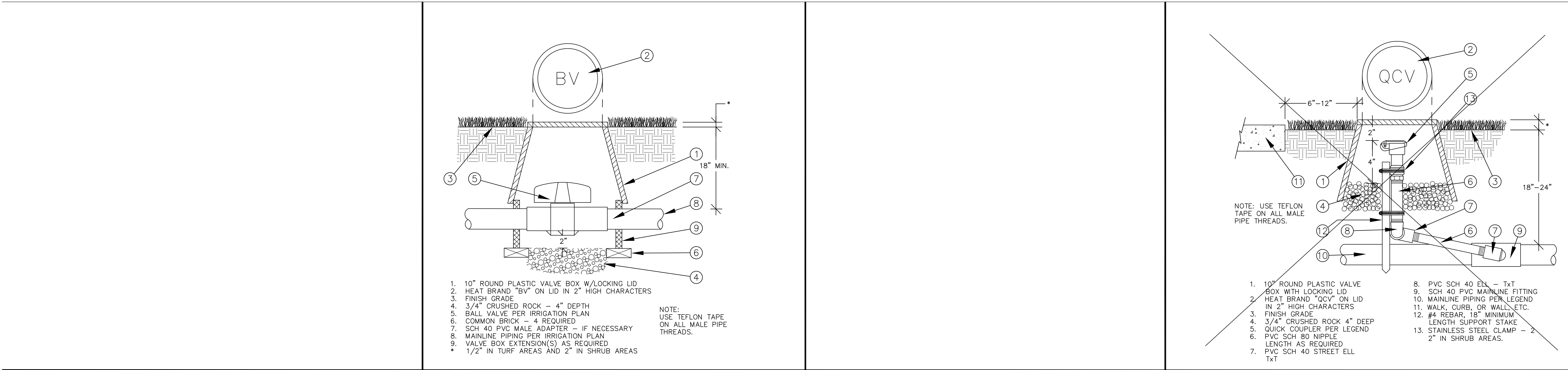


4455 MORENA BLVD. #110  
SAN DIEGO, CA 92109  
TONY VITALE  
www.MylandscapeLogic.com PH: 619.446.6482

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1667 SILVER STRAND BLVD.  
IMPERIAL BEACH, CA 91932  
APN: 625-024-12-00







FXLuminaire.

Up Lights



Optional Long Shroud

PROJECT \_\_\_\_\_

CATALOG # \_\_\_\_\_

TYPE \_\_\_\_\_

NOTES \_\_\_\_\_

RS Up Light

STANDARD

The RS is a rugged micro luminaire that accommodates the MR-16 lamp family.

Quick Facts

- Die-cast zinc/aluminum alloy
- TGIC powder coat finish
- MR-16 GUS, 3 lamp base
- ProAim® adjustability

- Tamper-resistant features
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



LANDSCAPE & ARCHITECTURAL LIGHTING

FXLuminaire.

Path and Area Lights



PROJECT \_\_\_\_\_

CATALOG # \_\_\_\_\_

TYPE \_\_\_\_\_

NOTES \_\_\_\_\_

SP/SP-A Path Light

STANDARD PREMIUM

The SP/SP-A is designed for minimalist themes or compact spaces, where larger path lights just won't work. The beam spread provides maximum projection with minimum glare.

Quick Facts

- Spun, machined, and extruded brass/copper or aluminum
- Natural, powder coated, or antiqued copper/brass
- G4 bi-pin lamp


- Compatible with Luxor® technology
- Phase dimmable
- Input voltage: 10-15V



LANDSCAPE & ARCHITECTURAL LIGHTING

FXLuminaire.

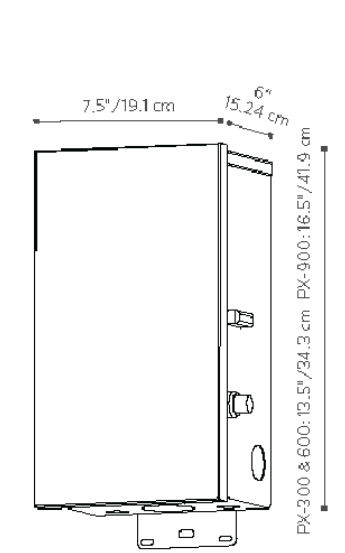
Lighting Controller



This is the *high tech heart* of the FX Luminaire low voltage lighting system. The PX is available in 300, 600 and 900 Watt capacities with a variety of control options. The enclosure is fabricated from heavy gauge stainless steel for long life in corrosive exterior locations.

PX: Transformer

MODELS:	300, 600 or 900 Watt
FINISHES:	Stainless Steel or Powder Coat Finishes
ACCESSORY:	Timer and/or Photocell
DEPTH:	6" / 15.24 cm
WIDTH:	7.5" / 19.1 cm
HEIGHT: (300 & 600 Watt)	13.5" / 34.3 cm
(900 Watt)	16.5" / 41.9 cm

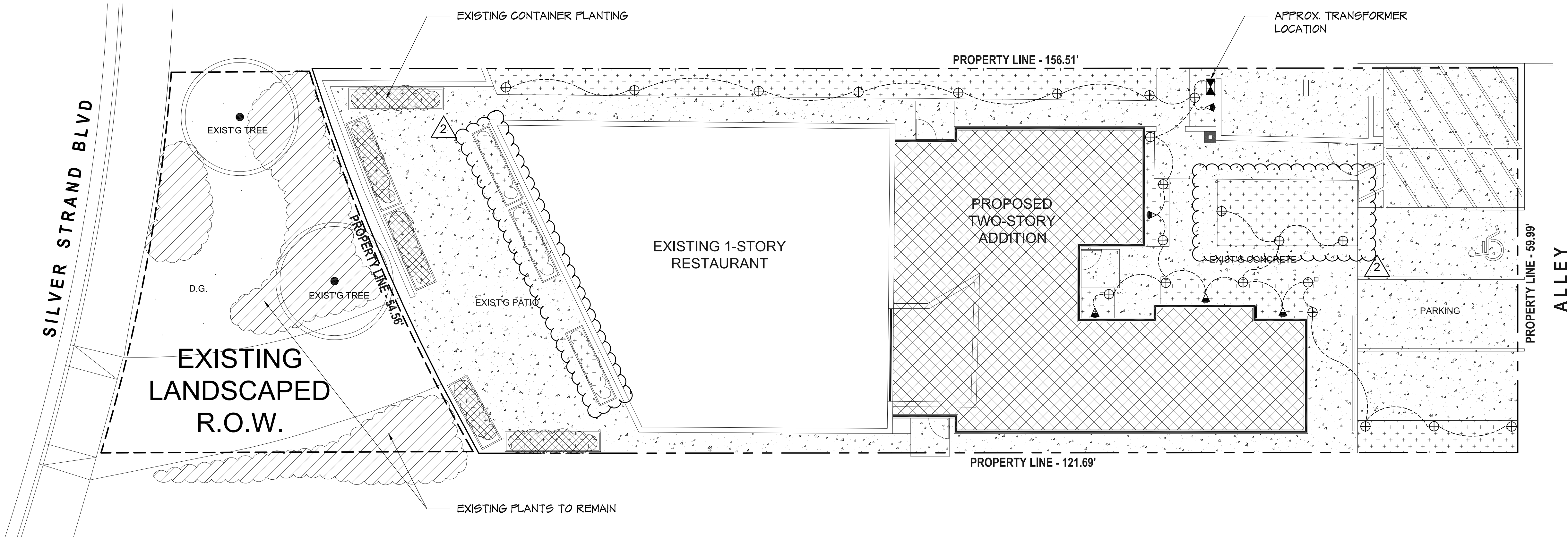


Learn more about FX Luminaire lighting control. Visit: [fxl.com](#)

760.744.5240

## LIGHTING LEGEND

LIGHTING LEGEND				
SYM.	DESCRIPTION	MODEL	COLOR	QTY.
▼	UP LIGHTS (3W MAX-LED)	RS-20	BRONZE	5
⊕	PATH LIGHTS (3W MAX-LED)	SP-20	BRONZE	22
⬢	300W TRANSFORMER REQUIRED	PX-300	SS-OUTDOOR	
---	LOW-VOLTAGE WIRING (FOR GRAPHIC PURPOSES ONLY)			
* RECOMMENDED LIGHTING EQUIPMENT BY:		MANUF: FX LUMINAIRE		
		WEBSITE: <a href="#">WWW.FXL.COM</a>		
		PHONE: 800-688-1269		



PROPOSED LIGHTING PLAN  
SCALE: 1/8"=1'-0"

